

CITY OF ALBUQUERQUE



May 14, 2007

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM. 87108

**Re: KFC/ Taco Bell @ Ventana Square, 6551 Paradise Blvd. NW,
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 08/08/2006 (B-10/D003C1)
Certification dated 05/14/2007**

Based upon the information provided in your submittal received 05/14/2007, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

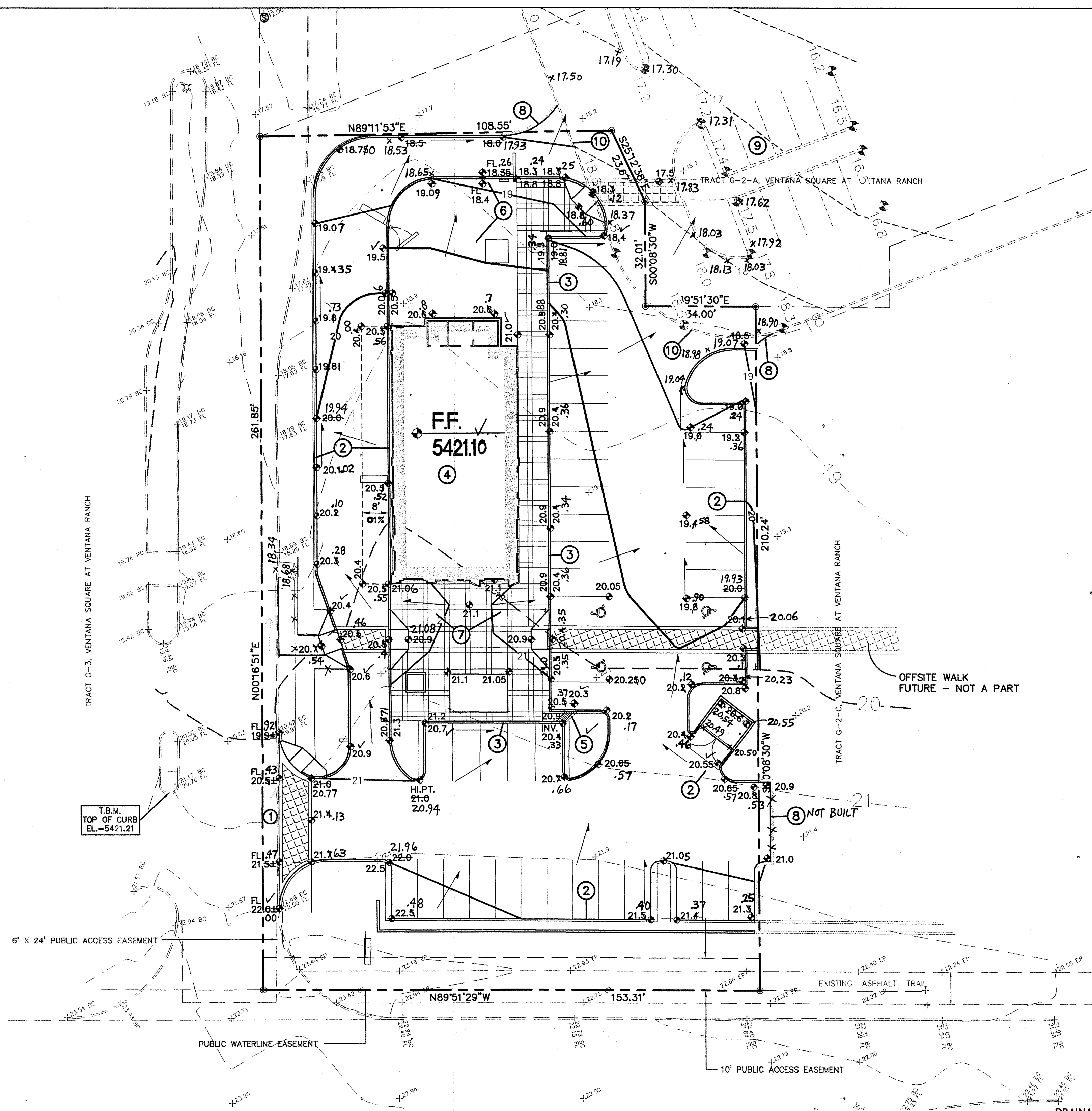
Timothy Sims
Plan Checker, Planning Dept.
Development and Building Services

Albuquerque

New Mexico 87103

www.cabq.gov

C: CO Clerk-Katrina Sigala
File



I, Scott M. McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 08/08/06. The record information edited onto the original design document has been obtained by Joaquin Arguelles, Jr., NMPS 7472. I further certify that I have personally visited the project site on 05/10/07 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M. McGee
Scott M. McGee NMPE 10519



5/14/07

PROJECT SCOPE

THE PROPOSED IMPROVEMENTS INCLUDE APPROXIMATELY 3,000 SF (APPROX. FOOTPRINT) COMMERCIAL BUILDING WITH ADJACENT CONCRETE WALKS AND ASPHALT PAVED PARKING AREAS, LANDSCAPED AREAS, GENERAL SITE WORK AND SITE REGRADING.

THE PRESENT SITE IS BEING DEVELOPED AS A PART OF AN OVERALL COMMERCIAL DEVELOPMENT. THE PROPERTY SLOPES TO THE NORTHEAST AT APPROXIMATELY 1.5%. THE PROPERTY IS BOUNDED BY PARADISE BLVD. NW TO THE SOUTH DEVELOPED COMMERCIAL PROPERTY TO THE NORTH AND WEST AND UNDEVELOPED COMMERCIAL PROPERTY TO THE EAST.

THE INTENT OF THIS PLAN IS TO SHOW:

1. GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
2. THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
3. THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
4. THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.

DRAINAGE PLAN CONCEPT:

THE DRAINAGE CONCEPT ESTABLISHED FOR THIS PROPERTY (B10/D8 BY ISAACSON & ARFMAN, P.A.) IS TO DISCHARGE ALL DEVELOPED FLOW TO THE EXISTING STORM DRAIN SYSTEM. NO ON-SITE DETENTION PONDING IS REQUIRED (ASSUMING MAXIMUM DISCHARGE FROM TRACTS H1-H4 DO NOT EXCEED THE MASTER PLANNED TOTAL RUNOFF OF 21.3 CFS).

FLOWS FROM THIS SITE ARE TO BE ROUTED THROUGH THE ADJACENT PROPERTIES TO THE NORTH AND EAST FOR COLLECTION INTO THE EXISTING STORM SEWER SYSTEM WITH EXISTING INLETS APPROXIMATELY 280' NORTHEAST OF THE NORTHEAST CORNER OF THE SITE.

OFFSITE FLOWS: PER THE APPROVED CONCEPTUAL GRADING PLAN, NO OFF-SITE FLOW WILL PASS THROUGH THIS PROPERTY.

EXISTING HYDROLOGY (ZONE 1):

$$Q = (0.88)(2.87 \text{ cfs/Acre}) = 2.5 \text{ cfs MASS-GRADED SITE}$$

PROPOSED HYDROLOGY (ZONE 1): (5% B, 12% C, & 83% D)
 $Q = (0.88)(4.07 \text{ cfs/Acre}) = 3.6 \text{ cfs}$

GENERAL INFORMATION

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: THE SITE IS LOCATED IN ZONE 'X' (OUTSIDE OF THE 500 YR. FLOOD PLAIN BOUNDARY) AS SHOWN ON FIRM PANEL 35001C0103 DATED SEPT. 20, 1996

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ALONG THE NORTH PROPERTY LINES.

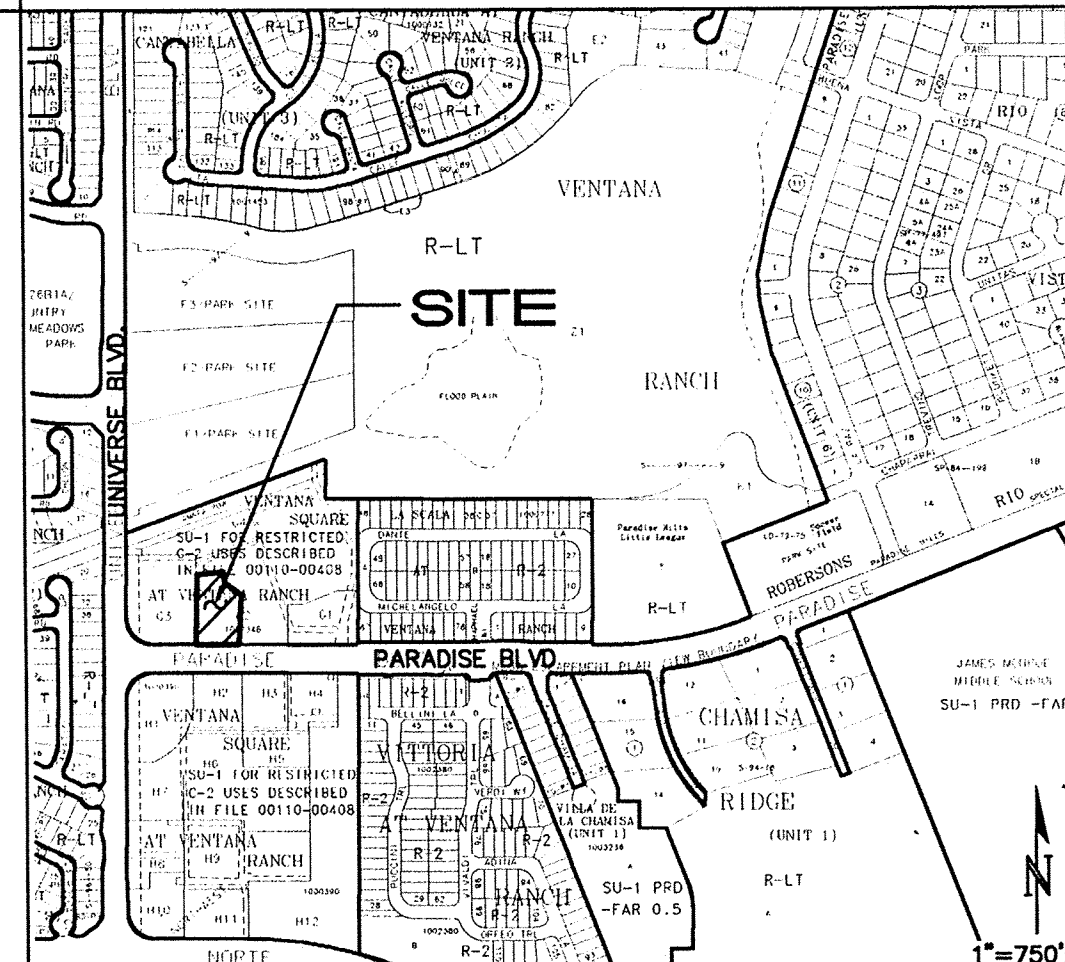
SURVEY NOTES

1. UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.
2. THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 3-B9, THE PUBLISHED ELEVATION OF WHICH IS 5434.50, AND IS LOCATED IN THE SOUTH/SOUTHWEST CURB RETURN AT THE INTERSECTION OF UNIVERSE BOULEVARD AND VENTANA ROAD NW.
3. LEGAL DESCRIPTION: TRACT G-2-B, VENTANA SQUARE AT VENTANA RANCH, CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
4. AREA: 0.8796 ACRES (38,315 s.f.)
5. SURVEYOR: SURVEYS SOUTHWEST DATED JULY, 2006

GENERAL NOTES

- A. COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITY DRAWINGS AND DETAILS.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. WHERE PROPOSED GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- D. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.

VICINITY MAP B-10



KEYED NOTES

- 1 SAWCUT EXISTING PAVEMENT WITHIN LIMITS OF CONSTRUCTION AS REQUIRED TO PROVIDE SMOOTH TRANSITION. INSTALL NEW ASPHALT PAVING AT ELEVATIONS SHOWN. SEE SHEET C2 FOR PARKING LAYOUT AND DIMENSIONS.
- 2 CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER PER C.O.A. STD. DWG. 2415 (TYPICAL) UNLESS NOTED OTHERWISE.
- 3 CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. TOP OF WALK TO BE 6" ABOVE TOP OF ADJACENT PAVEMENT (TYPICAL). SEE SHEET C2 FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION.
- 4 SEE ARCHITECTURAL FOR ROOF DRAINAGE OUTFALL LOCATIONS.
- 5 INSTALL 12" WIDE (GRATE WIDTH) X 7' LONG ZURN PERMA-TRENCH DRAIN WITH PEDESTRIAN GRATE TO PASS FLOW.
- 6 GRADE LANDSCAPE AREA TO DRAIN AS SHOWN. PROVIDE 2.0' WIDE OPENING IN CURB AT FLOWLINE TO PASS FLOW TO PAVEMENT.
- 7 FINE GRADE CONCRETE THIS AREA TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING AT ELEVATIONS SHOWN.
- 8 TEMPORARY ASPHALT CURBING.
- 9 IMPROVEMENTS SHOWN WITHIN TRACT G-2-A ARE NOT PART OF THIS WORK AND ARE CURRENTLY BEING CONSTRUCTED WITH ANOTHER PROJECT.
- 10 REMOVE & DISPOSE TEMPORARY ASPHALT CURB. MATCH EXISTING PAVING ELEVATION WITH SMOOTH-RIDING CONNECTION.

LEGEND

	SIDEWALK, CURB and GUTTER, ETC. (EXISTING, PROPOSED)
	EXISTING SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED CONTOUR
	FLOW LINE
	FINISHED FLOOR
	AS-BUILT ELEVATION

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1546GRD.DWGthor 08.08.06

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KFC/TACO BELL
VENTANA SQUARE
MJ CASSUTT ARCHITECTS

GRADING & DRAINAGE PLAN

Date:	No. Revision:	Date:	Job No.
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