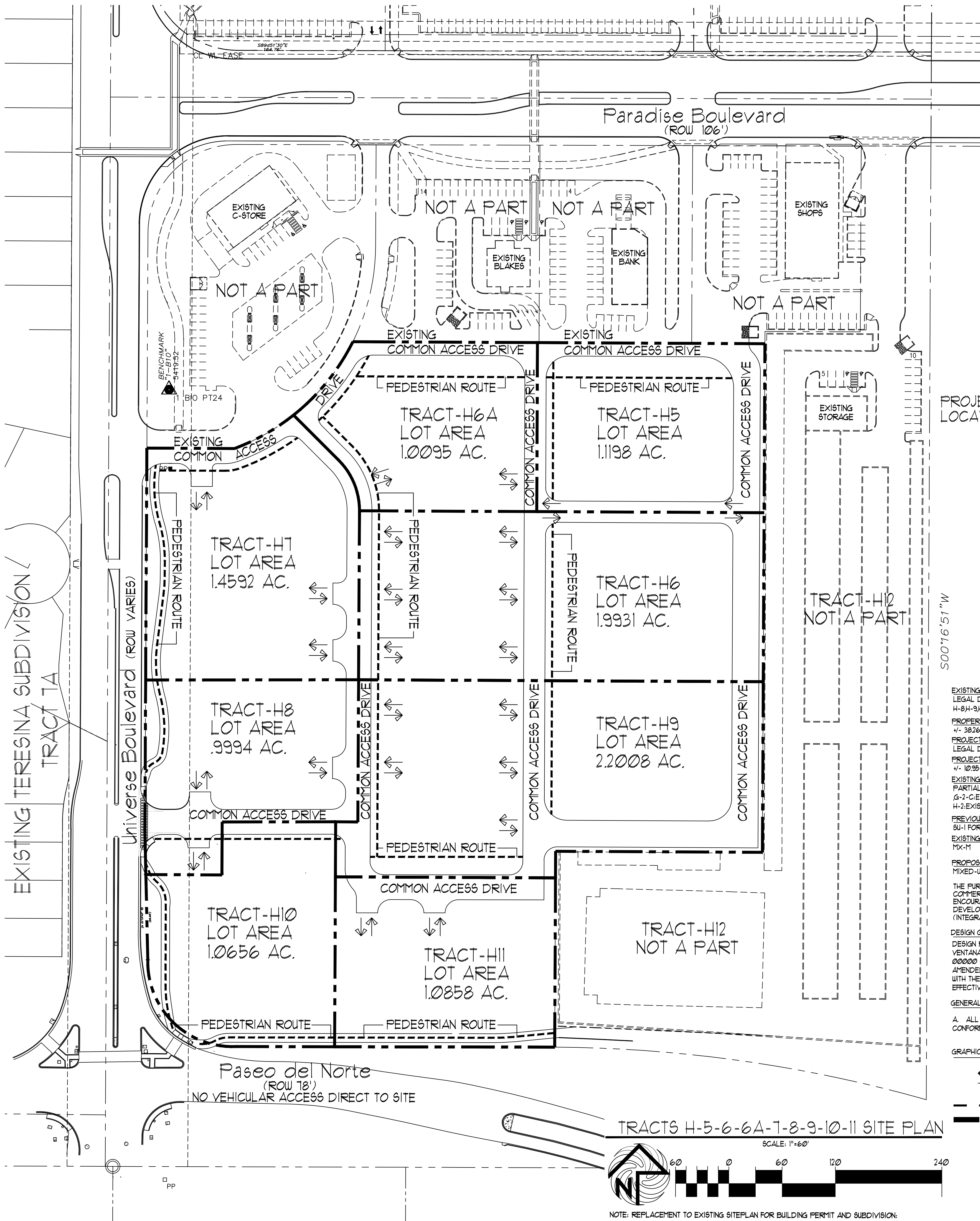
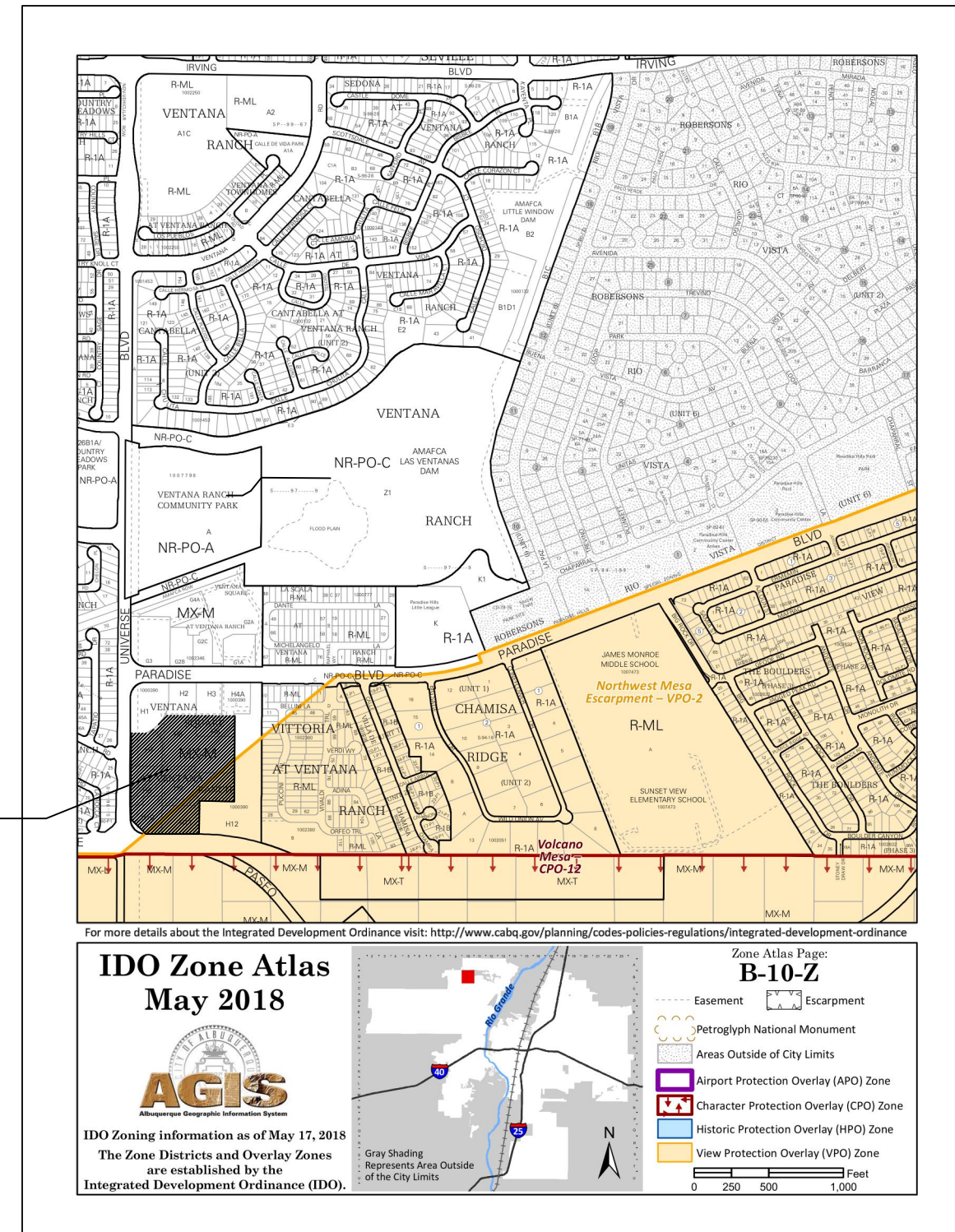




PROJECT LOCATION



VICINITY MAP

500'16'51" W

EXISTING SITE DATA:
LEGAL DESCRIPTION: TRACTS G-1-AG-2-AG-2-B-G-2-C-G-3-G-4-AH-1H-2H-3H-4-AH-5H-6H-7
H-8H-9H-10H-11, AND H-12 OF VENTANA SQUARE SUBDIVISION

PROPERTY AREA:
4/- 3826 ACRES

PROJECT AREA:
LEGAL DESCRIPTION: TRACTS H-5H-6H-6AHTH8H9H10H11 OF VENTANA SQUARE SUBDIVISION

PROJECT AREA:
4/- 1095 ACRES

EXISTING LAND USE:
PARTIALLY DEVELOPED (TRACT-G-1-A-EXISTING SHOPS, G-2-A: EXISTING SHOPS, G-2-B-EXISTING KFC/TACOBELL, G-2-C-EXISTING PARADISE LIQUORS, G-3: EXISTING WALGREENS, G-4-A-EXISTING SHOPS, H-1: EXISTING C-STORE, H-2-EXISTING BLAKE'S LOTABURGER, H-3: BANK OF AMERICA, H-4-A-EXISTING SHOPS, H-12: EXISTING SELF STORAGE.

PREVIOUS ZONING:
SU-1 FOR RESTRICTED C-2 USES

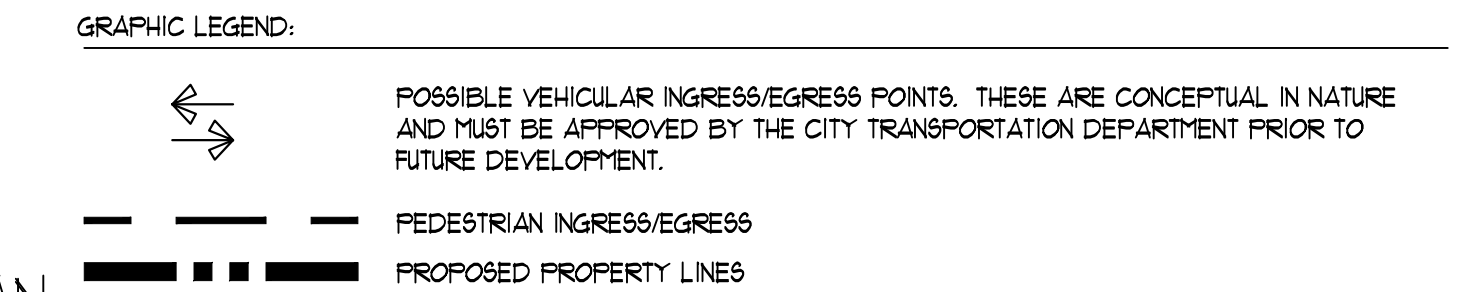
EXISTING ZONING:
MX-M

PROPOSED LAND USES:
MIXED-USE-MODERATE INTENSE ZONE DISTRICT (MX-M)

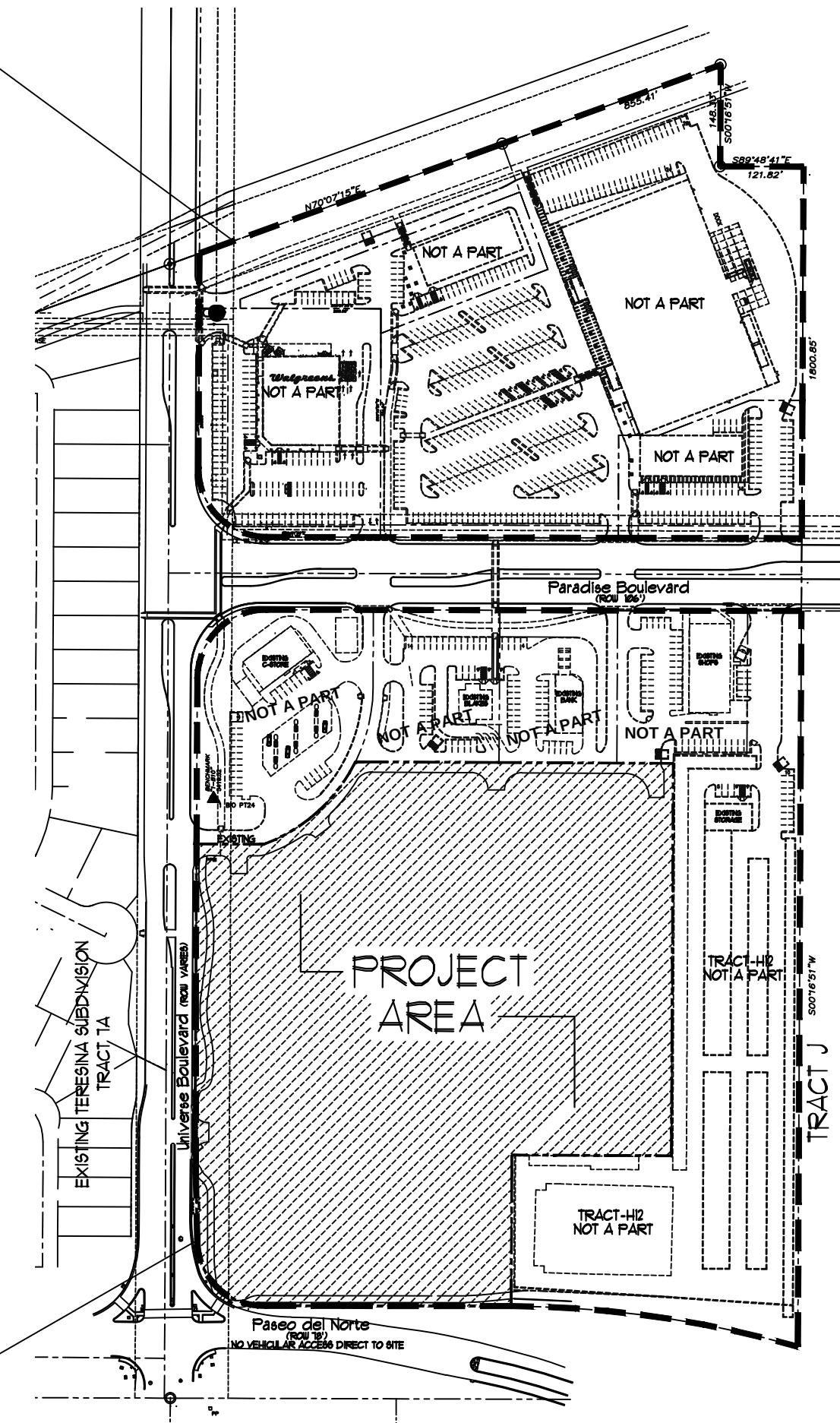
THE PURPOSE OF THE MX-M ZONE DISTRICT IS TO PROVIDE FOR A WIDE ARRAY OF MODERATE-INTENSITY RETAIL, COMMERCIAL, INSTITUTIONAL AND MODERATE-DENSITY RESIDENTIAL USES WITH TALLER, MULTI-STORY BUILDINGS ENCOURAGED IN CENTERS AND CORRIDORS. ALLOWABLE USES ARE SHOWN IN TABLE 4-2-1 OF THE IDO (INTEGRATED DEVELOPMENT ORDINANCE). ALL FUTURE DEVELOPMENT SHALL COMPLY WITH THE STANDARDS SET FORTH IN THE IDO (INTEGRATED DEVELOPMENT ORDINANCE) PURSUANT TO ITS EFFECTIVE DATE OF MAY 17, 2018 AND AS AMENDED.

DESIGN GUIDELINES & STANDARDS:
DESIGN REQUIREMENTS, GUIDELINES AND RESTRICTED/PROHIBITED USES APPROVED AS PART OF THE VENTANA SQUARE SITE PLAN FOR SUBDIVISION APPROVED BY THE EPC (00018 000000 00405 AND 00018 000000 00410)/DRS (1000330) N 2000 SHALL BECOME NULL AND VOID WITH THE APPROVAL OF THIS AMENDED SITE PLAN FOR TRACTS H-5, H-6, H-6A, H-8, H-9, H-10, H-11 ONLY. ALL FUTURE DEVELOPMENT SHALL COMPLY WITH THE STANDARDS SET FORTH IN THE IDO (INTEGRATED DEVELOPMENT ORDINANCE) PURSUANT TO ITS EFFECTIVE DATE OF MAY 17, 2018 AND AS AMENDED.

GENERAL NOTES:
A ALL NEW SIDEWALKS AND PEDESTRIAN CROSSEWALKS FOR TRACTS H-5, H-6, H-6A, H-8, H-9, H-10, H-11 ONLY SHALL CONFORM WITH SECTIONS 5-3(D)(2)(b) AND 5-3(D)(3)(c) OF THE IDO



TRACT-G

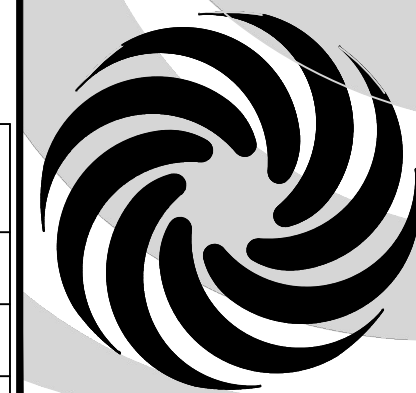


ENLARGED SITE DEVELOPMENT
PLAN AREA PLAN

SUMMARY OF SUBDIVISION CHANGES:

CURRENT SUBDIVISION				PROPOSED SUBDIVISION	
TRACT	LOT SIZE (ACRES)	PAD/BLDG. SF	DEVELOPED AS INTENDED	TRACT	LOT SIZE (ACRES)
G-1-A	105 ACRES	SHOP-3,900 SF	YES (SHOPS)	---	---
G-2-A	4.45 ACRES	---	NO (SHOPS)	---	---
G-2-B	88 ACRES	---	NO (KFC/TACO BELL)	---	---
G-2-C	.72 ACRES	---	NO PARADISE LIQUORS	---	---
G-3	138 ACRES	MAJOR-4 15,000 SF	YES (WALGREENS)	---	---
G-4-A	110 ACRES	SHOP-4 9,000 SF	YES (SHOPS)	---	---
H-1	173 ACRES	PAD-5 4,000 SF	YES (C-STORE)	---	---
H-2	96 ACRES	PAD-6 2,860 SF	YES (BLAKE'S LOTABURGER)	---	---
H-3	87 ACRES	PAD-7 3,440 SF	YES (BANK OF AMERICA)	---	---
H-4	93 ACRES	PAD-8 1,800 SF	YES (SHOPS)	---	---
H-5	81 ACRES	SHOP-5 2-3,000 SF	UNDEVELOPED	H-5	1,1198 ACRES
H-6	328 ACRES	MAJOR 2-23,000 SF SHOPS 1-12,000 SF	UNDEVELOPED	H-6	1,9931 ACRES
---	---	---	---	H-6A	1,0095 ACRES
H-7	110 ACRES	PAD-4 6,400 SF	UNDEVELOPED	H-7	1,4592 ACRES
H-8	111 ACRES	PAD-3 6,400 SF	UNDEVELOPED	H-8	9,994 ACRES
H-9	2.49 ACRES	MAJOR 1-28,000 SF	UNDEVELOPED	H-9	2,2008 ACRES
H-10	108 ACRES	PAD-2 4,800 SF	UNDEVELOPED	H-10	1,0656 ACRES
H-11	108 ACRES	PAD-1 8,000 SF	UNDEVELOPED	H-11	1,0858 ACRES
H-12	5.19 ACRES	2,800 SF	YES (SELF STORAGE)	---	---

MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: VENTANA RANCH
NEC OF UNIVERSE AND PASEO BLVD
ALBUQUERQUE

PROJECT MANAGER: STEPHEN DUNBAR, AIA

JOB NO.: XXXXX

DRAWN BY: S

SHEET TITLE: SITE PLAN

DATE: 7/17/2020
SCALE: RE: BAR SCALE
SHEET: SP-1

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			