



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 12/2020)

Project Title: Autozone #9260 Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

Zone Atlas Page: B-10-Z DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: TR H-11 PLAT VENTANA SQUARE AT VENTANA RANCH (UPC:101006503902630602)

Applicant: Tierra West LLC Contact: Amanda Herrera

Address: 5571 Midway Park Pl NE, Albuquerque NM 87109

Phone#: 505-858-3100 Fax#: \_\_\_\_\_ E-mail: rrb@tierrawestllc.com

### Development Information

Build out/Implementation Year: 2025 Current/Proposed Zoning: MX-M

Project Type: New: (x) Change of Use: ( ) Same Use/Unchanged: ( ) Same Use/Increased Activity: ( )

Proposed Use (mark all that apply): Residential: ( ) Office: (x) Retail: ( ) Mixed-Use: ( )

Describe development and Uses: Auto Tire Shop and Tire Repair consisting of 7380SF.

Days and Hours of Operation (if known): 24 hours a day, 7 days a week

### Facility

Building Size (sq. ft.): 7,380 SF GFA

Number of Residential Units: \_\_\_\_\_

Number of Commercial Units: \_\_\_\_\_

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* \_\_\_\_\_

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\* ITE-11th ed. 848-Tire Store (19/28)  
AM-12Enter/7Exit PM-12Ent/16Exit

Driveway(s) Located on: Street Name Universe Blvd

Adjacent Roadway(s) Posted Speed: Street Name Universe Blvd Posted Speed 35 mph

Street Name Paseo Del Norte Posted Speed 35 mph

## Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Urban Minor Arterial  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: n/a  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 25,355 (2022 TAQA) Volume-to-Capacity Ratio: 1.047  
COG ID# 14091 (if applicable)

Adjacent Transit Service(s): n/a Nearest Transit Stop(s): n/a

Is site within 660 feet of Premium Transit?: NO

Current/Proposed Bicycle Infrastructure: Existing Paved Multiple Use Trail along Universe Blvd.  
(bike lanes, trails) Proposed bike lanes and Trail along Paseo Del Norte.

Current/Proposed Sidewalk Infrastructure: Sidewalk or Paved Trail along Universe Blvd.

## Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

## TIS Determination

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No ☒ Borderline [ ]

Thresholds Met? Yes [ ] No ☒

Mitigating Reasons for Not Requiring TIS: Previously Studied: [ ]

Notes: Site development within the approved Ventana Ranch Retail TIS HT#B10D003C3

 P.E.

TRAFFIC ENGINEER

1/9/2024

DATE

## **Submittal**

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov) . Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
4. Location of nearby multi-use trails, if applicable ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.



*Autozone #9260 (Paradise Blvd/Universe Blvd)*  
**Trip Generation Data** (ITE Trip Generation Manual - 11th Edition)

COMMENT	USE (ITE CODE)	24 HR VOL	A. M. PEAK HR.		P. M. PEAK HR.		
	DESCRIPTION	GROSS	ENTER	EXIT	ENTER	EXIT	
<b>Summary Sheet</b>							
Tract No.	Tire Store (848)	7.38	204	12	7	12	16
	<b>Subtotal</b>		<b>204</b>	<b>12</b>	<b>7</b>	<b>12</b>	<b>16</b>

# Land Use: 848

## Tire Store

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### Description

The primary business associated with a tire store is the sale of tires for automotive vehicles. Services offered by these stores usually include tire installation and repair, as well as other automotive maintenance or repair services and customer assistance. These stores generally do not contain large storage or warehouse areas. Automobile parts sales (Land Use 843), tire superstore (Land Use 849), and automobile parts and service center (Land Use 943) are related uses.

### Additional Data

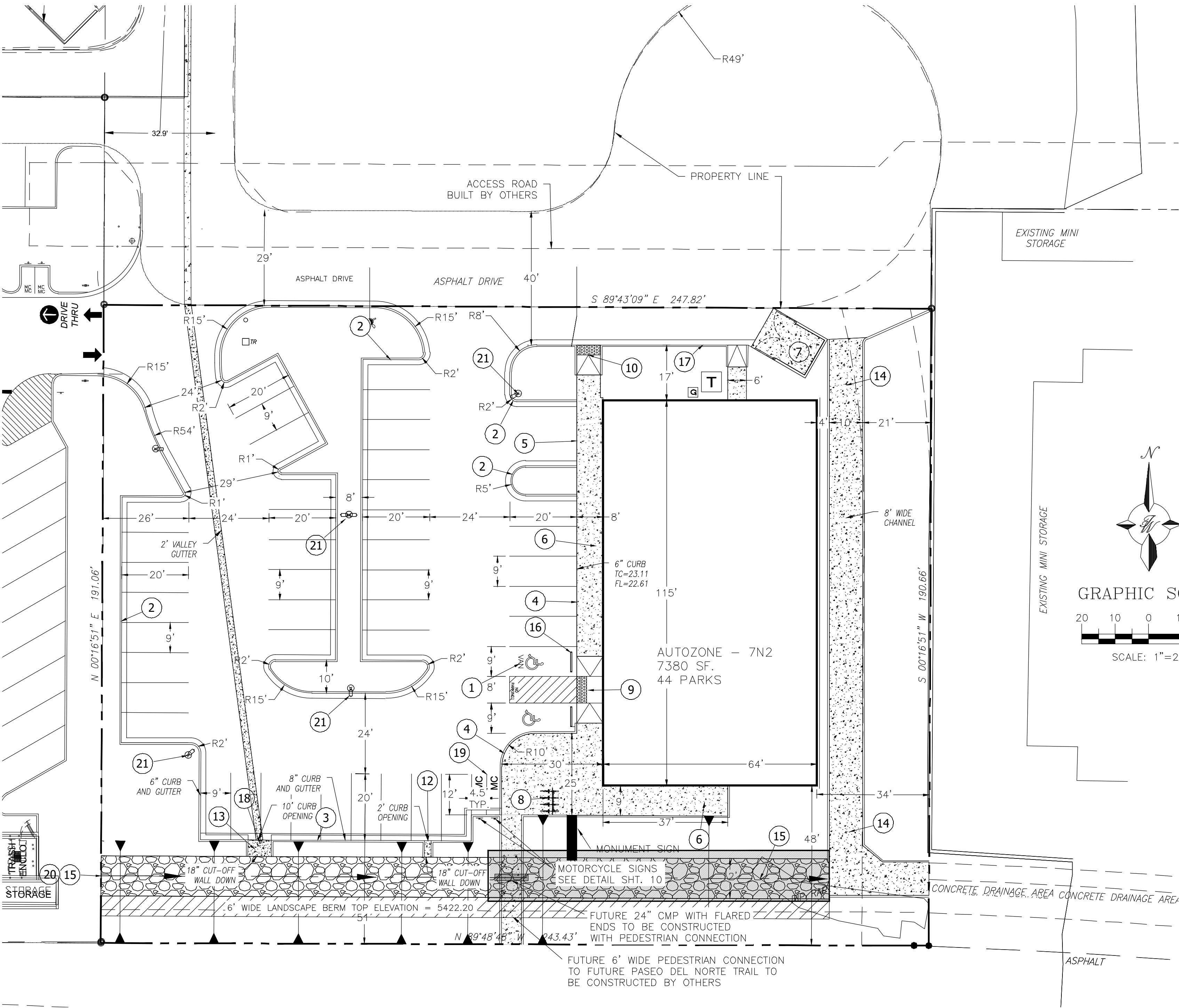
The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Florida, Minnesota, New Jersey, New York, Oregon, Pennsylvania, South Dakota, Texas, and Wisconsin.

### Source Numbers

328, 359, 438, 555, 571, 583, 599, 870, 886, 887, 959, 1049





#### KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C10)
- 2 6" HEADER CURB (SEE DETAIL SHT. C9)
- 3 8" CURB & GUTTER (SEE DETAIL SHT. C9)
- 4 6" TURNDOWN CURB (SEE DETAIL SHT. C9)
- 5 ZERO CURB (SEE DETAIL SHT. C9)
- 6 CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. C9)
- 7 DUMPSTER (SEE DETAIL SHT. C10)
- 8 BICYCLE RACKS (SEE DETAIL SHT. C10)
- 9 CURB HC RAMP (SEE DETAIL SHT C10)
- 10 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT C10)
- 11 TRANSFORMER
- 12 CONCRETE RUNDOWN 2' WIDE X 8" DEEP (SEE DETAIL SHT C7)
- 13 CONCRETE RUNDOWN 7' WIDE X 8" DEEP (SEE DETAIL SHT C7)
- 14 CONCRETE CHANNEL 10' WIDE X 8" DEEP (SEE DETAIL SHT C10)
- 15 COBBLE SWALE 12' WIDE X (PER PLAN) DEEP
- 16 WHEEL STOP (SEE DETAIL SHT C10)
- 17 8" HEADER CURB (SEE DETAIL SHT. C9)
- 18 REMOVABLE BOLLARD (SEE DETAIL SHT. C10)
- 19 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C10)
- 20 SWALE SIDES TO BE STABILIZED WITH GRASS SEED WITH AGGREGATE MULCH OR EQUAL. (MUST SATISFY THE FINAL STABILIZATION CRITERIA CGP 2.2.14.B)
- 21 PARKING LOT LIGHTS (SEE DETAIL SHT. C10)
- 22 6' SIDEWALK
- 23 6' CROSSWALK

#### GENERAL NOTES

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
7. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
8. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
9. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF.
10. MOTORCYCLE PARKING SPACES SHALL BE DESIGNATED BY ITS OWN CONSPICUOUSLY POSTED UPRIGHT SIGN, EITHER FREE-STANDING OR WALL MOUNTED PER THE ZONING CODE.
11. ALL ASPHALT IS LIGHT DUTY UNLESS OTHERWISE NOTED.

#### NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### CLEAR SIGHT TRIANGLE NOTE:

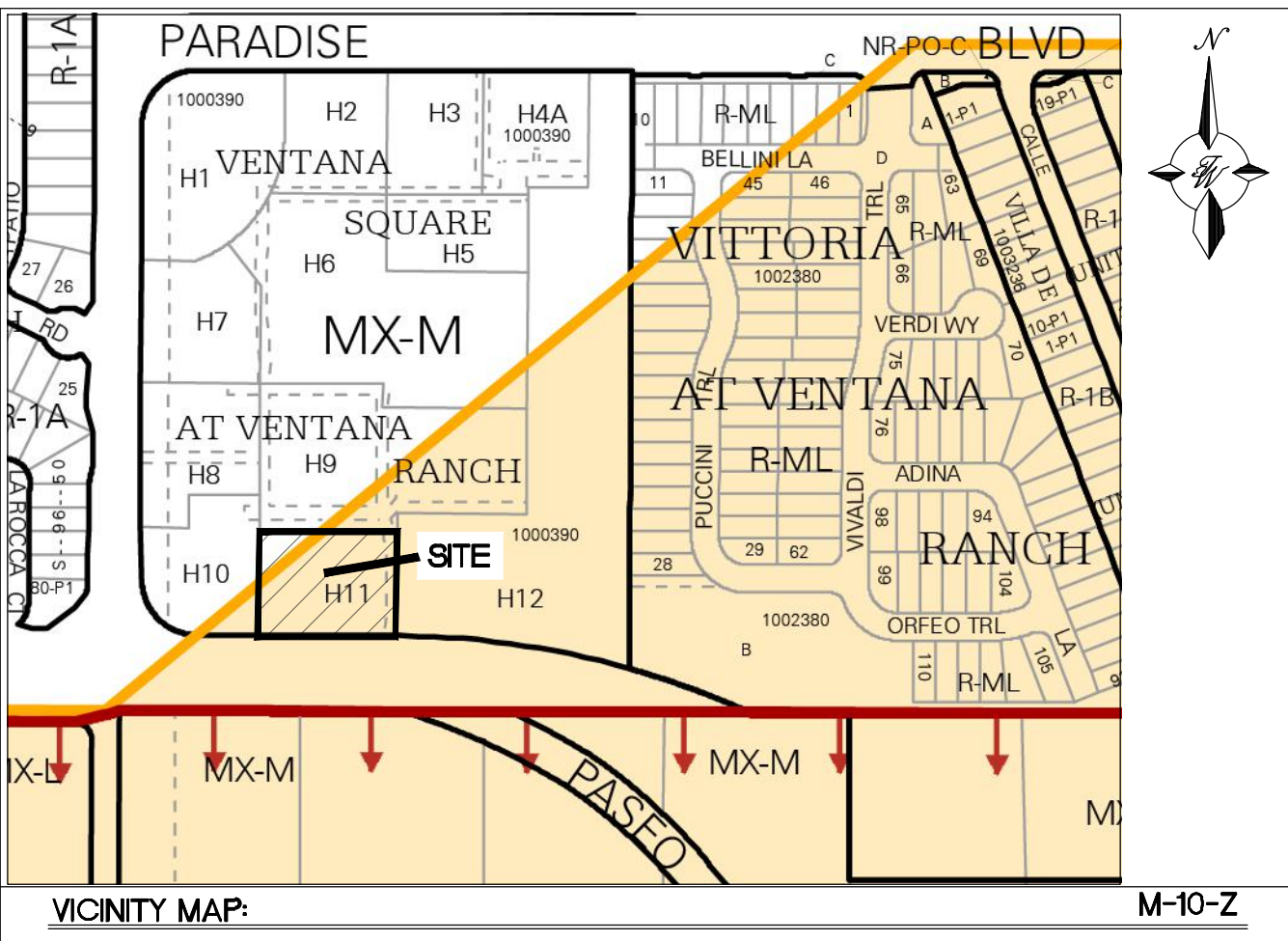
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

#### VPO-2 NOTE

THIS PROPERTY FALLS WITHIN THE NORTHWEST ESCARPMENT OVERLAY (VPO-2) BUT IS NOT SUBJECT TO THE HEIGHT RESTRICTIONS SUB-AREA. THIS PROJECT IS IN COMPLIANCE WITH THE OVERLAY REQUIREMENTS BY PROVIDING SCREENING FOR ANY ROOF MOUNTED EQUIPMENT, PROVIDING BUILDING COLORS CONSISTING OF BROWNS AND DULL RED, AND WILL NOT HAVE ANY REFLECTIVE OR MIRRORRED GLASS.

#### CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



#### LEGAL DESCRIPTION:

TRACT H-11, VENTANA SQUARE AT VENTANA RANCH

PROJECT NUMBER: PR-2020-004 024

APPLICATION NUMBER: SI-2021-01388

Is an Infrastructure List required? (X) Yes ( ) No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

#### DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

\* Environmental Health, if necessary

#### LEGEND

---	CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	BUILDING
---	SIDEWALK
---	SCREEN WALL
---	RETAINING WALL
---	STREET LIGHTS
---	LANE
---	STRIPING
---	EXISTING CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	EXISTING SIDEWALK
---	EXISTING LANE
---	EXISTING STRIPING

#### SITE DATA

PROPOSED USAGE:	AUTOZONE
LOT AREA:	47297 SF (1.09) ACRE)
ZONNING:	MX-M
BUILDING AREA:	7380 SF
PARKING REQUIRED:	30 SPACES (7380 SF/1 SPACE PER 250 SF)
PARKING PROVIDED:	44 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES
	1 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	3 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES
LANDSCAPE AREA REQUIRED:	6015 SF
LANDSCAPE AREA PROVIDED:	12083 SF

#### INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. LANDSCAPING PLAN
- C3. LANDSCAPING PLAN - DETAILS
- C4. GRADING AND DRAINAGE PLAN
- C5. DEVELOPED DRAINAGE PLAN
- C6. MASTER UTILITY PLAN
- C7. BUILDING ELEVATIONS
- C8. BUILDING & SIGN INFORMATION
- C9. DETAIL SHEET
- C10. DETAIL SHEET

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN</div> <div>NEW MEXICO</div> <div>7868</div> <div>PROFESSIONAL ENGINEER</div> <div>11/15/2023</div> <div>RONALD R. BOHANNAN</div> <div>P.E. #7868</div>	<b>AUTOZONE #9260</b>	DRAWN BY RMG
	<b>PASEO DEL NORTE &amp; UNIVERSE BLVD</b>	DATE 11/15/2023
	<b>TRAFFIC CIRCULATION LAYOUT</b>	2020074_SP
	<div>TERRA WEST, LLC</div> <div>5571 MIDWAY PARK PLACE NE</div> <div>ALBUQUERQUE, NM 87109</div> <div>(505) 858-3100</div> <div>www.tierrawestllc.com</div>	SHEET # <b>C1</b> JOB # 2020074