

Universe Boulevard, N.W.  
(PUBLIC ROW-WIDTH VARIES)

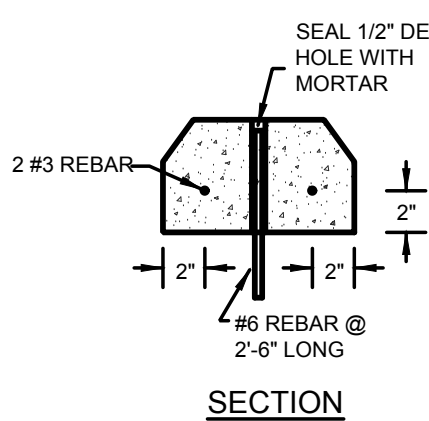
Point of Beginning

FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "LS 11808"

EXISTING 50' PLAINS ELECTRIC LINE EASEMENT (05/08/1953, 14-341, DOCUMENT NO. 95018469)

R=100.00' L=154.59'  
Δ=88°34'19"  
CH=N 45°33'52" W 139.65'  
(R=100.00)  
(L=154.59)  
(Δ=88°33'08")  
(CH=S 45°32'19" E) (139.62)

Paseo Del Norte Boulevard, N.E.  
(PUBLIC ROW-WIDTH VARIES 135.82'-135.95')



CONCRETE WHEEL STOP  
N.T.S.

\*NOTE\*

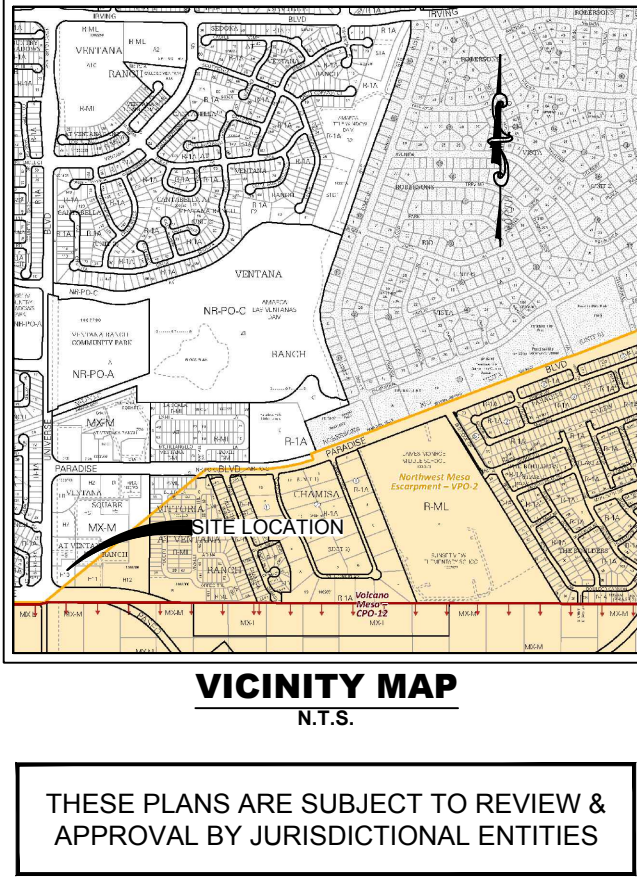
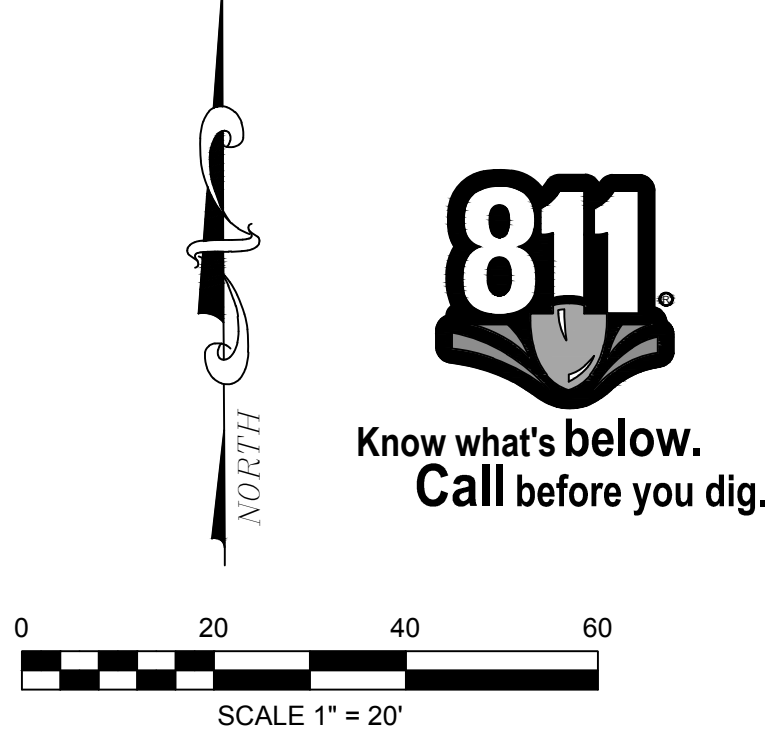
- ALL SITE UTILITY LINES ARE PROPOSED TO BE LOCATED UNDERGROUND.
- EXTERIOR LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE IS NOT DIRECTLY VISIBLE FROM THE PUBLIC ROW OR ADJACENT RESIDENTIAL DISTRICTS OR USES AT THE PROPERTY LINE. UNSHIELDED "WALL PACK" LIGHTING IS NOT PROPOSED.
- AL CLAWSON DISPOSAL, INC. SHALL BE THE SOLE PROVIDER OF WASTE HAULING FOR THIS SITE BOTH DURING AND AFTER CONSTRUCTION.
- AIR CONDITIONING UNITS ARE NOT PROPOSED BEHIND THE FRONT WALL OF THE BUILDING.
- GARBAGE DUMPSTERS ARE LOCATED NO CLOSER TO A ROADWAY THAN THE FRONT WALL OF THE PRINCIPAL STRUCTURE LOCATED CLOSEST TO THE ROADWAY. GARBAGE DUMPSTERS ARE SCREENED BY A WALL (COMPRISED OF MASONRY COMPATIBLE WITH THE STRUCTURE OR WOODCRETE) AT LEAST AS HIGH AS THE CONTAINER. THE OPEN SIDE TO THE DUMPSTER OR OTHER TRASH RECEPTACLE IS A GATE CONSTRUCTED OF SOLID WOOD OR METAL. THE DUMPSTER IS ORIENTED FOR PICKUP BY A FRONT LOAD GARBAGE TRUCK.
- FOR 90 GALLON ROLL OUT CONTAINER STORED OUTSIDE, IT IS REQUIRED TO BE ENCLOSED BY PRIVACY FENCE.

BENCHMARK

RE: ALTA SURVEY BY PRECISION SURVEYS, INC. - JOB NO. 228302ALT  
SET CP-CHISELED "X"  
N=1,524,701.25  
E=1,497,968.48  
EL.=5424.88

LEGAL DESCRIPTION

TRACT H-10 OF THE PLAT OF VENTANA SQUARE AT VENTANA RANCH, A REPLAT OF TRACT H-A VENTANA RANCH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



CONSTRUCTION SCHEDULE	
MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU
2	CURB AND GUTTER @ NON DRIVE THRU AREAS
3	TRANSITION CURB FROM 6" TO 0"
4	REINFORCED CONCRETE SIDEWALK
5	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE (RE: C11.1 STANDARD DETAILS)
6	HANDICAP ACCESSIBLE ROUTE
7	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED), MUST READ "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"
8	CONCRETE WHEEL STOP (TYP)
9	BOLLARD
10	HANDRAIL @ INGRESS/EGRESS DOOR
11	LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES)
12	FLAG POLE (35' MAX HEIGHT) (COORDINATE LOCATION WITH OWNER / McDONALD'S ACM PRIOR TO CONSTRUCTION)
13	BIKE RACK (TYP) (RE: C11.0 STANDARD DETAILS)
14	MONUMENT ROAD SIGN
15	McDONALD'S DIRECTIONAL SIGN
16	OOSP SIGN
17	MOTORCYCLE PARKING SIGNAGE, 12"x18" POLE MOUNTED SIGN, READING "MOTORCYCLE PARKING ONLY"
18	30" TALL CMU SCREEN WALL, COLOR TO MATCH BLDGLADDERA CROSSING PALETTE. (RE: PAVING PLAN FOR HEADLIGHT SCREENING ELEV.) WALL SHALL BE PERMITTED INDEPENDENT OF BLDG. PERMIT
19	EXISTING DOMESTIC WATER METER (RE: UTILITY PLAN)
20	IRRIGATION WATER METER (RE: UTILITY PLAN)
21	BACK FLOW PREVENTION DEVICE (RE: UTILITY PLAN)
22	FIRE DEPARTMENT CONNECTION (FDC) (RE: UTILITY PLAN)
23	POST INDICATOR VALVE (PIV) (RE: UTILITY PLAN)
24	GREASE INTERCEPTOR (RE: UTILITY PLAN)
25	8'x8" PAD MOUNT TRANSFORMER (RE: UTILITY PLAN)
26	DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S)
27	PRE-TREAT FOR TERMITE CONTROL
28	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
29	EXISTING FIRE HYDRANT
30	EXISTING SANITARY SEWER MANHOLE

NOTICE TO CONTRACTOR

- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

SITE INFORMATION	
TOTAL LAND AREA:	46,393.66 S.F. (1.065 A.C.)
CURRENT ZONING:	MX-M
BUILDING AREA (APPROXIMATE):	44,285 S.F.
BUILDING LOT COVERAGE:	9.23% (4,285 S.F./46,389 S.F.)
REQUIRED PARKING:	8 SPACE PER 1,000 G.F.A. (4,285 S.F./1,000) 8 = 35 SPACES
PARKING PROVIDED:	41 SPACES (INCLUDING HC) 2 MOTORCYCLE PARKS
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
IMPERVIOUS AREA:	35,258.87 S.F.
PERCENTAGE LANDSCAPED:	11,134.79 S.F. (24.00%)
# OF ACCESS DRIVEWAYS:	2

STANDARD ACCESSIBILITY REQUIREMENTS	
PARKING:	
A	ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS)
B	EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
C	ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM AND 96" WIDE MINIMUM FOR VAN DESIGNATED SPACES. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
CURB RAMPS:	
D	RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
E	RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)
F	BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.
G	RAMPS SHALL NOT EXCEED A 1:12 SLOPE
SIDEWALKS AND ACCESSIBLE ROUTES:	
H	SIDEWALKS MUST BE AT LEAST 60" WIDE
I	SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
I	LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

EASEMENTS/TITLE NOTE

ALL EASEMENTS OF RECORD AS INDICATED ON THE MOST RECENT TITLE RUN (DATED: APRIL 20, 2022, CONDUCTED BY FIDELITY NAT. TITLE INS. CO.) FOR THIS PROPERTY ARE SHOWN ON THIS SITE PLAN.

BICYCLE REQUIREMENT

- NUMBER OF BICYCLE SPACES REQUIRED BY THE IDO IS 3 SPACES OR 10% OF VEHICLE PARKING SPACES, WHICHEVER IS GREATER. SPACES REQUIRED IS 5.



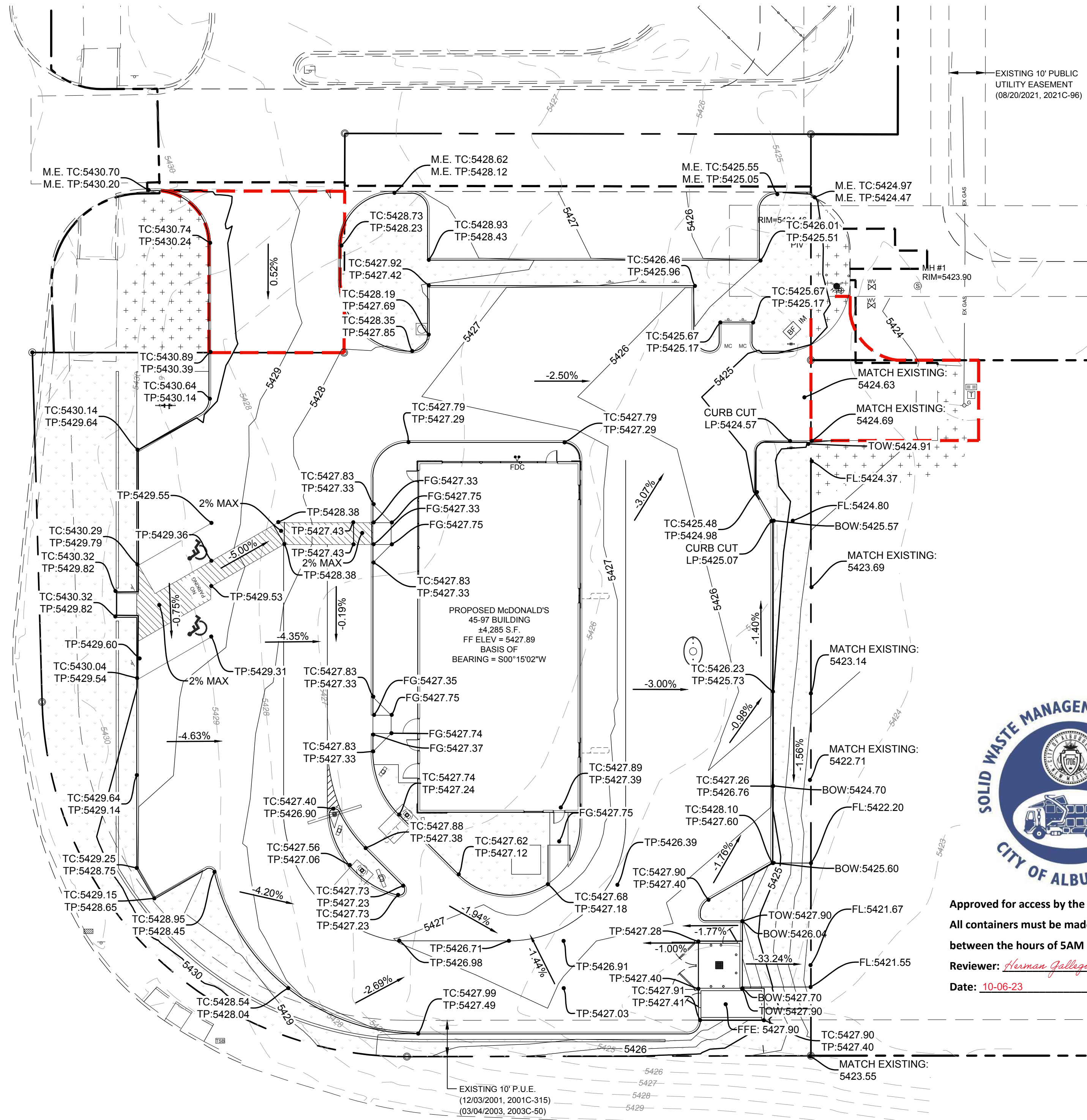
Skyline CIVIL GROUP  
Skyline Civil Group, LLC • Lubbock Address: 4414 82nd Street, STE 212-140, Lubbock, TX 79424  
Midland Address: 3523 N. Midland Drive, STE 113-166, Midland, TX 79707  
• Firm No. # AZ: 72662-0, KS: E3126, IA: E0006892, OK: 4542, TX: 17171  
• U: (817) 485-1226 • www.skylinegroup.com

PLAN APPROVALS				OFFICE	LONG BEACH FIELD OFFICE	McDONALD'S UC: 30-0280	C4.0 SITE PLAN	
SIGNATURE (2 REQUIRED)		DATE	ADDRESS	1555 JAMBORREE ROAD, STE. 850, IRVINE, CA 92612				
REGIONAL MGR.			PREPARED FOR: ©					
CONST. MGR.			M McDonald's USA, LLC					
OPERATIONS DEPT. REAL ESTATE DEPT.			These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC. All rights are reserved. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of McDonald's USA, LLC. All documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on any other project requires the services of property, zoning, architectural and engineers. Reproduction of the contract documents is strictly an online project to the data base.					
CO-SIGN SIGNATURES			UNIVERSE BLVD AND PASCO DEL NORTE ALBUQUERQUE, NM					
CONTRACTOR		OWNER		REV	DATE	DESCRIPTION	BY	APPR

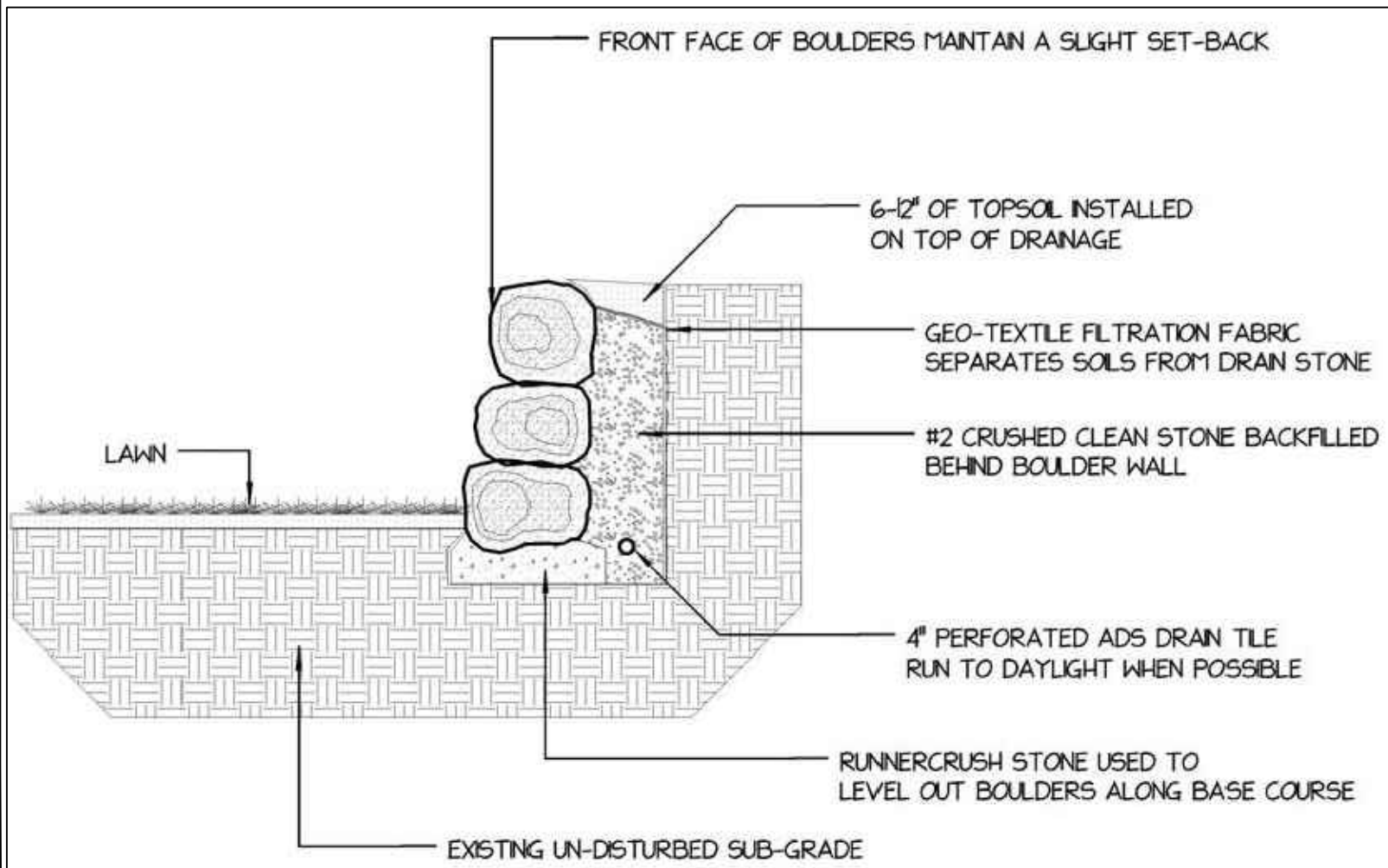


D:\SKY 2020\2020 1035 - McDONALD'S USA, LLC 30-0280 - NEW BUILD UNIVERSE & PASEO DEL NORTE, ALBUQUERQUE, NM\DRAWINGS\C7.0 GRADING PLAN.DWG

Universe Boulevard, N.W.  
(PUBLIC ROW-WIDTH VARIES)



Paseo Del Norte Boulevard, N.E.  
(PUBLIC ROW-WIDTH VARIES 135.82'-135.95')



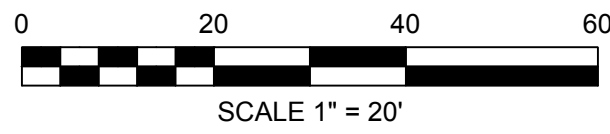
LANDSCAPE WALL DETAIL  
OR APPROVED EQUAL

#### BENCHMARK

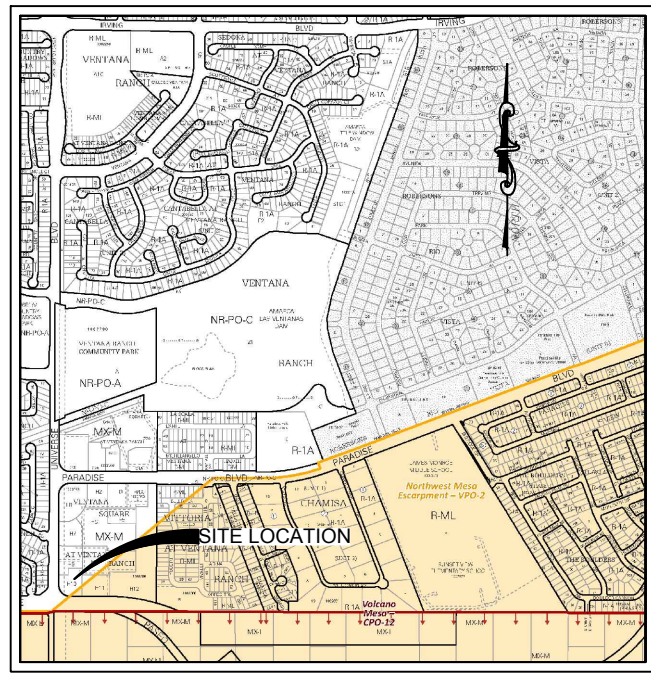
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SURVEYS, INC. - JOB NO. 228302ALT  
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#### LEGAL DESCRIPTION

TRACT H-10 OF THE PLAT OF VENTANA  
SQUARE AT VENTANA RANCH, A REPLAT  
OF TRACT H-A VENTANA RANCH,  
CITY OF ALBUQUERQUE, BERNALILLO  
COUNTY, NEW MEXICO



Know what's below.  
Call before you dig.



THESE PLANS ARE SUBJECT TO REVIEW &  
APPROVAL BY JURISDICTIONAL ENTITIES

ALL HANDICAP ACCESSIBLE RAMPS MUST BE  
DESIGNED AND BUILT PER ADA STANDARDS

#### STANDARD ACCESSIBILITY REQUIREMENTS

##### PARKING:

ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.

EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.

##### CURB RAMPS:

RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)

BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.

RAMPS SHALL NOT EXCEED A 1:12 SLOPE

##### SIDEWALKS AND ACCESSIBLE ROUTES:

MINIMUM SIDEWALK WIDTH OF 5', IF OBSTRUCTIONS EXIST SIDEWALKS

MUST HAVE AT LEAST 36" MINIMUM CLEARANCE

SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)

LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE)

SHALL NOT EXCEED 1:20 (5%)

#### LEGEND

TC	PROPOSED TOP OF CURB
TP	PROPOSED TOP OF PAVEMENT
SW	PROPOSED TOP OF SIDEWALK
EX	EXISTING ELEVATION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE ELEVATION
XXXX.XX	DENOTES EXISTING GRADE
---5427---	DENOTES EXISTING CONTOUR
---5428---	DENOTES PROPOSED CONTOUR
---	DENOTES RIDGE LINE/DRAINAGE DIVIDE
---	DENOTES SAWCUT LINE
---	DENOTES BOUNDARY LINE

#### GENERAL NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE EPA'S NPDES REGULATIONS 40-CFR-123, AND 40-CFR-124 CONCERNING EROSION AND SEDIMENT CONTROL.
- REFER TO STRUCTURAL PLANS FOR GRADING AND COMPACTION REQUIREMENTS UNDERNEATH BUILDING SLAB.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- SITE PREPARATION SHOULD BEGIN BY REMOVING ALL SURFACE VEGETATION AND ROOT SYSTEMS TO A DEPTH OF 6 INCHES FOR A DISTANCE OF FIVE FEET OUTSIDE THE BUILDING LINES AND TWO FEET BEYOND PAVEMENT LINES. ALL COMPACTION AND SOIL SPECIFICATIONS SHALL COMPLY WITH THE GEOTECH REPORT.



**Skyline**  
**CIVIL GROUP**

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Midland Address: 3523 N. Midland Drive, STE 113-166, Midland, TX 79707  
• Firm No. # AZ: 72662-0, KS: E3126, IA: E000692, OK: 4542, TX: 17171  
• O: (817) 485-1226 • www.skylinecivilling.com

#### C7.0 GRADING PLAN

REV	DATE	DESCRIPTION	BY	APPR
1	06/19/2023	ISSUE FOR PERMIT	C.L.C.	S.T.M.
2	07/07/2023	GD/HYDROLOGY - ISSUE FOR PERMIT	C.L.C.	S.T.M.
3	10/05/2023	RE-ISSUE FOR PERMIT (TCLUSTE/UTILITY/FIRE/G&D)	C.L.C.	S.T.M.

OFFICE LONG BEACH FIELD OFFICE

ADDRESS 1555 JAMBURGE ROAD, STE. 850, IRVINE, CA 92612

PREPARED FOR: ©

**McDonald's USA, LLC**

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9500 Universe BLVD NW.  
Albuquerque, NM

PLAN APPROVALS		DATE	CO-SIGN SIGNATURES	
SIGNATURE (2 REQUIRED)			CONTRACTOR	OWNER
REGIONAL MGR.				
CONST. MGR.				
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
DRAWN BY		C.L.C.		
CHECKED BY		S.T.M.		
DATE		JULY 2023		
SHEET NO.		09 OF 27		
FILE NO.		SKY2020.1035		