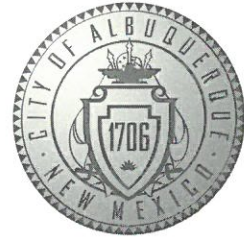


CITY OF ALBUQUERQUE



November 19, 2019

Freddie Montoya, RA
2336 Sunshine Rd. SW
Albuquerque, NM 87105

Re: Patio Addition
6531 Paradise Blvd NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 7-17-19 (B10D003C2)
Certification dated 11-18-19

Dear Mr. Montoya

Based upon the information provided in your submittal received 11-18-19, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

NM 87103

www.cabq.gov

- The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- The ADA accessible parking signs must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.

Once these corrections are complete, email pictures showing the changes to PLNDRS@cabq.gov, & epgomez@cabq.gov for release of final CO.

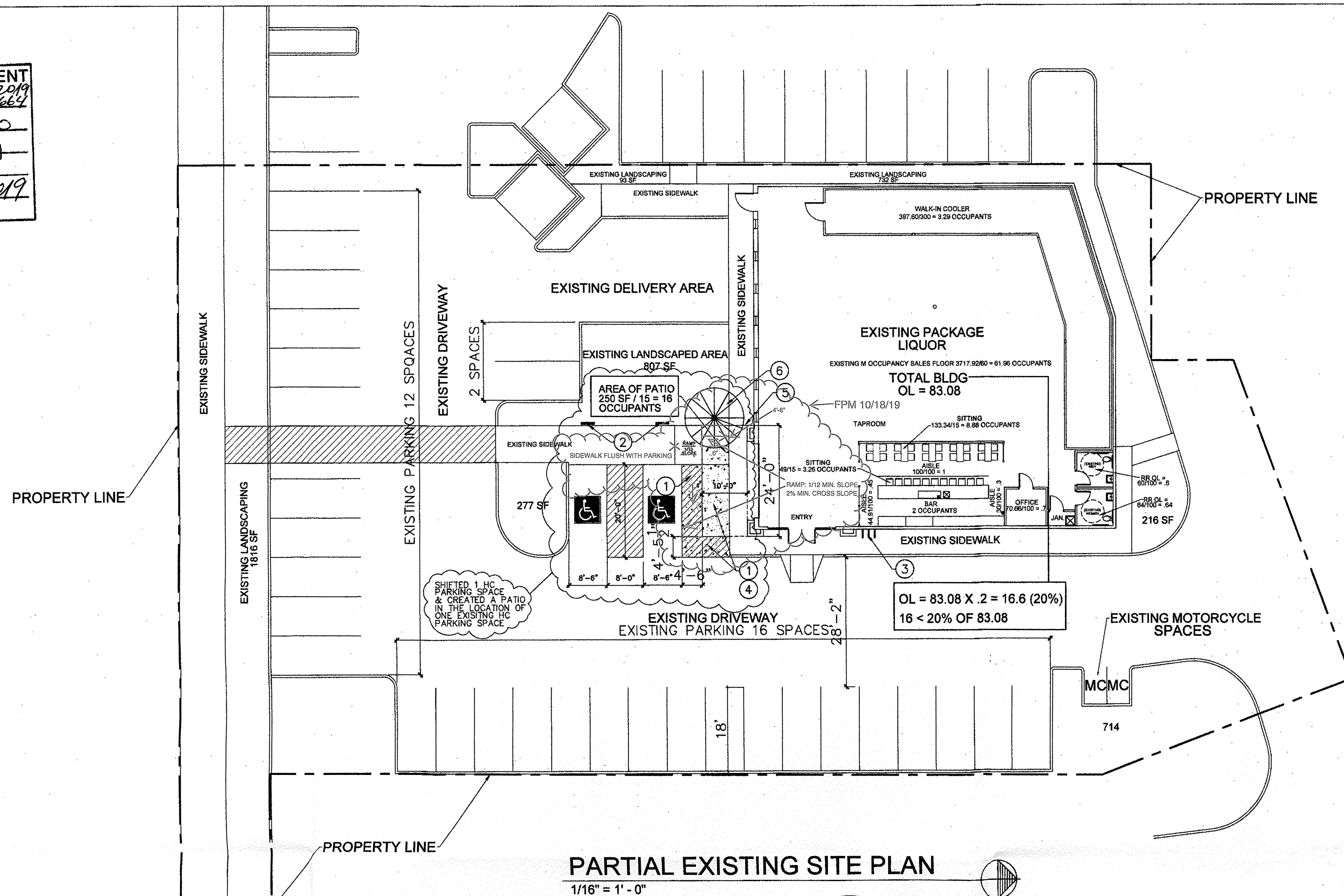
If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

ADMINISTRATIVE AMENDMENT
5-2019 PROJECT #00246
New 250 sf patio
and minor parking
adjustment.
APPROVED BY DATE
06 Aug 2019



PARTIAL EXISTING SITE PLAN
1/16" = 1' - 0"

PARKING REQUIREMENTS
EXISTING LIQUOR STORE AREA 5224 SF
5,224/250 = 21 PARKING SPACES REQUIRED
EXISTING TAP ROOM AREA 584 SF
584/125 = 5 PARKING SPACES REQUIRED
NEW PATIO ADDITION AREA 240 SF
240/125 = 2 PARKING SPACES REQUIRED
PARKING SPACES REQUIRED - 28
PARKING SPACES PROVIDED - 32
INCLUDING 2 REQUIRED HC SPACES

CODE ANALYSIS

APPLICABLE CODES

INTERNATIONAL BUILDING CODE 2015
INTERNATIONAL EXISTING BUILDING CODE 2015
2015 NEW MEXICO COMMERCIAL BUILDING CODE
2015 NEW MEXICO EXISTING BUILDING CODE

A. PROJECT SCOPE:

The project consists of a tenant improvement to an existing building with an existing occupancy classification Group "M", Mercantile. The tenant improvement is for a Patio Addition on the exterior of the existing building. The work consists of the removal of existing pavement and concrete slabs and the installation of new concrete slabs and paving and the removal of a load bearing wall and the installation of a sectional door. The work is being designed per the IEBC Building Code Chapter 8 - Alterations Level 2

B. USE AND OCCUPANCY CLASSIFICATION:

Section 309 - Mercantile Group M

C. ALLOWABLE BUILDING AREA:

(Table 506.2)

TYPE VB NS allowable building area = 9,000 sf
Actual existing building area = 5,808 SF
A2 area for this Tenant Improvement (PATIO ADDITION) = 372 SF

D. OCCUPANT LOAD

(Table 1004.1.2)

Existing M Occupant Load = 67.19 Occupants
Existing Taproom Occupant Load = 15.89 Occupants
Total Existing Building Occupant Load = 83.08 Occupants
Patio Addition Occupant Load = 16 Occupants < 20% OF 83.08

E. FIRE PROTECTION SYSTEM

(Section 903 Automatic Sprinkler Systems)

903.2.1.2 Group A2
Sprinkler System is not required - Fire Area is < 5,000 SF
A2 occupant load is < 100 occupants

903.2.7 Group M
Sprinkler System is not required - Fire Area is < 12,000 SF

Fire Extinguishers shall place a minimum of 75' apart based on the International Fire Code.

F. SEISMIC CATEGORY

2015 IBC CHAPTER 16 - STRUCTURAL DESIGN
Seismic category "D"

G. PLUMBING SYSTEM

IEBC 2015 SECTION 810 - PLUMBING
IEBC 2015 SECTION 810.1 - Minimum Fixtures

Where the occupant load of the story is increased by more than 20 percent, plumbing fixtures for the story shall be provided in quantities specified in the International Plumbing Code based on the increased occupant load. The occupant load has not been increased by more than 20%. Therefore, the existing plumbing fixtures count complies with this code.

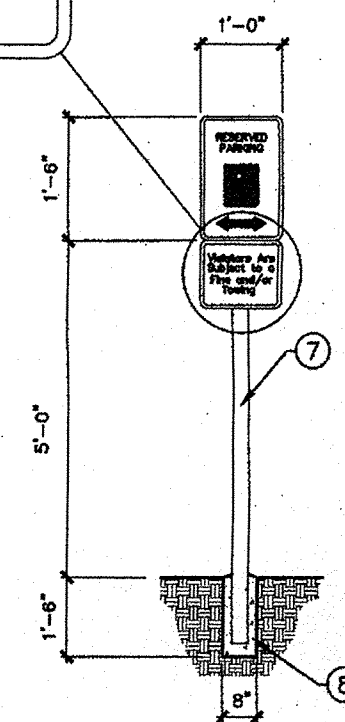
PROPERTY DESCRIPTION

PARCEL I:
TRACT G-2-C OF THE PLAT OF TRACTS G-1-A, G-2-A, G-2-B, G-2-C AND G-4-A, VENTANA SQUARE AT VENTANA RANCH.

KEYED NOTES:

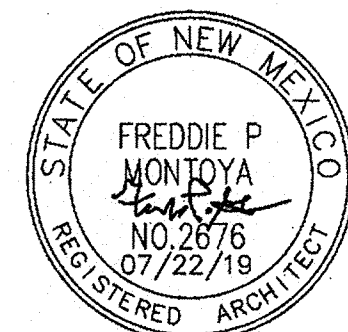
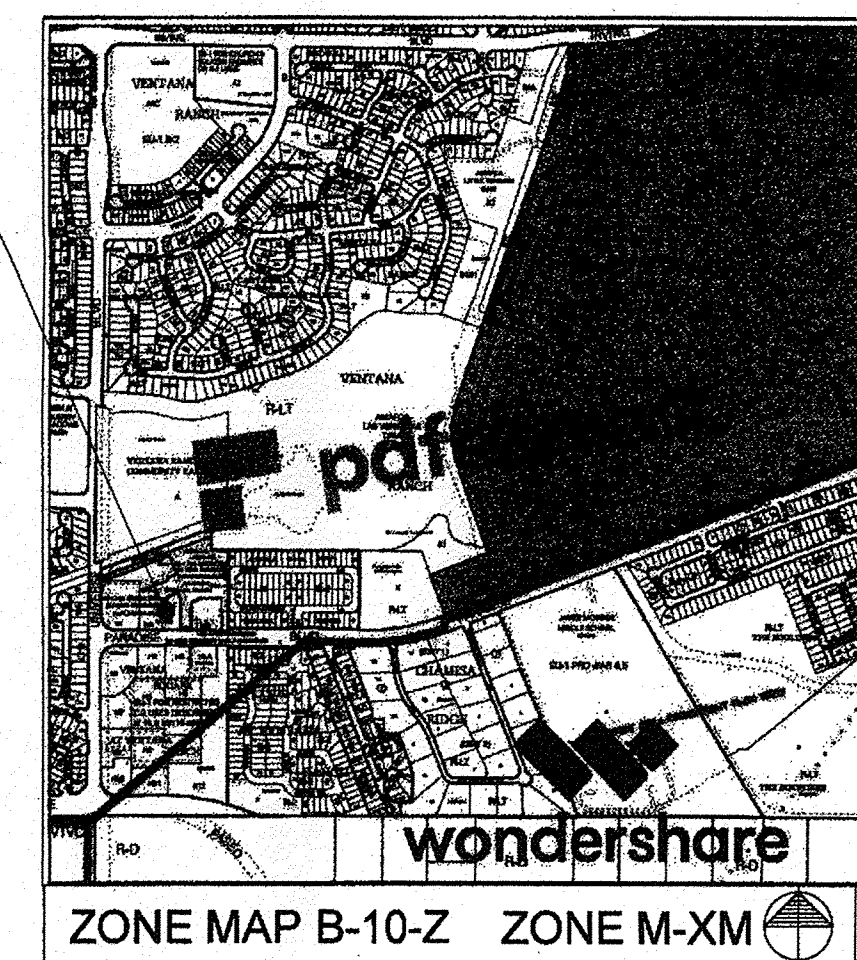
1. EXTEND EXISTING SIDEWALK PER DIMENSIONS INDICATED. 4" THICK, 3000 PSI CONCRETE W/ 6X6-10/10 WWF.
2. HC PARKING SIGN. SEE DETAIL 1/A-1. THIS SHEET.
3. BICYCLE RACKS FOR 3 BICYCLES.
4. NEW SIDEWALK & PATIO FINISH FLOOR IS NO MORE THAN 6" ABOVE ADJACENT PARKING SPACES.
5. PROVIDE A 6' HIGH FENCE ON 3 SIDES OF THE PATIO AREA WITH A GATE ON THE SIDEWALK SIDE.
6. ARIZONA ASH, "FRAXINUS VELUTINA", 2" CALIPER
7. 3" DIA. GALVANIZED STEEL POST.
8. 3000 PSI CONCRETE FOOTING.

Violators Are
Subject to a
Fine and/or
Towing



1 H.C. PARKING SIGN
A-1 NOT TO SCALE

PROJECT LOCATION



A PATIO ADDITION AT 6531 PARADISE BLVD NW
A TAPROOM AT PARADISE LIQUORS

JULY, 2019

A1



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2015)

Project Title: A PATIO ADDITION AT 6531 PARADISE BLVD NW Building Permit #: BP-2019-26004 Hydrology File #: B100003c2
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: PARCEL 1: TRACT G-2-C OF THE PLAT OF TRACTS G-1-A, G-2-1, G-2-B, G-2-C AND G-4-A, VENTANA SQUARE AT VENTANA RANCH
City Address: 6531 PARADISE BLVD NW

Applicant: MATT REEVES **Contact:** OWNER
Address: 5600 EUBANK BLVD NE SUITE 200 ALBUQUERQUE NM 87111
Phone#: 505-273-7168 **Fax#:** _____ **E-mail:** matt@ws-cre.com

Other Contact: FREDDIE MONTOYA **Contact:** ARCHITECT
Address: 2336 SUNSHINE RD SW, ALBUQUERQUE, NM 87105
Phone#: 505-203-4135 **Fax#:** _____ **E-mail:** freddiemontoya@hotmail.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/18/19

By: FREDDIE MONTOYA - ARCHITECT

COA STAFF:

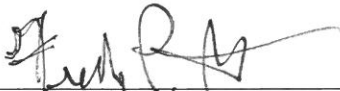
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

TRAFFIC CERTIFICATION

I, FREDDIE MONTOYA, NMRA NO. 2676, OF THE FIRM FREDDIE MONTOYA - ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/15/19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY FREDDIE MONTOYA OF THE FIRM FREDDIE MONTOYA - ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/24/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

11/18/19

Date

