



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: _____

Building Permit #: _____ Hydrology File #: _____

Zone Atlas Page: _____ DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

Development Street Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ Fax#: _____

E-mail: _____

Development Information

Build out/Implementation Year: _____ Current/Proposed Zoning: _____

Project Type: New: ☒ Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Change of Zoning: ()

Proposed Use (mark all that apply): Residential: () Office: () Retail: ☒ Mixed-Use: ()

Describe development and Uses:

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): _____

Number of Residential Units: _____

Number of Commercial Units: _____

Traffic Considerations

ITE Trip Generation Land Use Code _____

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* _____

Driveway(s) Located on: Street Name

Adjacent Roadway(s) Posted Speed: <u>Street Name</u>	Universe Blvd. - 35 MPH	Posted Speed
<u>Street Name</u>	Paradise Blvd. - 35 MPH	Posted Speed

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: _____
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: _____
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): _____

Adjacent Roadway(s) Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____
(if applicable)

Adjacent Transit Service(s): _____ Nearest Transit Stop(s): _____

Is site within 660 feet of Premium Transit?: _____

Current/Proposed Bicycle Infrastructure: _____
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: _____

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidid=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [☐] No [☐]

Thresholds Met? Yes [☐] No [☐]

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: [☐]

Notes:

TRAFFIC ENGINEER

DATE

Submittal

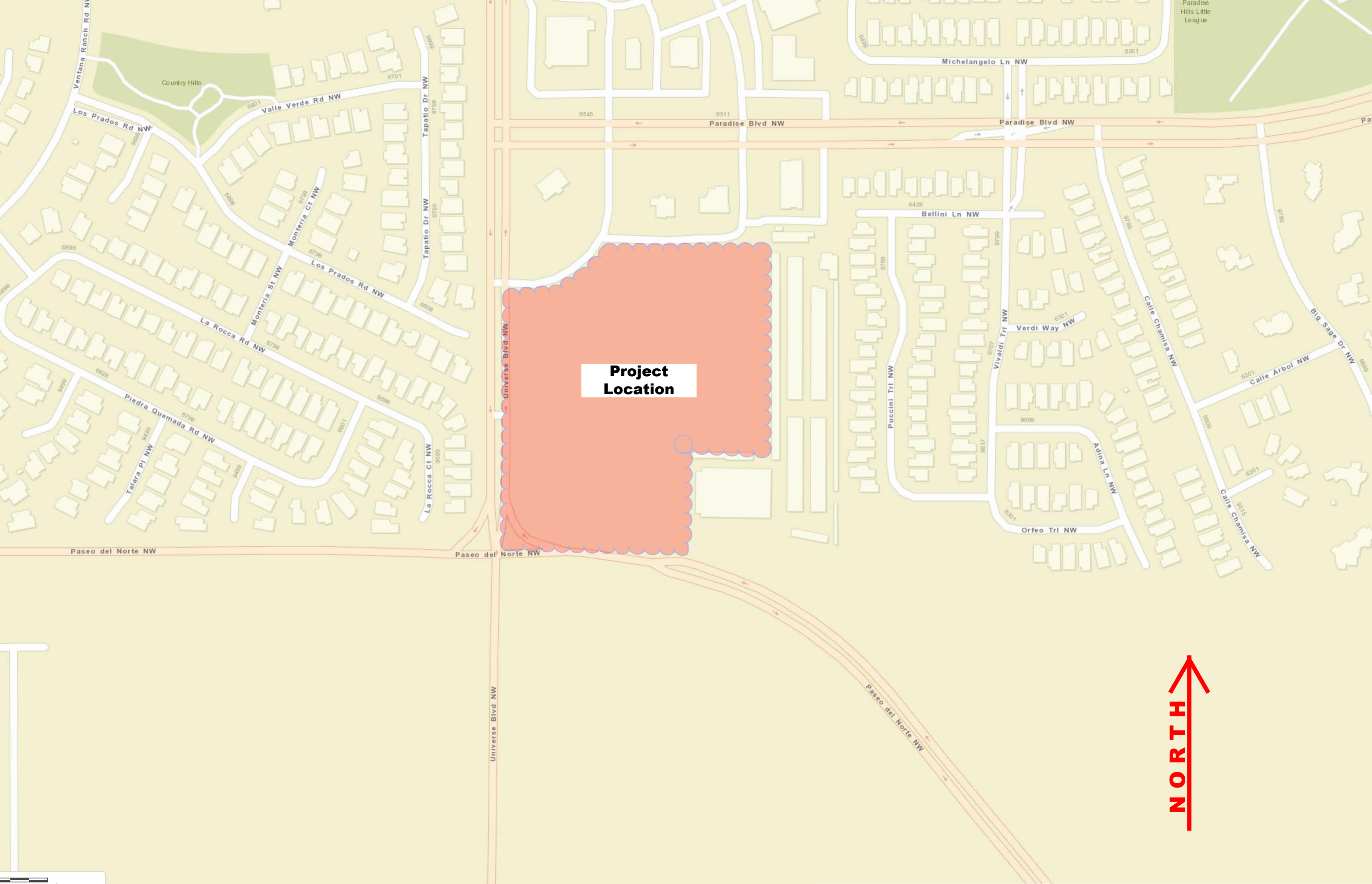
The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

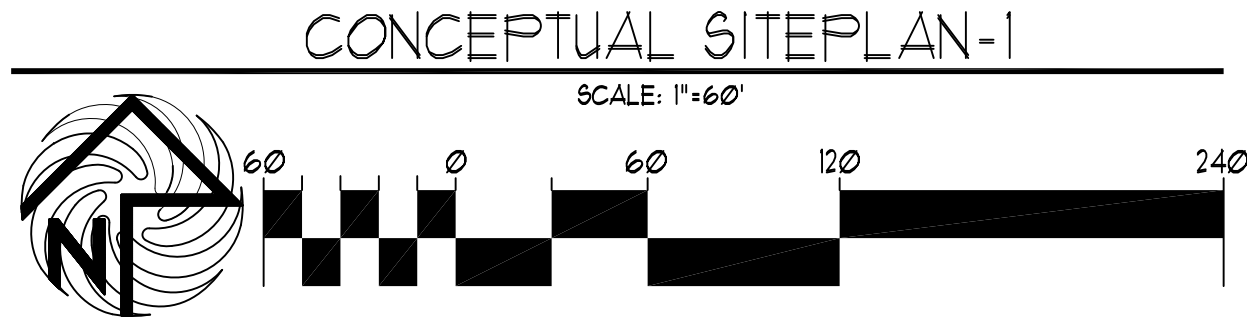
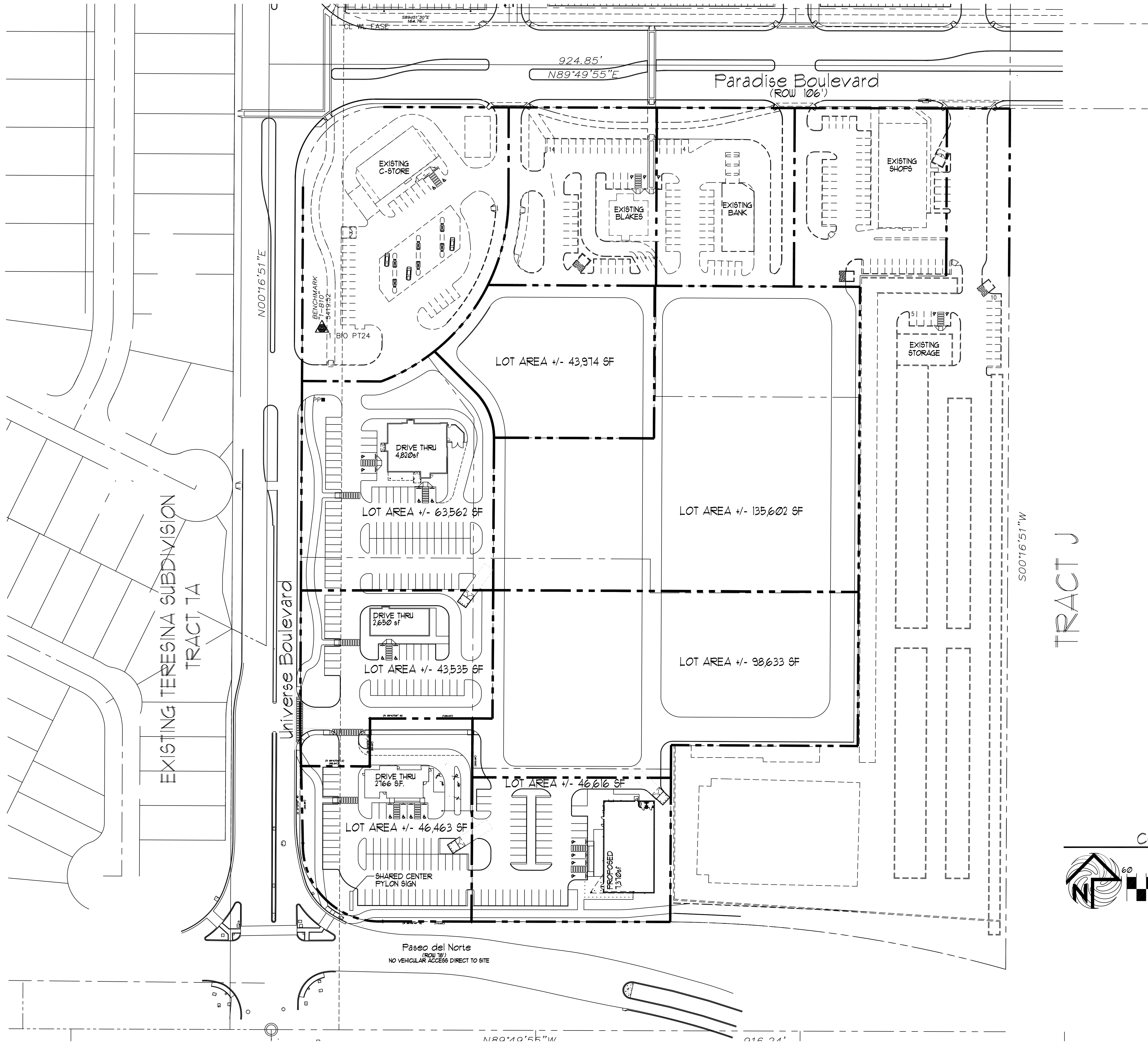
Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.



**Project
Location**

NORTH



REV	DATE	BY	REVISION
△			
△			
△			
△			
△			

**MODULUS ARCHITECTS**
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE VENTANA RANCH NEC OF UNIVERSE AND PASEO BLVD ALBUQUERQUE	JOB NO. XXXXX	DRAWN BY: S
PROJECT MANAGER STEPHEN DINBAR, AIA	SHEET TITLE CONCEPTUAL SITE PLAN	

DATE: 6/17/2020	sheet: CP - 1
SCALE: RE: BAR SCALE	of:



Ventana_Retail

Ventana Ranch Retail Commercial (PdN / Universe Blvd.)
Trip Generation Data (ITE Trip Generation Manual - 10th Edition)

	USE (ITE CODE)	24 HR VOL	A. M. PEAK HR.		P. M. PEAK HR.		
	DESCRIPTION	GROSS	ENTER	EXIT	ENTER	EXIT	
Summary Sheet		Units					
	Fast Food Restaurant w/ Drive-Thru Window (934)	10.24	4,821	210	202	174	161
	Shopping Center (820)	82.00	5,253	120	73	225	244
	Subtotal		10,074	330	275	399	405
	Pass-By Trips	30%		-99	-83	-120	-122
	Total Primary Trips			231	192	279	283

2018 Traffic Flows

for the Greater Albuquerque Area

Map prepared by the Mid-Region Council of Governments (MRCOG) in cooperation with the New Mexico Department of Transportation, the local governments in the Albuquerque Metropolitan Planning Area, and the U.S. Department of Transportation, Federal Highway Administration. Map prepared September 2019.

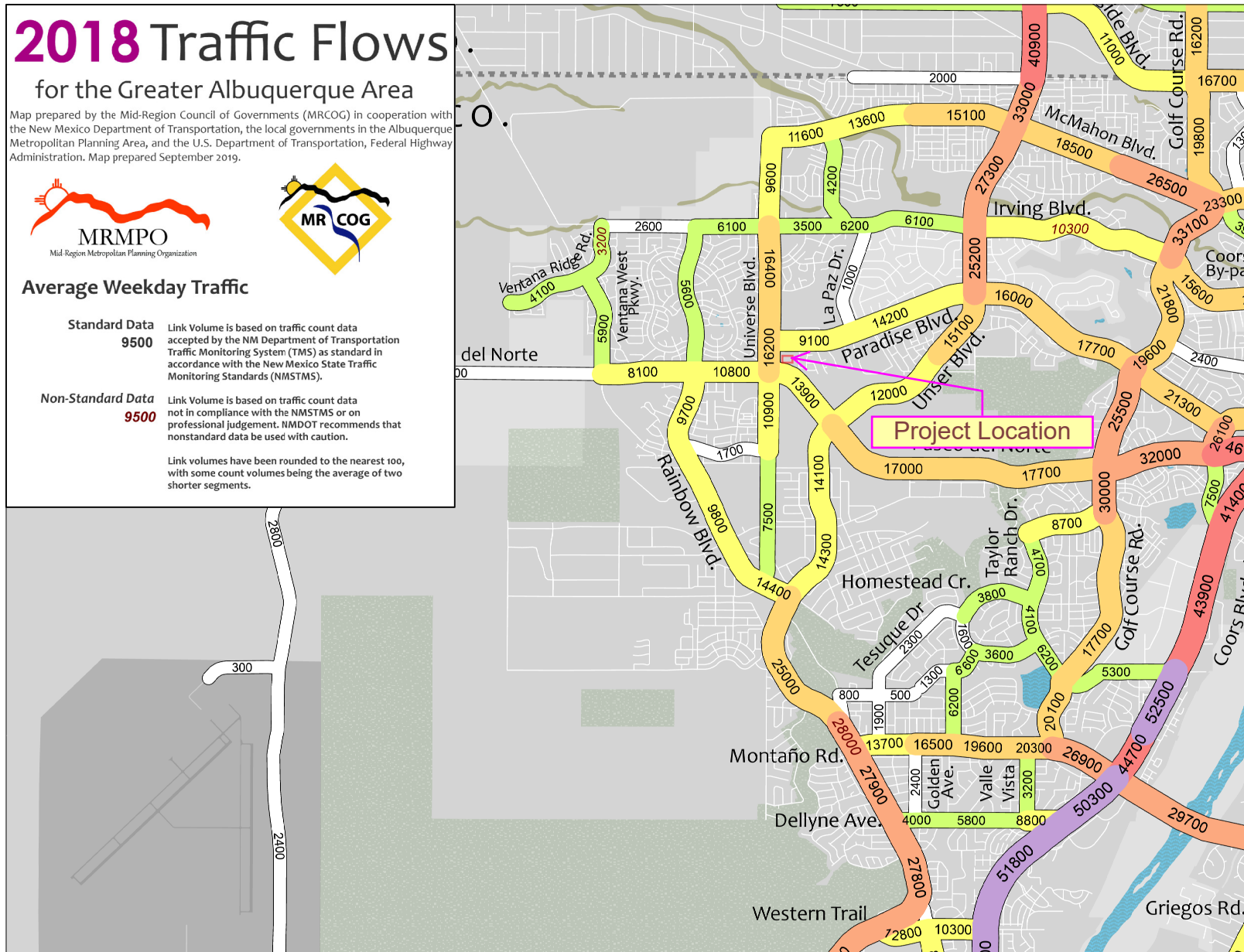


Average Weekday Traffic

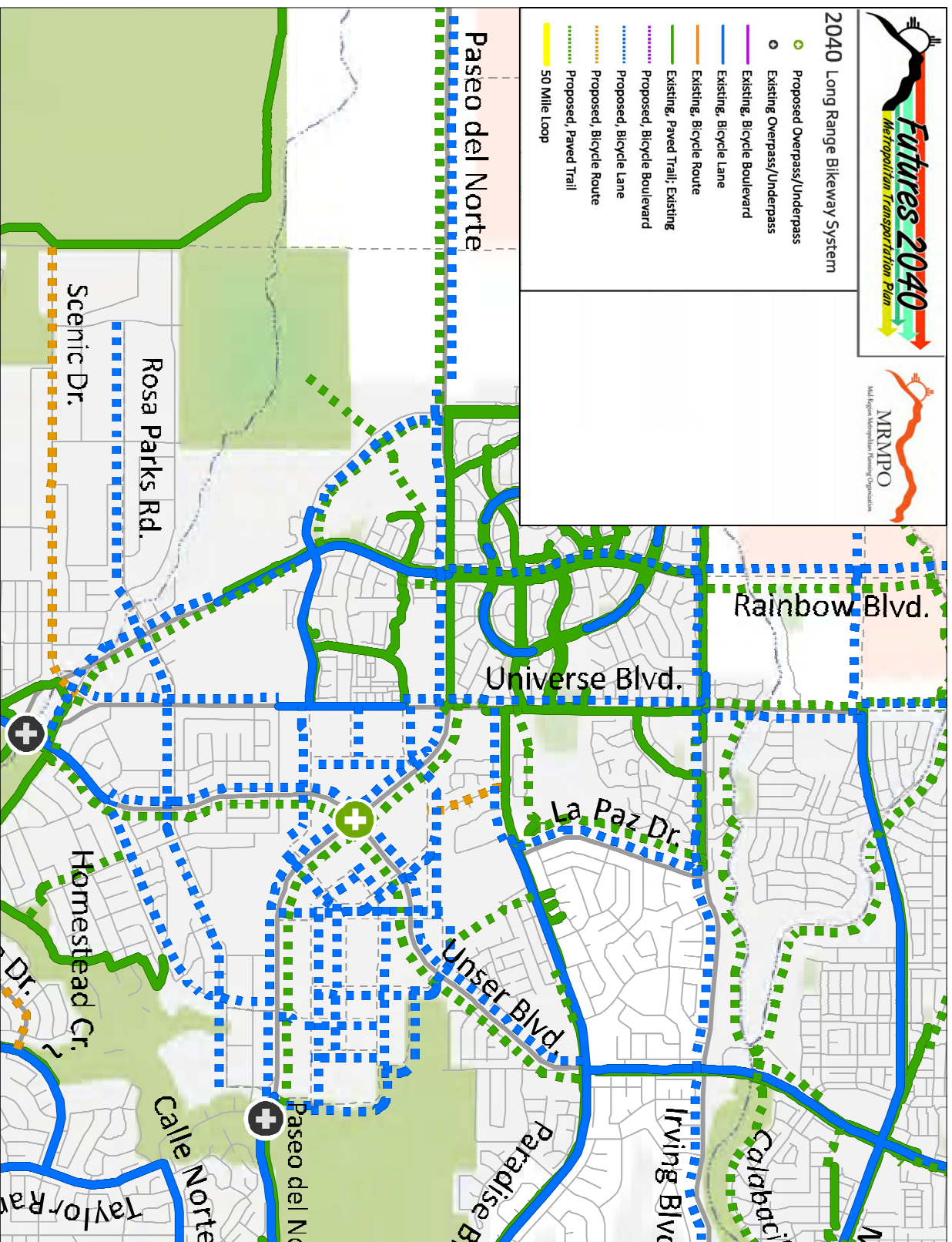
Standard Data
9500
Link Volume is based on traffic count data accepted by the NM Department of Transportation Traffic Monitoring System (TMS) as standard in accordance with the New Mexico State Traffic Monitoring Standards (NMSTMS).

Non-Standard Data
9500
Link Volume is based on traffic count data not in compliance with the NMSTMS or on professional judgement. NMDOT recommends that nonstandard data be used with caution.

Link volumes have been rounded to the nearest 100, with some count volumes being the average of two shorter segments.



**Portion of 2018 Traffic Flow Map
(from Mid-Region Council of Governments)**



Portion of Futures 2040 Long Range Bikeway System
(from Mid-Region Council of Governments)

ABQ RIDE System Map

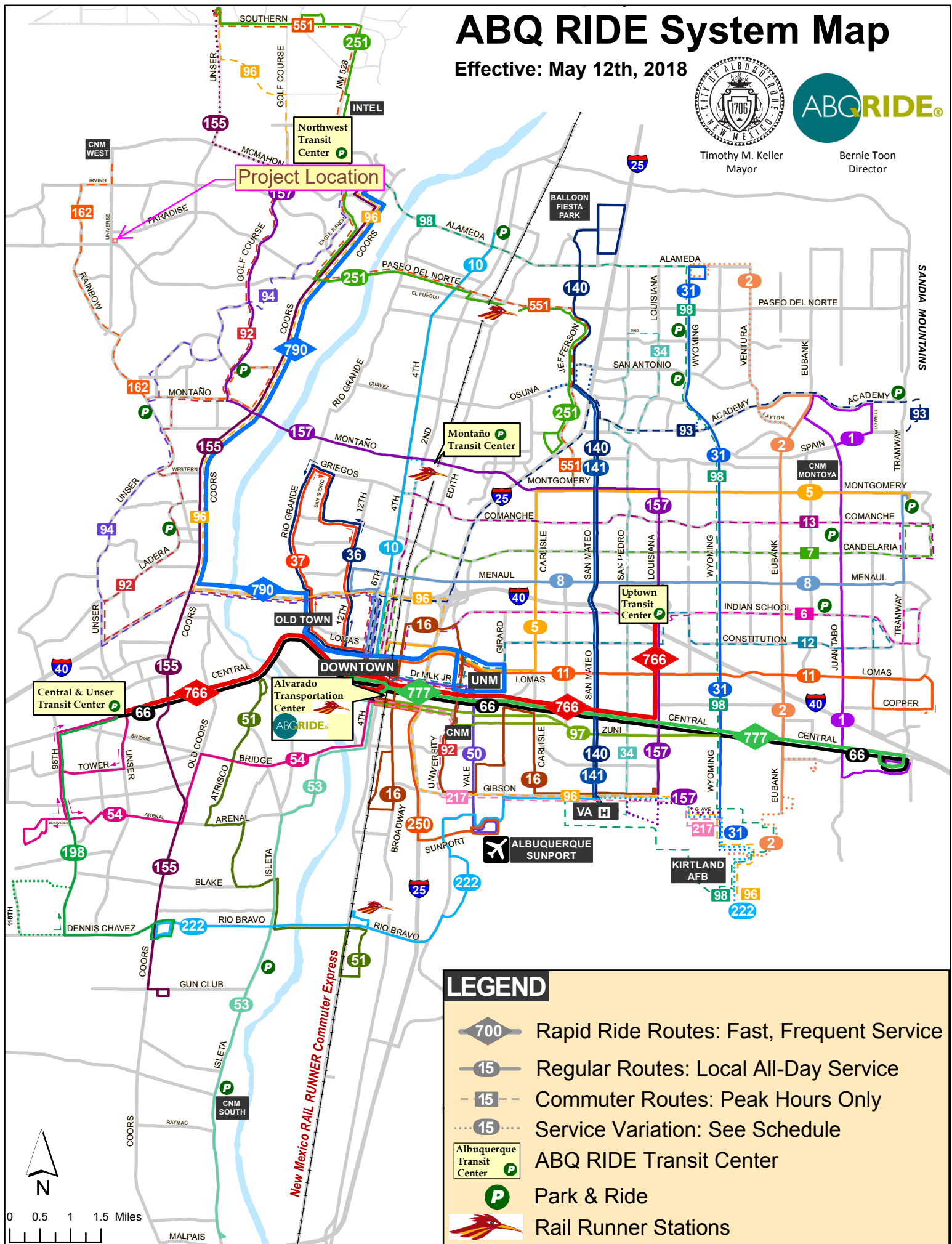
Effective: May 12th, 2018



Timothy M. Keller
Mayor



Bernie Toon
Director



LEGEND



Rapid Ride Routes: Fast, Frequent Service



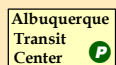
Regular Routes: Local All-Day Service



Commuter Routes: Peak Hours Only



Service Variation: See Schedule



ABQ RIDE Transit Center



Park & Ride



Rail Runner Stations

For more detailed information visit www.myabqride.com or call 243-7433 (243-RIDE)