

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 13, 2010

Richard P. Bennett, Registered Architect
Rick Bennett Architects
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Certification Submittal for a Permanent Building Certificate of Occupancy
(C.O.) for Kelly Liquor's, [B-10/ D0003C2]
6531 Paradise Blvd. NW
Architect's Stamp Dated 08/09/10

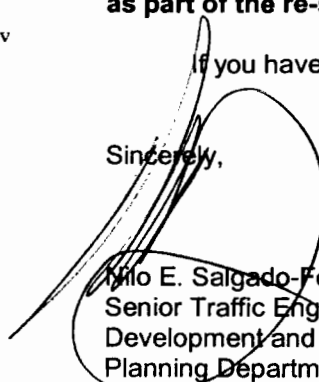
Dear Mr. Bennett:

Based upon the information provided in your submittal received 08-11-10, Transportation Development has disapproved the Permanent Certificate of Occupancy (CO) request (see below for comments) and has issued a green tag for a **120-Day Temporary CO**. This letter serves as a "green tag" from Transportation Development to be issued by the Building and Safety Division.

The following items will need to be addressed prior to issuance of a Permanent/temporary Certificate of Occupancy: **There are missing parking bumpers (parking stalls facing KFC site and delivery area) and required bumpers (at ADA parking stalls) which need to be installed per Site Plan key notes; remove dirt mount and barricade from northern parking stalls; please show new ramp with bollards in front of store entrance (provide dimensions of ramp and adjusted aisle width and mark the stalls as COMPACT (which are affected by the ramp and ramp will need to be painted yellow at entrance lip); all ramps and sidewalk connections need to be ADA accessible onto site (which they are not ADA accessible).** Once, these issues have been addressed you'll need to re-submit the total package for Permanent C.O. **(please redline all changes on the approved Site Plan as part of the re-submittal package).**

If you have any questions, please contact me at (505)924-3630.

Sincerely,


Mito E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

3.10/1032
B 104

PROJECT TITLE: KELLY LILKERS ZONE MAP: B 104
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT C-2-C VENTANA SQUARE AT VENTANA RANCH
 CITY ADDRESS: 6531 PARADISE BLVD. NW. 87114

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: RPA INC. CONTACT: NICK BENNETT
 ADDRESS: 1164 PARK AVE SW PHONE: 248-1859
 CITY, STATE: ALBUQUERQUE NM 87102 ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

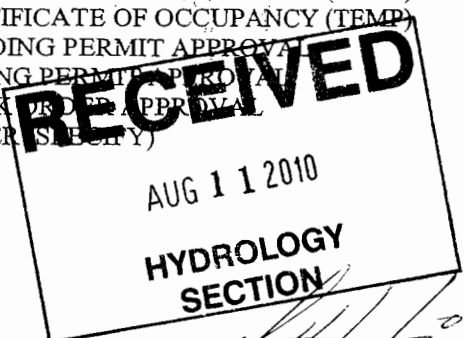
CONTRACTOR: BENNETT CO. CONTACT: AARON BENNETT
 ADDRESS: _____ PHONE: 838-0918
 CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:**
- _____ DRAINAGE REPORT
 - _____ DRAINAGE PLAN 1st SUBMITTAL
 - _____ DRAINAGE PLAN RESUBMITTAL
 - _____ CONCEPTUAL G & D PLAN
 - _____ GRADING PLAN
 - _____ EROSION CONTROL PLAN
 - _____ ENGINEER'S CERT (HYDROLOGY)
 - _____ CLOMR/LOMR
 - _____ TRAFFIC CIRCULATION LAYOUT
 - ☒ ENGINEER'S CERT (TCL)
 - _____ ENGINEER'S CERT (DRB SITE PLAN)
 - _____ OTHER (SPECIFY) _____

- CHECK TYPE OF APPROVAL SOUGHT:**
- _____ SIA/FINANCIAL GUARANTEE RELEASE
 - _____ PRELIMINARY PLAT APPROVAL
 - _____ S. DEV. PLAN FOR SUB'D APPROVAL
 - _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 - _____ SECTOR PLAN APPROVAL
 - _____ FINAL PLAT APPROVAL
 - _____ FOUNDATION PERMIT APPROVAL
 - _____ BUILDING PERMIT APPROVAL
 - ☒ CERTIFICATE OF OCCUPANCY (PERM)
 - _____ CERTIFICATE OF OCCUPANCY (TEMP)
 - _____ GRADING PERMIT APPROVAL
 - _____ PAVING PERMIT APPROVAL
 - _____ WORK ORDER APPROVAL
 - _____ OTHER (SPECIFY) _____

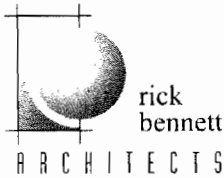
WAS A PRE-DESIGN CONFERENCE ATTENDED:
 _____ YES
 _____ NO
 _____ COPY PROVIDED

DATE SUBMITTED: August 11, 2010 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



August 11, 2010

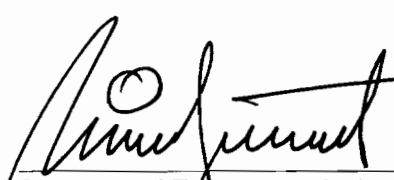
Re: Kelly Liquor's
6531 Paradise Blvd. NW
Project # 0850

TRAFFIC CERTIFICATION

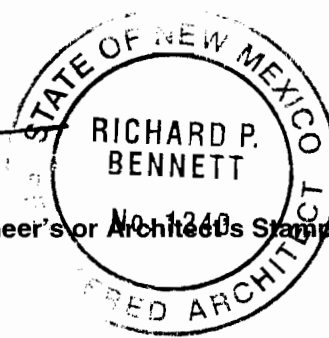
I, **Rick Bennett**, NMRA # 1240, of The Firm of Rick Bennett Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout, approved plan dated, August 20, 2009.

The record information edited onto the original design document has been obtained by **Rick Bennett Architect**, of the firm. I further certify that I have personally visited the project site on August 11, 2010 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Kelly Liquor's. Located at 6531 Paradise Blvd NW., Tract G-2-C, Ventana Square at Ventana Ranch.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.


Signature of Engineer or Architect

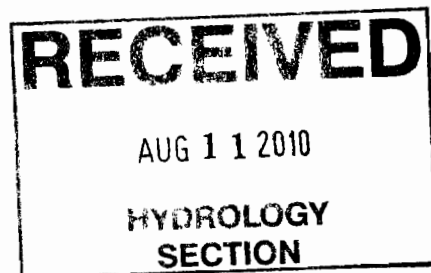
Engineer's or Architect's Stamp



Date: 8/9/10

Sincerely,


Rick Bennett, Architect



GENERAL ARCHITECTURAL DESIGN REQUIREMENTS

GENERAL ARCHITECTURE CHARACTER FOR PAD STRUCTURES IS TO FOLLOW THE GENERAL DESIGN CONCEPT DEPICTED ON ELEVATIONS OF MAJOR STORES AND SHOPS. PAD BUILDING WILL BE CEEMENTITIOUS FINISH WITH A CEMENTITIOUS OR SPLIT FACE CMU DADO BAND. THE MAIN BUILDING WALLS MUST BE COLORED TO MATCH COLOR BENJAMIN MOORE (#2) BURGUNDY AND (#1) BM1032. IF THE BUILDING EXTENDS BELOW FINISH FLOOR THAT AREA WILL ALSO BE COLORED WITH COLOR #2. STRUCTURES ARE TO BE PREDOMINATELY FLAT-ROOF HOWEVER PARTIAL BUILDING AREAS SUCH AS PORTALS OR SMALL EXTENSIONS OF BUILDING FUNCTIONS ADJACENT TO THE MAJOR BUILDING MASS MAY HAVE SLOPED ROOFS. THESE ROOFS ARE TO BE SHED TYPE MISSION TILE CLAD AND THE HIGH POINT OF THE ROOF MUST HIT THE MAIN BUILDING WALL BELOW THE TOP OF THE MAIN BUILDING PARAPET. ARCHITECTURAL ENTRY ELEMENT ROOFS MAY EXTEND ABOVE THE PARAPET WALL TOP AND AREA TO RELATE TO THE ENTRY FORWAY OF THE MAIN BUILDING. BUILDING HEIGHTS ARE LIMITED TO 35' PARAPET HEIGHTS FOR MAJOR BUILDING WALLS, AND 26' PARAPET HEIGHTS FOR PAD BUILDING WALLS MISSION TILE CLAD ENTRY ROOFS MAY EXTEND ABOVE THIS HEIGHT TO ACCENT AND ARTICULATE THE BUILDING MASS.

PAD ARCHITECTURAL DESIGN STANDARDS

SHALL INCLUDE THE FOLLOWING ELEMENTS TO PROVIDE UNIFORM STANDARDS FOR ALL PADS. EACH PAD TO FOLLOW BUILDING ELEVATIONS PROVIDED. —THE LOWER 3'-4" OF THE AREA OF VERTICAL WALLS AND LANDSCAPE WALLS SHALL BE FOUR OR EIGHT INCH SPLIT FACE CMU OR STUCCO. COLOR #2 —FOUR OR EIGHT INCH SPLIT FACE OR ACCENT BLOCK. COLOR #1 — FUEL CANOPIES TO BE CEMENTITIOUS FINISH COLOR #1 LIGHTING TO BE ENTIRELY RECESSED IN SOFFIT OF FUEL CANOPIES. (MAX. 50 FT CANDLES). —EACH PAD DEVELOPMENT TO PROVIDE AN OUTDOOR PAVED AND LANDSCAPED PATIO SPACE WITH OUTDOOR FURNITURE, SUCH AS BENCH SEATING OR PICNIC TABLES.

MECHANICAL EQUIPMENT SCREENING

ALL MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW OF THE ADJACENT PARKING AREA AND PUBLIC RIGHT-OF-WAY. IN ADDITION, IF IT IS DETERMINED THAT THE MECHANICAL UNIT CAN BE OBSERVED FROM THE RESIDENTIAL AREA HORIZONTAL SCREENING PER THE ATTACHED CONCEPTUAL SKETCH IS REQUIRED.

COLOR PALLET

COLOR #1 LIGHT TAN BENJAMIN MOORE #1032
COLOR #2 MEDIUM DARK TAN DADO BAND BASE WALL COLOR #851
COLOR #3 MARBLED TERRA COTTA CONCRETE TILE ROOFING, TRIM AND ACCENTS (MED RED/BROWN, MONIER BARCELONA CLIFFSIDE, RED).

SPECIAL BUFFERING

DRIVE UP PICK UP WINDOWS TO BE SCREENED WITH A 5' HIGH OPAQUE WALL AND 5' WIDE (MINIMUM) LANDSCAPE AREA WITH EVERGREEN TREES AT 10' ON CENTER AND 10' HIGH (MINIMUM). A BERM OF THE SAME HEIGHT AS THE WALL MAY BE PROVIDED IN LIEU OF THE WALL.

BUILDING SIGNAGE

EXCEPT AS NOTED UNDER AWNINGS ALL SIGNAGE WILL BE INTERNALLY ILLUMINATED INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION OR TEN PERCENT OF THE WALL AREA OF THE SHOP BUILDING. LETTERS ARE TO BE BACK LIT. NO EXPOSED NEON. NEON MUST BE WITHIN SOLID OPAQUE FACED METAL CHANNEL. LETTERING CAN TYPE SIGNS ARE PROHIBITED. ANY SPECIAL LOGOS ASSOCIATED WITH A SPECIFIC TENANT ARE TO BE PROVIDED IN A NON-ILLUMINATED FASHION FOR SPECIFIC APPROVAL.

LANDSCAPING

LANDSCAPING OF THE PADS WILL BE FROM THE SAME LANDSCAPING PALLET AND CONCEPT AS PROVIDED ON THE MASTER LANDSCAPING PLAN.

AWNINGS

AWNINGS PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PAINTED OR EMBOSSED CORPORATE LOGOS OR SIGNAGE ARE PERMITTED PROVIDED THE AREA WHEN ADDED TO ALL OTHER WALL SIGNAGE DOES NOT EXCEED 6 PERCENT OF THE AREA OF BUILDING WALL. ILLUMINATION OF AWNINGS MUST BE FROM PENDANT MOUNTED FIXTURES LOCATED ABOVE THE AWNING. ACCENT COLORS ON AWNINGS ARE TO BE COMPATIBLE WITH THE GENERAL COLOR PALLETTE AND SAMPLES OF THE PROPOSED AWNING COLORS ARE TO PROVIDED WITH EACH SUBMITTAL.

GLAZING

REFLECTIVE GLAZING IS PROHIBITED. CLEAR AND BRONZE TINTED GLASS IS PERMITTED.

SERVICE AREAS

SERVICE AREA SUCH AS REFUSE LOCATIONS AND COMPACTORS ARE TO BE TOTALLY SCREENED FROM THE VIEW OF THE ADJACENT RESIDENTIAL AREA. PUBLIC RIGHT-OF-WAYS AND THE ADJACENT MOMENT AREA FREE-STANDING DUMPSTER AND COMPACTOR LOCATIONS ARE TO BE GATED. SCREENING MATERIAL TO MATCH BUILDING WALL COLOR AND MATERIAL. REFER TO CONDITION P. OF 200 DRB.

LIGHTING

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. PAD SITE LIGHTING NOT TO EXCEED 20' TO FIXTURE. MAIN PARKING AREA LIGHTING NOT TO EXCEED 20' TO FIXTURE. EXPOSED, I.E. UNSHIELD LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES. MAXIMUM LIGHT LEVEL UNDER FUEL CANOPIES TO BE 50 FT. CANDLES, FROM TOTALLY RECESSED LIGHTING.

FREE STANDING SIGNAGE

250 S.F. x 16' TALL ARCHITECTURALLY COORDINATED SIGNS PERMITTED. ONE EACH AT THE PARADISE BLVD. ENTRY TO G. AND ONE ON PASO DEL NORTE FRONTAGE. EACH PAD BUILDING OR GROUP OF PAD BUILDINGS TO HAVE ONE 50 S.F. MONUMENT SIGN.

TRAFFIC REQUIREMENTS

ALL TRAFFIC REQUIREMENTS HAVE BEEN MET PER MAY 31, 1998 AGREEMENT BETWEEN THE CITY AND LOS VENTANAS LIMITED PARTNERSHIP

PARKING

THE ALLOWED PARKING SHALL BE EQUAL TO THE REQUIRED PARKING PLUS 10% MAXIMUM ADA REQUIREMENTS SHALL BE LOCATED ADJACENT TO BUILDING ENTRIES.

ALTERNATE USE

CONCEPT: IF ONE OF THE APPROVED SCHEMATIC ALTERNATE USE PLANS IS SELECTED FOR DEVELOPMENT IN LIEU OF THE APPROVED SITE PLAN FOR BUILDING PERMIT, A COMPLETE SITE PLAN FOR BUILDING PERMIT PURPOSES WILL BE PREPARED AND SUBMITTED TO THE DRB FOR REVIEW AND APPROVAL. (EPC REVIEW NOT REQUIRED UNLESS THE PLAN FOR DEVELOPMENT DOES NOT MATCH ONE OF THE ALTERNATE SCHEMATIC PLANS.

PARKING REQUIREMENTS

PARKING REQUIRED: 7,065 S.F. (NET AREA)/200 = 29 PARKING SPACES

H.C. SPACES REQUIRED = 2 PARKING SPACES (1 VAN)

PARKING PROVIDED: = 29 PARKING SPACES

PARKING PROVIDED: = 32 REGULAR PARKING SPACES
= 2 HC VAN SPACE
= 2 MOTORCYCLE SPACE
= 36 PARKING SPACES TOTAL

LANDSCAPE REQUIREMENTS

31,183 S.F. - 5,840 S.F. = 25,343 S.F.

25,343 S.F. X 12% = 3,041 S.F.

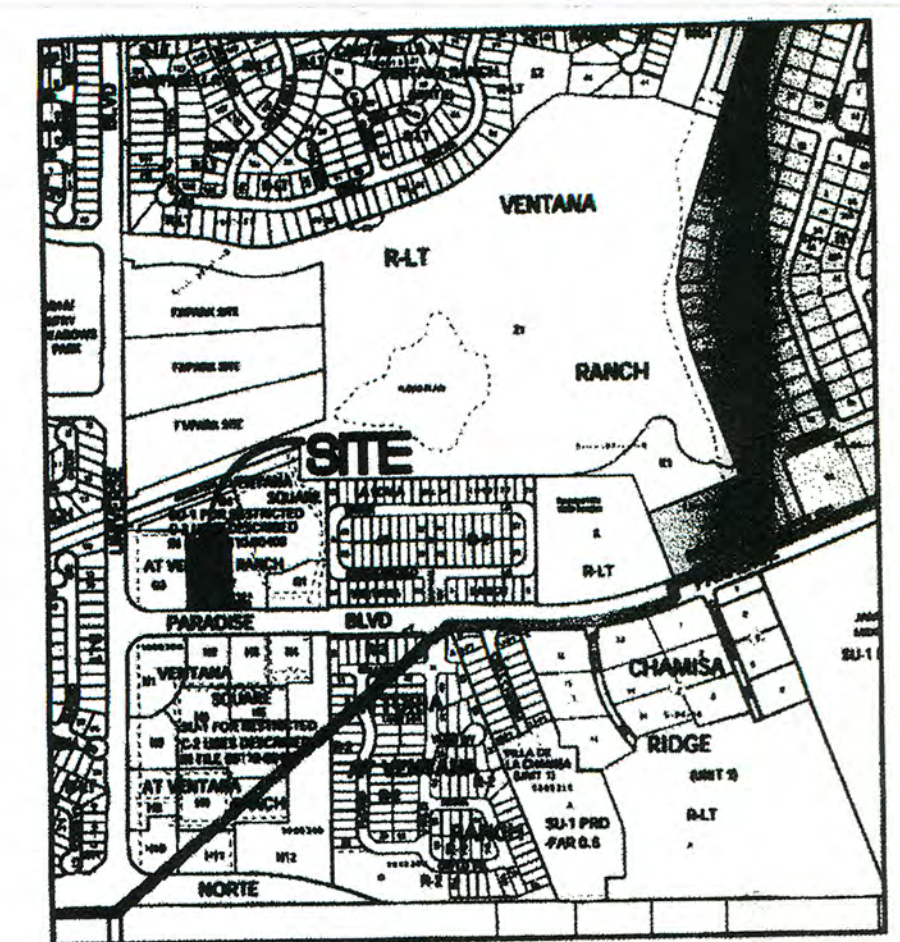
REQUIRED LANDSCAPE AREA = 3,041 S.F.

LANDSCAPE AREA PROVIDED = 3,041 S.F.

SEE LANDSCAPE PLAN FOR DETAILS

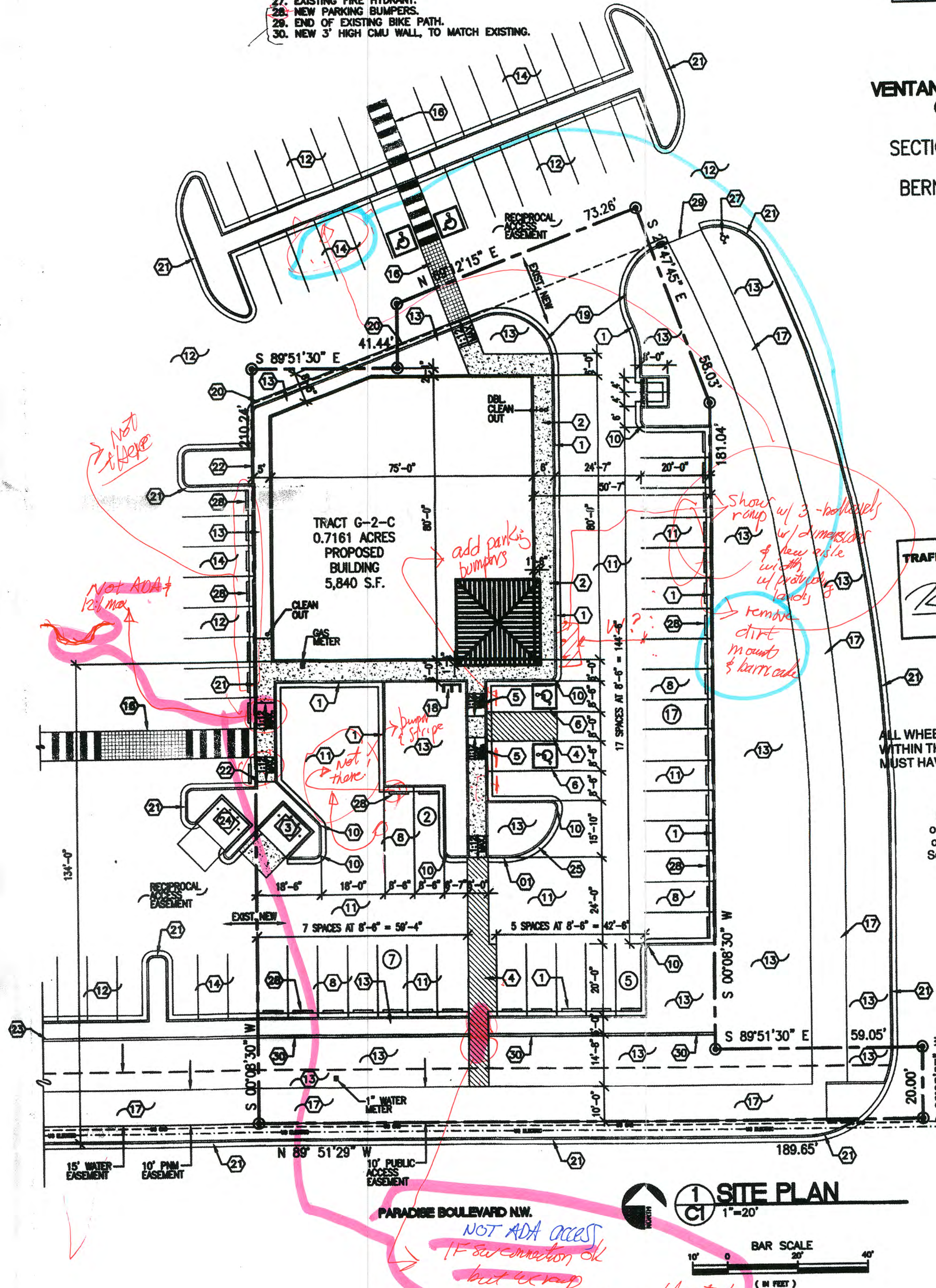
KEYED NOTES

1. NEW 6" RAISED CONCRETE CURB, AND GUTTER SEE DET: G/C-2.
2. NEW CONCRETE SIDEWALK, PER CITY STANDARD, REF: DWG. 2430.
3. NEW DUMPSTER ENCLOSURE SEE DET: B/C-1.
4. NEW HC ACCESSIBLE ASLE W/ PAINTED STRIPES SEE DET: A/C-2.
5. NEW HC PARKING SIGNAGE, TYP. SEE DET: F/C-2.
6. NEW PAINTED HANDICAP SYMBOL, TYPICAL SEE DET: A/C-2.
7. NEW H.C. ACCESSIBLE CROSSING ASLE, STRIPED, TYP SEE DET: A/C-2.
8. NEW PAINTED PARKING STRIPE, SEE DET: A/C-2.
9. NEW H.C. ACCESSIBLE CURB RAMP, PER C.O.A. STANDARDS DWG. 2426/2441.
10. NEW 2'-0" RADIUS TYPICAL
11. NEW 3" ASPHALT PAVING OVER 4" BASE COURSE.
12. EXISTING ASPHALT PAVING.
13. LANDSCAPING.
14. EXISTING PARKING STRIPE.
15. NEW RAMP ACCESS PER CITY STANDARD REF: DWG. 2426
16. EXISTING CROSS WALK.
17. EXISTING 10' BIKE PATH.
18. NEW BICYCLE RACK, SEE DET: H/C-2.
19. NEW 15'-0" RADIUS TYPICAL
20. EDGE OF EXISTING ASPHALT PAVING.
21. EXISTING CONC. CURB AND GUTTER.
22. NEW 5'-0" CONC. STOPS, TYP.
23. EXISTING 3' HIGH CMU WALL.
24. EXISTING DUMPSTER ENCLOSURE.
25. NEW 15'-0" RADIUS TYPICAL
26. END OF EXISTING BIKE PATH.
27. EXISTING FIRE HYDRANT.
28. NEW PARKING BUMPERS.
29. END OF EXISTING BIKE PATH.
30. NEW 3' HIGH CMU WALL, TO MATCH EXISTING.



Zone Atlas Page:
B-10-Z

TRACT G-2-C
VENTANA SQUARE AT VENTANA RANCH
6531 PARADISE BLVD. NW
ABQ. NM, 87114
SECTION 10, T.11N., R.2 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2009



TRAFFIC CIRCULATION LAYOUT
APPROVED
04/27/09
Signed
Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

RECEIVED
AUG 11 2010
HYDROLOGY
SECTION

1 SITE PLAN
1"=20'
BAR SCALE
(IN FEET)

KELLY LIQUOR'S
SITE PLAN
ALBUQUERQUE, NEW MEXICO
PROJECT #0860

REVISION DATE
DATE 04-20-2009
SHEET NUMBER C-1