

CITY OF ALBUQUERQUE



September 16, 2010

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

**Re: Kelly's Liquor—Ventana Ranch, 6531 Paradise Blvd. NW,
Request for Permanent C.O.—Approved
Engineer's Stamp dated: 06-03-09, (B-10/D003C2)
Certification dated: 8-12-10**

Dear Mr. Arfman,

Based upon the information provided in your submittal, received 9-14-10, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

A handwritten signature in black ink, appearing to read "Timothy E. Sims", is written over a horizontal line.

Timothy E. Sims
Plan Checker—Hydrology Section
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: VENTANA RANCH - KELLY LIQUORS ZONE MAP/DRG. FILE# B10 / D003CZ
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT G.2.C, VENTANA SOUND AT VENTANA RANCH
CITY ADDRESS: 6531 PARADISE BLVD. NW, ALBUQ., NM, 87114

ENGINEERING FIRM: ISAACSON AND ARFMAN
ADDRESS: 128 MONROE N.E.
CITY, STATE: ALBUQUERQUE, NM

CONTACT: SCOTT M. MCGEE
PHONE: 268-8828
ZIP CODE: 87108

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: RBA INC.
ADDRESS: 1104 PARK AVENUE S.W.
CITY, STATE: ALBUQ. NM

CONTACT: MATTHEW JIM
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: ALPHA PROFESSIONAL SURVEYING INC
ADDRESS: POBOX 46316
CITY, STATE: ALBUQ. NM

CONTACT: GARY GRITSKO
PHONE: 892-1076
ZIP CODE: 87174

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ RELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ UNDATATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (HYDROLOGY)
- ☐ CERTIFICATE OF OCCUPANCY (TCL)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: FRED G. ARFMAN
Isaacson & Arfman, P.A.

DATE: SEPT. 14, 2010 7A
AUGUST 12, 2010

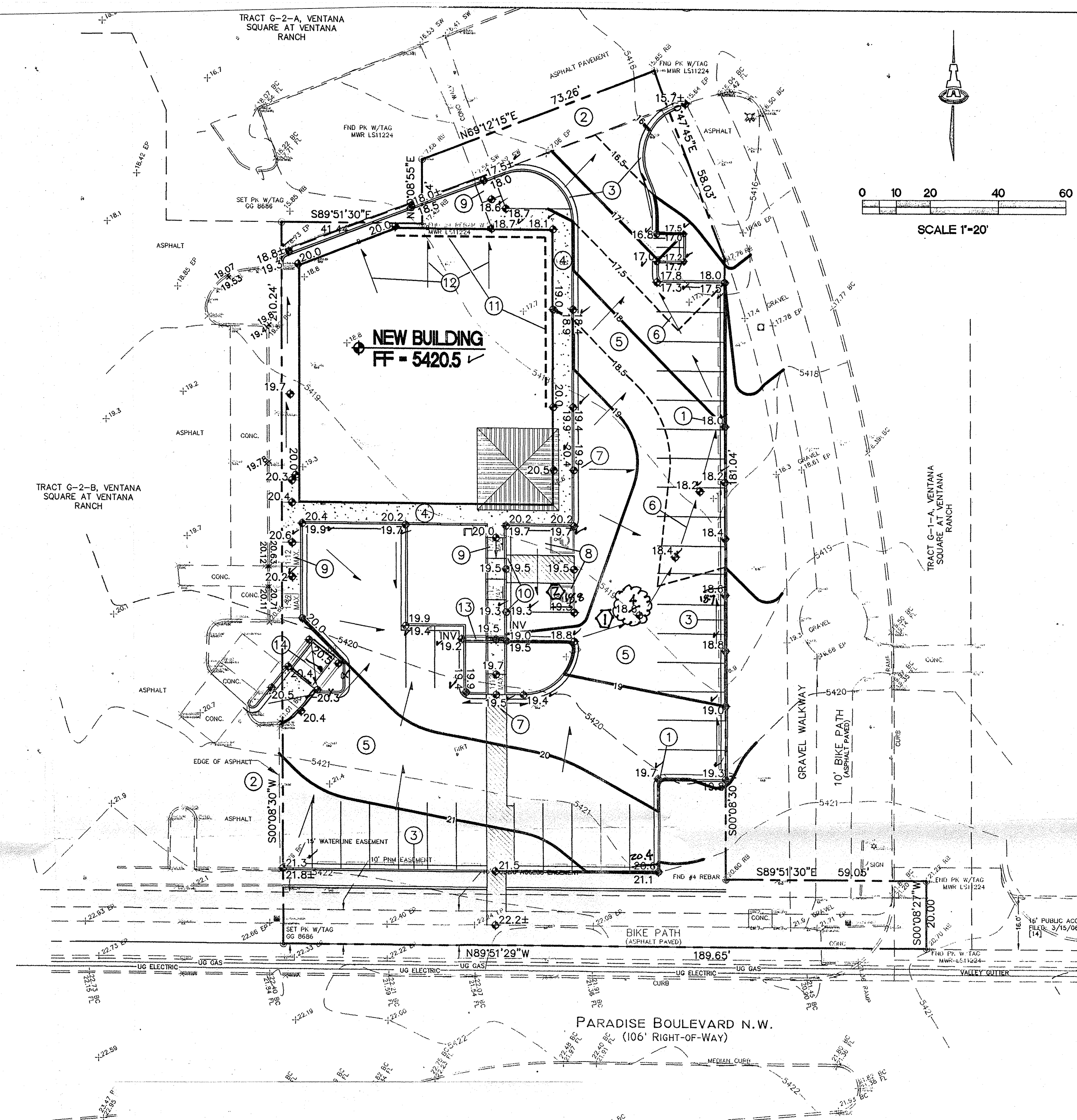
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

RECEIVED

SEP 14 2010

**HYDROLOGY
SECTION**



GENERAL NOTES

A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, AND LANDSCAPE PLAN.

B. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.

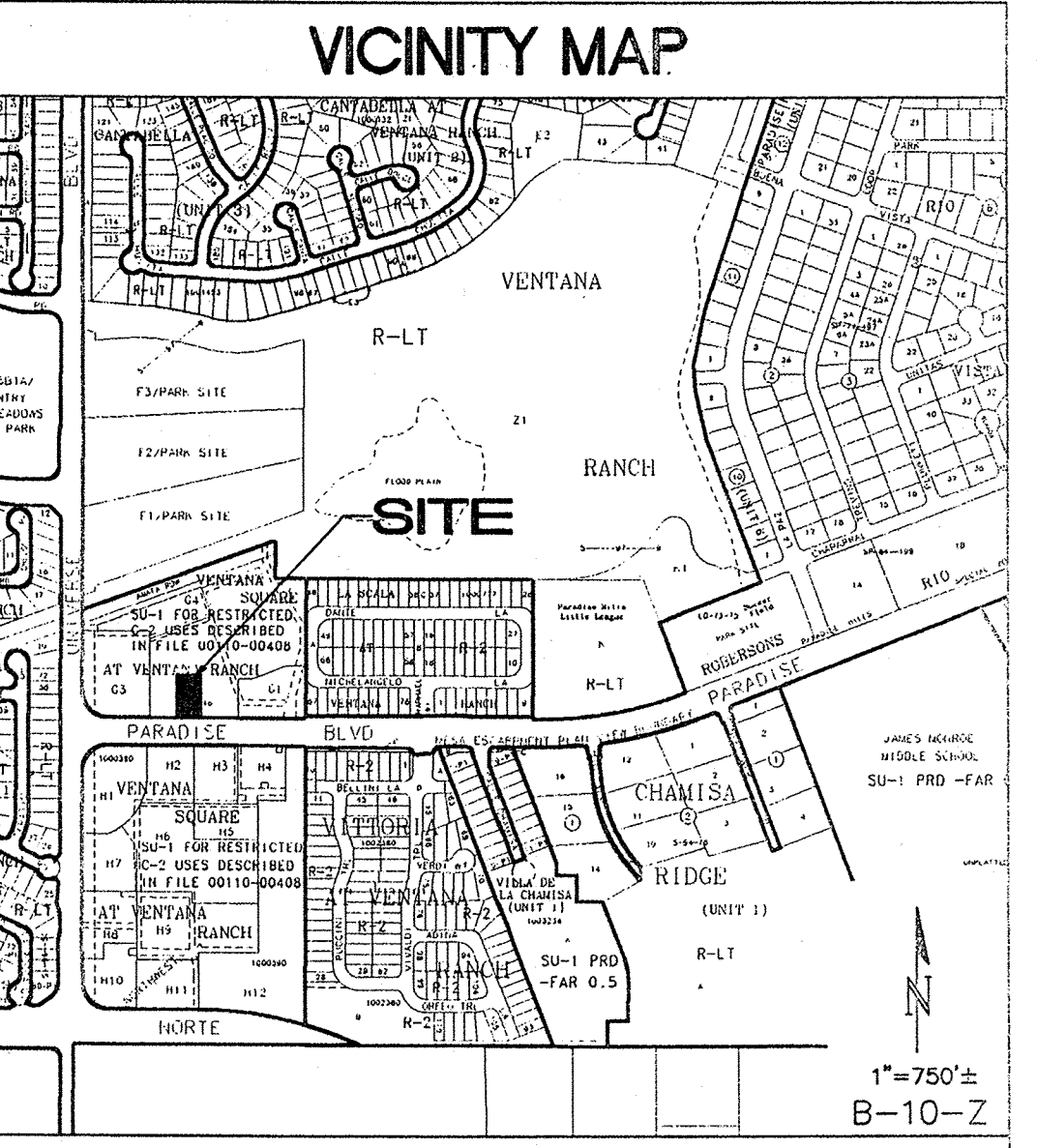
C. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.

D. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.

E. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.

F. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL.

G. ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERRING F.F. ROCK EROSION PROTECTION.



PROJECT DATA

LEGAL DESCRIPTION: VENTANA SQUARE AT VENTANA RANCH TRACT G-2-C

SITE AREA: 0.7161 ACRES

FLOOD ZONE: THIS PROPERTY IS LOCATED WITHIN ZONE X, DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 35001C0103 G, EFFECTIVE DATE SEPTEMBER 26, 2008.

ENGINEER: SCOTT M. MCGEE, PE
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABQ. NM 87108
PHONE: (505) 268-8828

SURVEYOR: ALPHA PROFESSIONAL SURVEYING INC.
GARY GRITSKO, NMPs NO. 8686
JANUARY 2009
PHONE: (505) 892-1076

BENCHMARK: THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 3-B9 (NAVD 88), THE PUBLISHED ELEVATION OF WHICH IS 5434.50, AND IS LOCATED IN THE SOUTH/SOUTHWEST CURB RETURN AT THE INTERSECTION OF UNIVERSE BOULEVARD AND VENTANA ROAD NW.

SCOPE: THE PROPOSED IMPROVEMENTS INCLUDES A 5840 SF (APPROX. FOOTPRINT) COMMERCIAL BUILDING WITH ASSOCIATED PAVED WALKS, PARKING AREAS, LANDSCAPED AREAS, GENERAL SITE WORK AND SITE REGRADING.

THE PRESENT SITE SLOPES AT APPX. 2.5% TO THE NORTH. PARADISE BLVD. BORDERS THE PROPERTY TO THE SOUTH, DEVELOPED COMMERCIAL PROPERTIES LIE TO THE NORTH, EAST AND WEST.

DRAINAGE PLAN CONCEPT: PER THE APPROVED CONCEPTUAL GRADING AND DRAINAGE PLAN, FLOW FROM ALL OF TRACT G ARE TO BE ROUTED NORTH FOR COLLECTION INTO THE EXISTING MASTER STORM SEWER (SS) SYSTEM WHICH THEN PASSES THE FLOW TO THE A.M.A.F.C.A. LAS VENTANAS DRAINAGE FACILITY BORDERING THE NORTH BOUNDARY OF THE TRACT. THE PREVIOUSLY CONSTRUCTED MASTER S.S. INLETS FULLY ACCOUNT FOR THIS TRACTS FREE DISCHARGE IN DEVELOPED RUNOFF CALCULATIONS FOR THE SYSTEM.

OFF-SITE DRAINAGE: MINOR OFFSITE FLOW FROM THE ADJACENT LANDSCAPING IS ACCEPTED AND PASSED THROUGH THIS PROPERTY.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES.

- ### KEYED NOTES
- SPOT ELEVATIONS WITHIN FLOWLINE AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB AND TOP OF ADJACENT WALK ELEVATIONS.
 - SITE ACCESS FROM ADJACENT PROPERTY. SAWCUT EXISTING ASPHALT (MIN. 12") TO PROVIDE CLEAN BONDING EDGE AND SMOOTH GRADE TRANSITION.
 - NEW 6" HIGH CURB AND GUTTER. SEE SITE DETAILS.
 - CONSTRUCT CONCRETE WALK. MAXIMUM SLOPE = 5% TYPICAL. MAXIMUM CROSS-SLOPE = 2%.
 - CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT AND SITE DETAILS.
 - PROVIDE SWALE WITHIN NEW ASPHALT AT FLOWLINE ELEVATIONS SHOWN (MIN. 1% SLOPE). 0.5' CONTOURS (DASHED) ARE PROVIDED FOR SWALE CENTERLINE CLARIFICATION.
 - PAVING HIGH POINT.
 - SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - CONSTRUCT HANDICAP ACCESS RAMP. 6' LONG WITH 12:1 MAX. SLOPE. ALL RAMPS TO MEET ADA REQUIREMENTS.
 - TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA.
 - CONSTRUCT EXTENDED STEMWALL AT BUILDING (EXTENTS DASHED) TO ACHIEVE EXTERIOR GRADES SHOWN. SEE ARCHITECTURAL.
 - BUILDING ROOF DISCHARGE TO BE RELEASED TO NORTH SIDE AT DOWNSPOUT LOCATIONS. SEE ARCHITECTURAL FOR SPECIFIC LOCATIONS. PROVIDE PRECAST CONCRETE SPLASHPAD (O.E.) AND 12" WIDE CURB OPENING AT EACH DOWNSPOUT LOCATION.
 - CONSTRUCT 12" WIDE "U" SHAPED CONCRETE CHANNEL PER C.O.A. STD. DWG. 2236 WITH COVER AT WALK AT RIM/FLOWLINE ELEV. SHOWN.
 - CONSTRUCT NEW CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.

DRAINAGE CERTIFICATION

I, Fred C. Arfman, NMPE 7322, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 06/03/09. The record information edited onto the original design document has been obtained by TBD, NMPS xxx, of the firm xxx. I further certify that I have personally visited the project site on 08/02/10 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

DEFICIENCIES:

- The low point in the asphalt swale in the easterly drive isle must be raised to prevent ponding of storm waters.
- The southeast corner of the handicapped parking must be raised to a grade of 18.9 to satisfy the 2% cross-slope maximum allowable per ADA.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Fred C. Arfman
Fred C. Arfman, PE
NMPE 7322
Date: 08-12-10

Fred C. Arfman
FRED C. ARFMAN
NMPE 7322
Date: 08-14-10

CALCULATIONS: Kelly Liquors : June 2, 2009					
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993					
ON-SITE					
AREA OF SITE:	31193	SF	=	0.716	
100-year, 6-hour					
DEVELOPED FLOWS:					
HISTORIC FLOWS:		Treatment SF %		EXCESS PRECIP:	
Area A =	0	0%	Area A =	0	0%
Area B =	0	0%	Area B =	1560	5%
Area C =	29634	95%	Area C =	3119	10%
Area D =	1560	5%	Area D =	26514	85%
Total Area =	31193	100%	Total Area =	31193	100%
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)					
Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$					
Historic E =	1.04 in.		Developed E =	1.81 in.	
On-Site Volume of Runoff: $V_{360} = \frac{E^* A}{12}$					
Historic V_{360} =	2701	CF	Developed V_{360} =	4697	CF
On-Site Peak Discharge Rate: $Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD} / 43,560$					
For Precipitation Zone 1					
Q_{pA} =	1.29		Q_{pC} =	2.87	
Q_{pB} =	2.03		Q_{pD} =	4.37	
Historic Q_p =	2.1	CFS	Developed Q_p =	2.9	CFS

LEGEND

— 21 — EXISTING CONTOUR

◆ 21.3 PROPOSED CONTOUR

— FLOW ARROW

FF = 5420.5 FINISH FLOOR ELEVATION

◆ 20.0 TOP OF CURB ELEVATION

— 19.5 FLOWLINE

— — — — — EXTENDED STEMWALL

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 Fax: 505-268-2632
1716 CG-101.dwg Jun 03, 2009

VENTANA RANCH KELLY LIQUORS

GRADING AND DRAINAGE PLAN

Date:	06-03-09	No. Revision:		Date:		Job No.	1716
Drawn By:	BJB						CG-1
Chk By:	SMM						SH. OF

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SEP 14 2010

HYDROLOGY SECTION