

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 13, 2024

David Thompson, PE
Thompson Engineering Consultants, Inc.
PO Box 65760
Albuquerque, NM 87193

**RE: Ventana Square Self Storage
Grading and Drainage Plans
Engineer's Stamp Date: 02/20/24
Hydrology File: B10D003C3C**

Dear Mr. Thompson:

Based upon the information provided in your submittal received 02/21/2024, the Grading & Drainage Plans are approved for Building Permit, Grading Permit, action by the Development Facilitation Team (DFT) on Site Plan for Building Permit and action by Development Hearing Officer (DHO) on Preliminary Plat. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

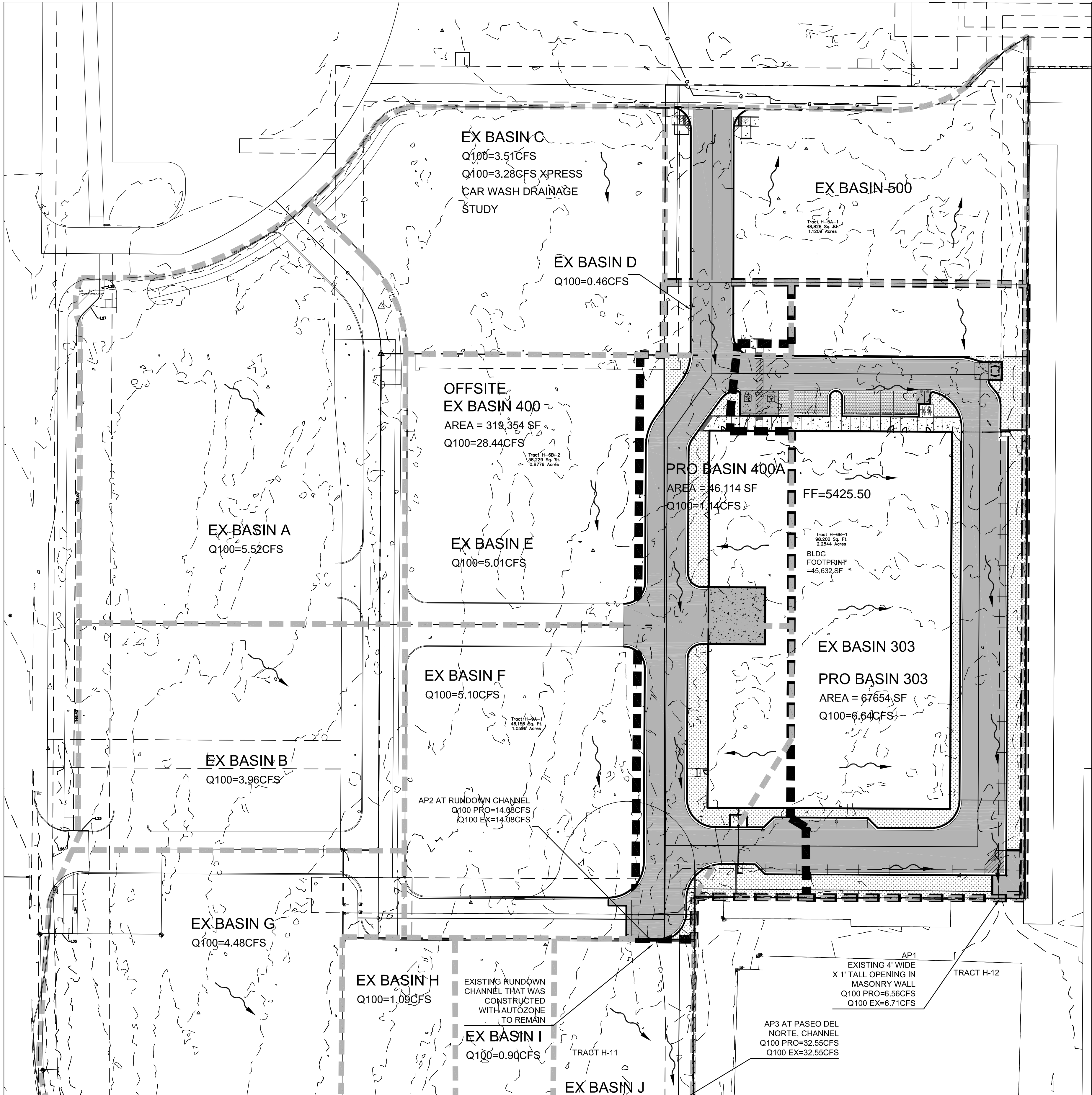
TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
PAD CERTIFICATION
CONCEPTUAL G&D PLAN
GRADING & DRAINAGE PLAN
DRAINAGE REPORT
DRAINAGE MASTER PLAN
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
TRAFFIC IMPACT STUDY (TIS)
STREET LIGHT LAYOUT
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

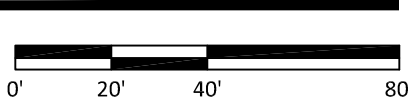
BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY
CONCEPTUAL TCL DFT APPROVAL
PRELIMINARY PLAT APPROVAL
FINAL PLAT APPROVAL
SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
SIA/RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL
GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVAL
GRADING PAD CERTIFICATION
WORK ORDER APPROVAL
CLOMR/LOMR
OTHER (SPECIFY) _____

DATE SUBMITTED: _____



GRADING AND DRAINAGE PLAN - OVERALL

SCALE: 1" = 40'-0"



VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD

ALBUQUERQUE, NM 87114

DATE: 01-10-2024 (PRELIMINARY)

I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR THE PROPOSED VENTANA SQUARE SELF-STORAGE PROJECT. THE NEW BUILDING IS LOCATED AT THE NORTH EAST CORNER OF PASEO DEL NORTE AND UNIVERSE BOULEVARD IN NORTHWEST ALBUQUERQUE. THE ZONE ATLAS PAGE FOR THE SITE IS Q-16-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE NORTH EAST CORNER OF PASEO DEL NORTE NW, AND UNIVERSE BOULEVARD NW IN THE VENTANA SQUARE DEVELOPMENT. THE SITE IS CURRENTLY VACANT. PROPERTIES TO THE EAST AND SOUTH HAVE BEEN DEVELOPED AND CONTAIN SELF STORAGE UNITS. A SHARED STORMWATER POND HAS BEEN CONSTRUCTED TO THE SOUTH EAST OF VENTANA SQUARE ALONG PASEO DEL NORTE. THE POND HAS BEEN SIZED TO ACCEPT RUNOFF FROM THE PROJECT SITE, INCLUDING WATER QUALITY VOLUMES.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON CHAPTER 6, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED 2020. TABLES WITHIN CHAPTER 6, WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-24HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 1 (WEST OF RIO GRANDE).

V. EXISTING DRAINAGE CONDITIONS

THE SITE IS CURRENTLY UNDEVELOPED. THE SITE TO THE EAST AND SOUTH IS FULLY DEVELOPED AS A SELF STORAGE FACILITY. RUNOFF FROM THIS SITE UNDER THE PRIOR DRAINAGE PLAN (DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020, PREPARED BY THIS OFFICE) ALLOWS FOR 6.71CFS TO BE DISCHARGED AT THE SOUTHEAST CORNER OF THE PROJECT SITE. THIS RUNOFF WILL PASS THROUGH THE ADJACENT DEVELOPMENT TO REACH THE WATER QUALITY AND RETENTION POND ALONG PASEO DEL NORTE.

THE DRAINAGE MASTERPLAN IDENTIFIED A RIDGELINE WITHIN THE PARCEL TO THE NORTH. THE PROJECT SITE WILL ALLOW FROM BASIN 500 TO ENTER AND PASS THROUGH THE PROJECT SITE. THE PARCEL TO THE WEST DRAINS SOUTH AND WILL JOIN RUNOFF WITH OTHER PARCELS AS PART OF A 8.39 ACRE DRAINAGE BASIN. THE PEAK FLOW RATE FROM BASIN 400 IS 32.55CFS. BASIN 400 WILL ALSO DRAIN TO THE RETENTION POND ALONG PASEO DEL NORTE.

THE EXISTING BASIN MAP ALSO INCLUDES THE REFINED SUB-BASINS FROM A PRIOR DRAINAGE STUDY FROM 2021. BASIN WITH LETTERS ARE DERIVED FROM THAT STUDY. THE SUMMATION OF THE LETTERED SUB-BASIN EQUAL THE MASTERPLANNED DRAINAGE BASIN #400.

PASEO DEL NORTE CONTAINS STORMWATER COLLECTION AND CONVEYANCE CHANNELS AND PIPING THAT DISCHARGE INTO THE LARGE STORMWATER RETENTION POND. AS MENTIONED IN THE SITE DESCRIPTION AND HISTORY PORTION, THE DRAINAGE MASTER PLAN FOR VENTANA SQUARE REQUIRES THAT THE FLOW RATE OFF THE SITE MATCH THE 6.71CFS AND 32.55CFS RESPECTIVELY.

VI. PROPOSED DRAINAGE CONDITIONS

THE NEW BUILDING WILL BE 45,632SF FOOTPRINT, TWO STORY SELF STORAGE BUILDING. THE ROOF WILL HAVE A CENTER RIDGE AND WILL SLOPE BOTH EAST AND WEST. ROOF DOWNSPOUTS WILL CONVEY RUNOFF TO THE GROUND, WHERE SPLASH BLOCKS AND RIPRAP RUNDOWNS WILL CONVEY RUNOFF TO THE SURROUNDING STREET NETWORK.

THE ROOF RIDGE IS SLIGHTLY ALTERED FROM THE MASTERPLAN FOR BASIN 303 AND ADDITIONAL PARKING RUNOFF HAS BEEN ADDED TO THE BASIN TO MAINTAIN A SIMILAR FLOWRATE. FLOWRATE AT THE SOUTHEAST CORNER IS REDUCED BY 0.15CFS AT ANALYSIS POINT AP1.

THE WESTERN PART OF THE SITE HAS BEEN IDENTIFIED AT SUB-BASIN PRO BASIN 400A. PRO BASIN 400A GENERATES A PEAK RUNOFF OF 4.11CFS. PRO BASIN 400A, WHEN COMBINED WITH OFFSITE PRO BASIN 400 FROM THE PRIOR DRAINAGE STUDY THAT CONTAINS THE REMAINING 28.44 CFS (WILL EQUAL THE DEFINED FLOW RATE OF 32.55CFS). THE LANDSCAPING PERCENTAGE IS SLIGHTY HIGHER THAN UTILIZED IN THE PRIOR DRAINAGE MASTERPLAN. CONSERVATIVE VALUES FOLLOWING THE MASTER DRAINAGE PLAN HAVE BEEN USED, 7.5% FOR TYPE B AND TYPE C SOILS, AS THIS IS A SUBBASIN WITHIN THE 8.39 ACRE BASIN 400.

THE DISCHARGE RATE AT THE ENTRANCE OF THE CHANNEL (AP2) ON THE EAST SIDE OF AUTOZONE WILL REMAIN AS PREVIOUSLY DESIGNED AT 14.08 CFS.

THE DISCHARGE RATE AT ANALYSIS POINT 3 (AP3) REMAINS THE SAME AS THE DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020 AT 32.55CFS AT THE SOUTH WEST CORNER OF TRACT H-11 WHERE RUNOFF ENTERS THE CONCRETE CHANNEL THAT CONVEYS RUNOFF TO THE DETENTION POND.

WATER QUALITY VOLUMES WERE COMPUTED FOR 85% IMPERVIOUS FOR THE 98,202SF LOT ARE 2,365CF. THE SITE DOES NOT CONTAIN A LOCATION FOR RETENTION OF THE WATER QUALITY VOLUME. PER THE "DRAINAGE REPORT FOR VENTANA SQUARE" DATED DECEMBER 2020 THE ADJACENT POND ALONG PASEO DEL NORTE DOES CONTAIN SUFFICIENT VOLUME TO CONTAIN AND INFILTRATE THE 2,365CF OF RUNOFF TO SATISFY THE WATER QUALITY REQUIREMENTS. PER THE 2020 REPORT THE FULL BUILD OUT DEPTH WILL BE 0.80' DEEP IN THE SHARED RETENTION POND.

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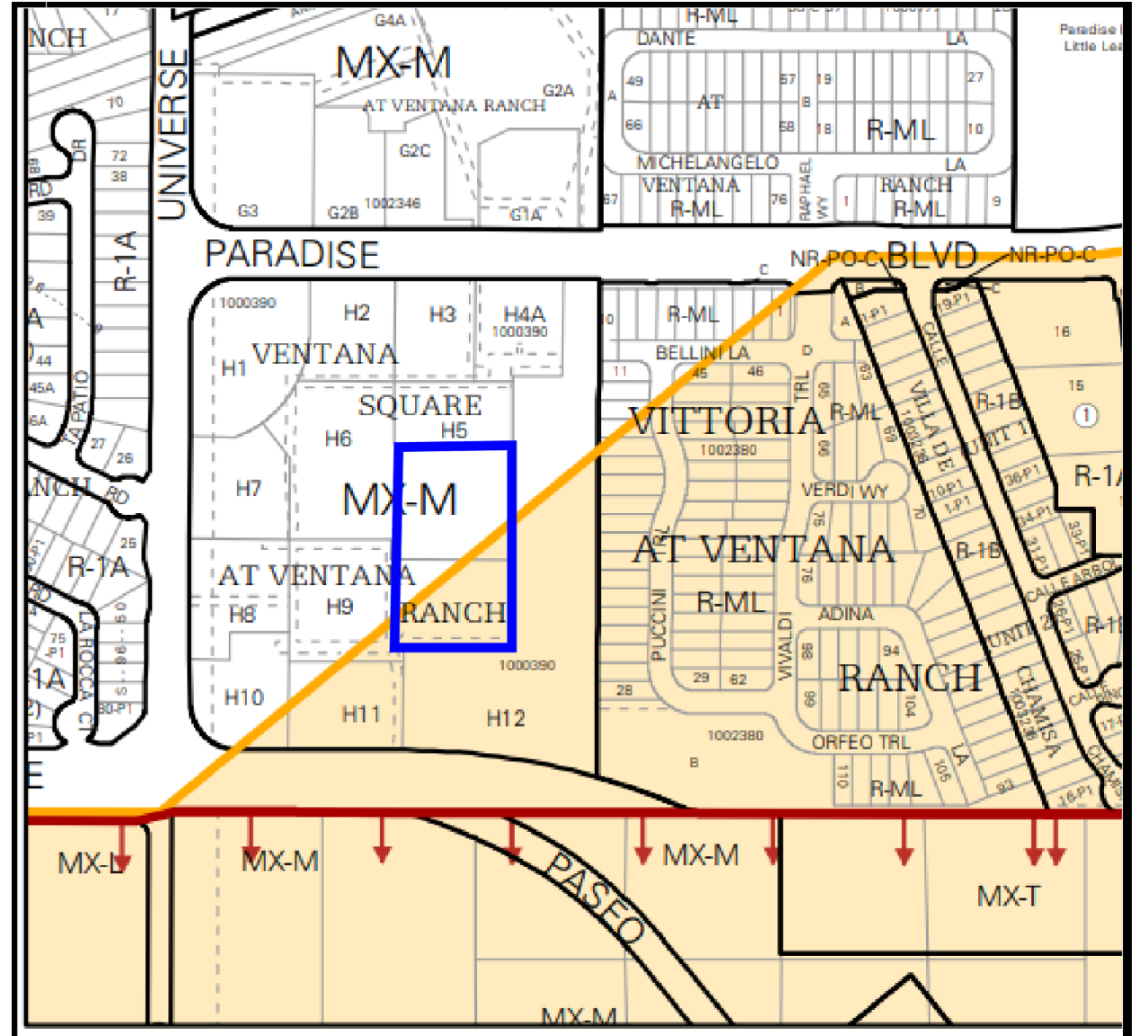
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ZONE ATLAS PAGE B-10Z

NOT TO SCALE



FEMA FLOOD ZONE MAP 35001C0103H

NOT TO SCALE

MATERIAL LEGEND

- HEAVY DUTY ASPHALT
- HEAVY DUTY CONCRETE PAVEMENT
- 4" THICK CONCRETE SIDEWALK
- EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS
- LANDSCAPING AREA.

GRADING AND DRAINAGE PLAN

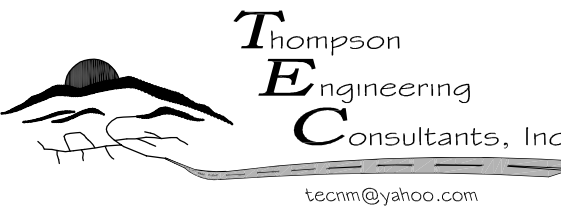


G&D 1

RKAA# 22116.00

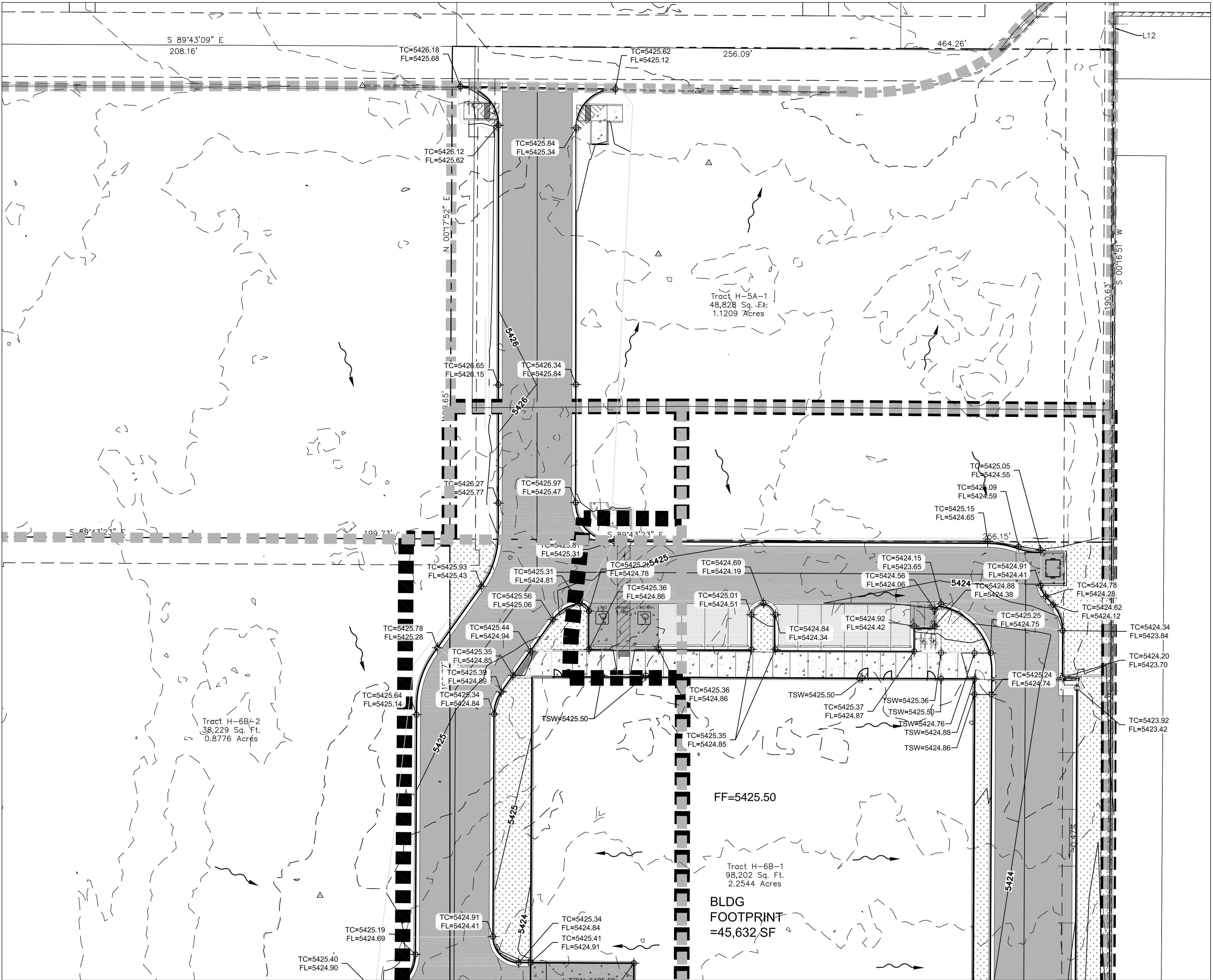


APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



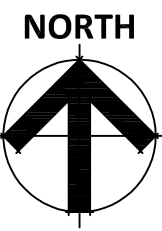
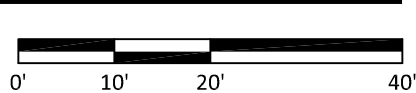
P.O. BOX 65760 ALBUQUERQUE, NM 87193

PHONE: (505) 271-2199 FAX: (505) 630-9240

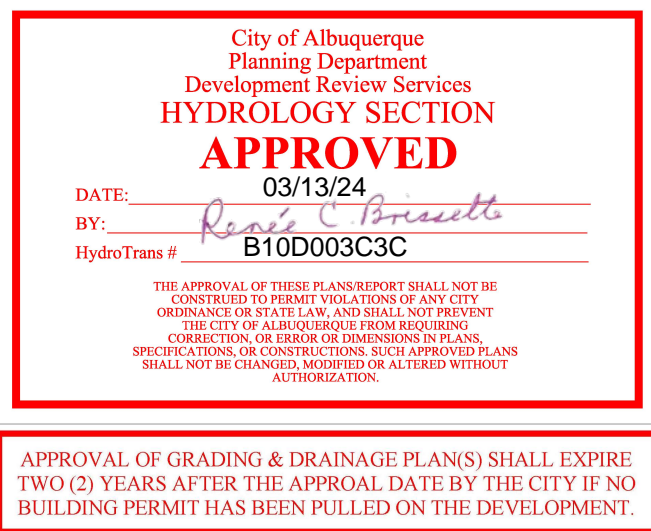


GRADING AND DRAINAGE PLAN - ENLARGED

SCALE: 1" = 20'-0"

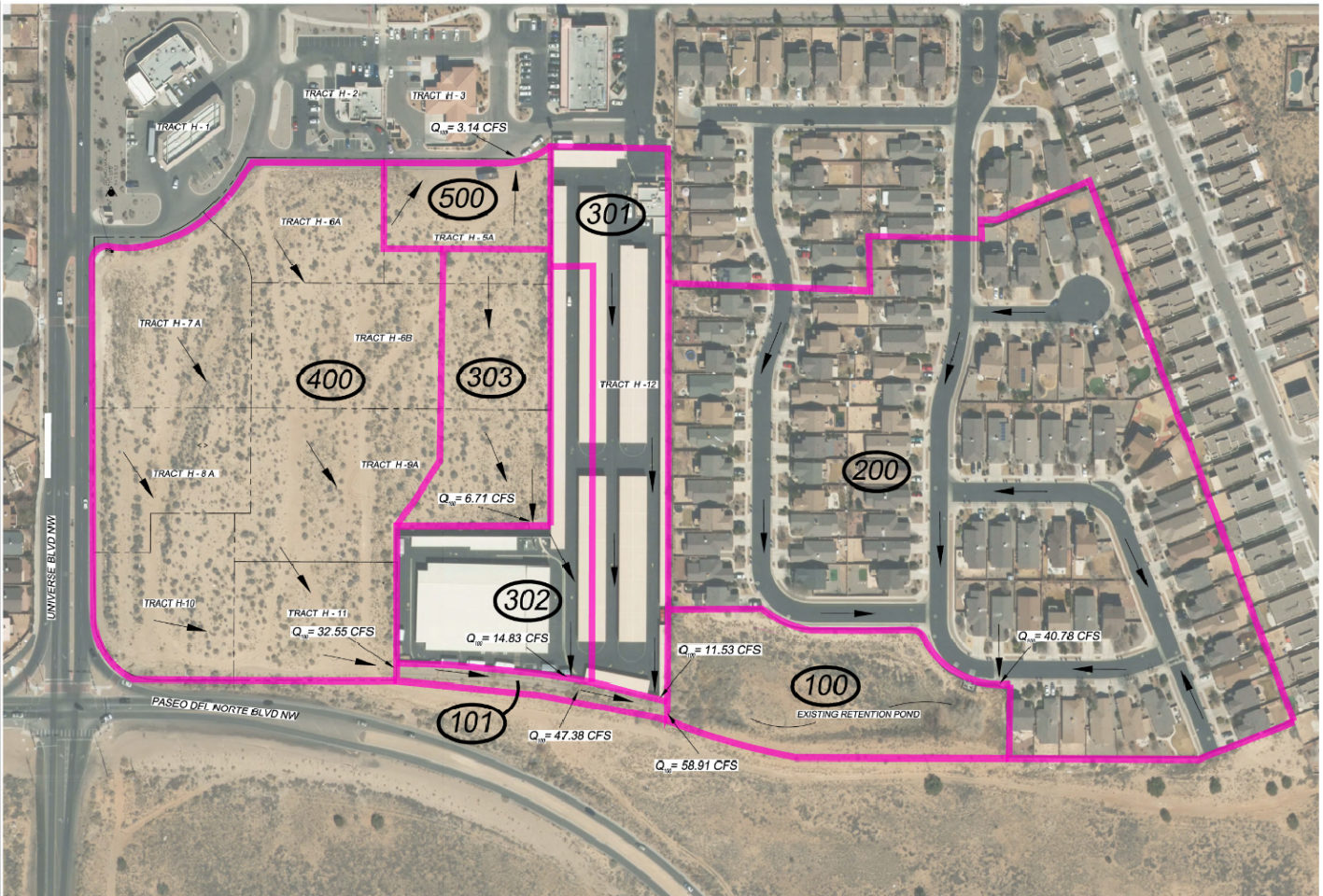


VENTANA SQUARE SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114
DATE: 01-10-2024 (PRELIMINARY)



G&D 2

RKAA# 22116.00



BASIN MAP FROM PRIOR STUDY

BASIN	Area (acres)	100yr-6hr Peak Flow (cfs)	100yr-10 day Runoff Volume (ac-ft)	Land Treatment
100	2.16	4.67	0.13	100%B
101	0.27	1.11	0.09	100%D
200	12.06	40.78	2.54	23%B, 23%C, 54%D
301	2.92	11.53	0.88	5%B, 6%C, 89%D
302	1.97	8.12	0.65	100%D
303	1.73	6.71	0.50	7.5%B, 7.5%C, 85%D
400	8.39	32.55	2.45	7.5%B, 7.5%C, 85%D
500	0.81	3.14	0.24	7.5%B, 7.5%C, 85%D

BASIN CALCULATIONS FROM PRIOR STUDY

Drainage Summary

Project: Ventana Square Self-Storage
Project Number: Ventana Square Self-Storage
Date: 01/21/24
By: MTD

Site Location: 1 Per COA DPM Chapter 6

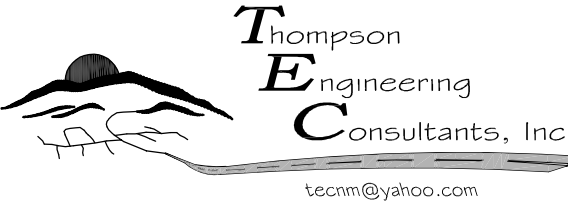
Existing summary

Basin Name	EX 303	EX 400	EX 500	
Area (sf)	75450	365468.4	35283.6	
Area (acres)	1.73	8.39	0.81	
%A Land treatment	0	0	0	
%B Land treatment	7.5	7.5	7.5	
%C Land treatment	7.5	7.5	7.5	
%D Land treatment	85	85	85	
Soil Treatment (acres)				
Area "A"	0.00	0.00	0.00	
Area "B"	0.13	0.63	0.06	
Area "C"	0.13	0.63	0.06	
Area "D"	1.47	7.13	0.69	
Excess Runoff (acre-feet)				
100yr. 6hr.	0.2930	1.4193	0.1370	acre-ft.
10yr. 6hr.	0.1829	0.8860	0.0855	acre-ft.
2yr. 6hr.	0.1144	0.5541	0.0535	acre-ft.
100yr. 24hr.	0.3323	1.6095	0.1554	acre-ft.
Peak Discharge (cfs)				
100 yr.	6.72	32.55	3.14	cfs
10yr.	4.08	19.76	1.91	cfs
2yr.	2.36	11.45	1.11	cfs

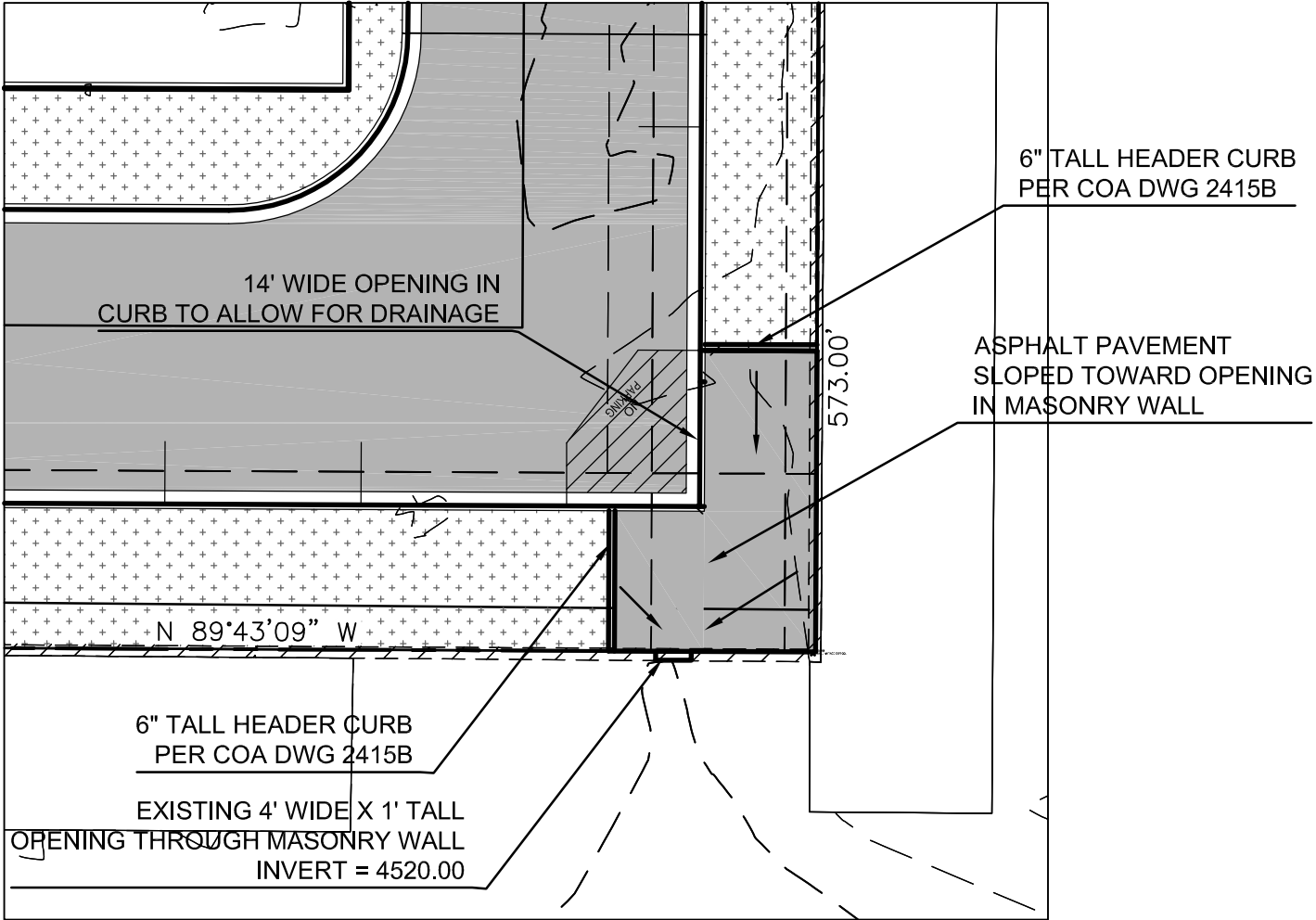
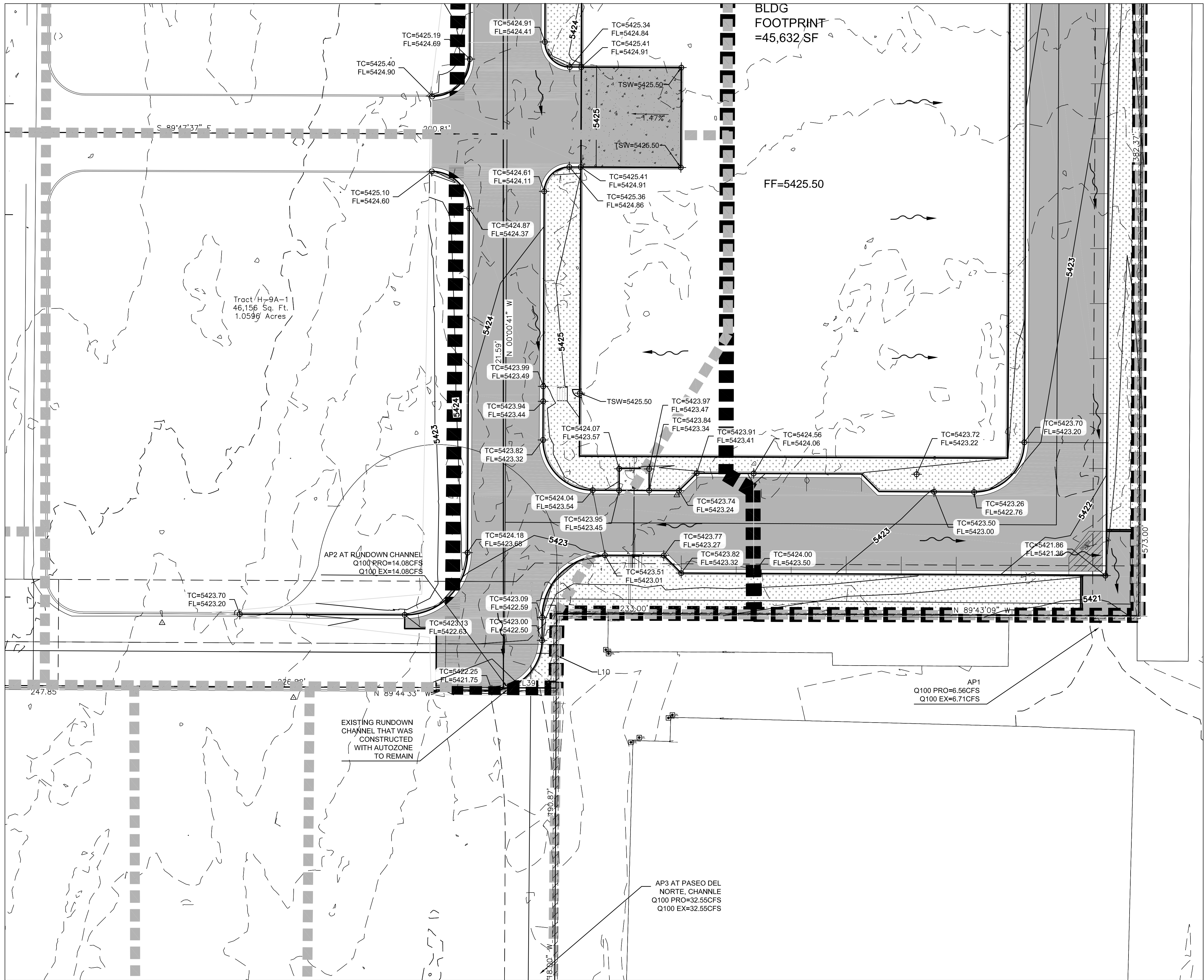
MATERIAL LEGEND

- HEAVY DUTY ASPHALT
- HEAVY DUTY CONCRETE PAVEMENT
- 4" THICK CONCRETE SIDEWALK
- EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS
- LANDSCAPING AREA.

GRADING AND DRAINAGE PLAN

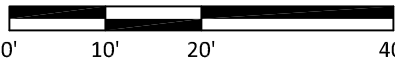


P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 630-9248



ASPHALT RUNDOWN - ENLARGED

SCALE: 1" = 20'-0"



Drainage Summary

Project: Ventana Square Self-Storage
Project Numbe: Ventana Square Self-Storage
Date: 01/21/24
By: MTD






Site Location

1 Per COA DPM Chapter 6

Proposed summary

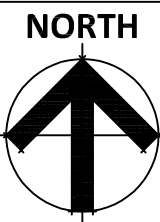
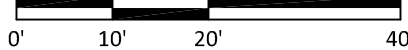
Basin Name	Area (sf)	PRO 303	OFFSITE PRO 400	PRO 400A	PRO 501
Area (sf)	73652	319354	48114	32286	
Area (acres)	1.691	7.331	1.059	0.741	
%A Land treatment	0	0	0	0	
%B Land treatment	7.5	7.5	7.5	7.5	
%C Land treatment	7.5	7.5	7.5	7.5	
%D Land treatment	85	85	85	85	
Soil Treatment (acres)					
Area "A"	0.00	0.00	0.00	0.00	
Area "B"	0.13	0.55	0.08	0.06	
Area "C"	0.13	0.55	0.08	0.06	
Area "D"	1.44	6.23	0.90	0.63	
Excess Runoff (acre-feet)					
100yr. 6hr.	0.2860	1.2402	0.1791	0.1254	acre-ft.
10yr. 6hr.	0.1786	0.7742	0.1118	0.0783	acre-ft.
2yr. 6hr.	0.1117	0.4842	0.0699	0.0489	acre-ft.
100yr. 24hr.	0.2860	1.2402	0.1791	0.1254	acre-ft.
100yr. 10day	0.4932	2.1386	0.3088	0.2162	acre-ft.
Peak Discharge (cfs)					
100 yr.	6.56	28.44	4.11	2.88	cfs
10yr.	3.98	17.26	2.49	1.75	cfs
2yr.	2.31	10.01	1.45	1.01	cfs
Water Quality Pounding Volume (cf)	1773.8	7691.1	1110.6	777.6	cf
Water Quality Acre Feet	0.0407	0.1766	0.0255	0.0179	acre-ft

MATERIAL LEGEND

	HEAVY DUTY ASPHALT
	HEAVY DUTY CONCRETE PAVEMENT
	4" THICK CONCRETE SIDEWALK
	EROSION PROTECTION SEE GRADING AND DRAINAGE PLANS
	LANDSCAPING AREA.

GRADING AND DRAINAGE PLAN - ENLARGED

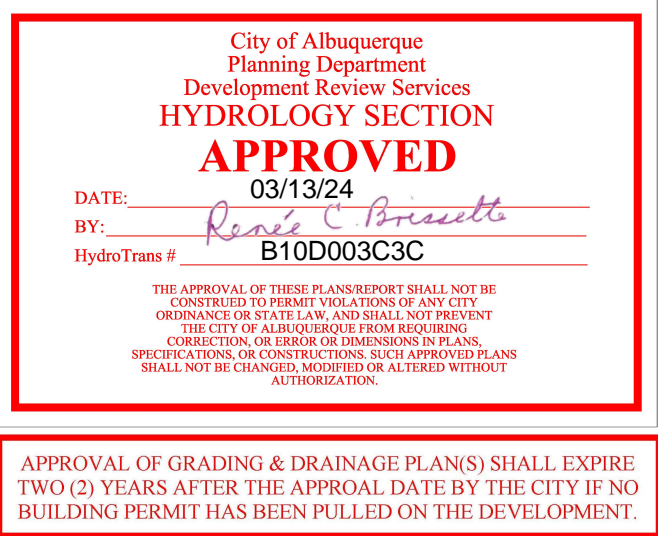
SCALE: 1" = 20'-0"



VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114

DATE: 01-10-2024 (PRELIMINARY)



G&D 3

RKAA# 22116.00

GRADING AND DRAINAGE PLAN

