

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 16, 2025

Dave Aube  
Studio Southwest Architects  
2101 Mountain Rd SW Unit: Suite B  
Albuquerque, NM 87106

[daube@studioswarch.com](mailto:daube@studioswarch.com)

**Re: Ventana Square Self-Storage**  
**9610 Universe NW**  
**Traffic Circulation Layout**  
Engineer's Stamp 7-8-25 (B10D003C3C) TRANS-2025-00187

Dear Mr. Aube,

PO Box 1293

The TCL submittal received 7-11-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

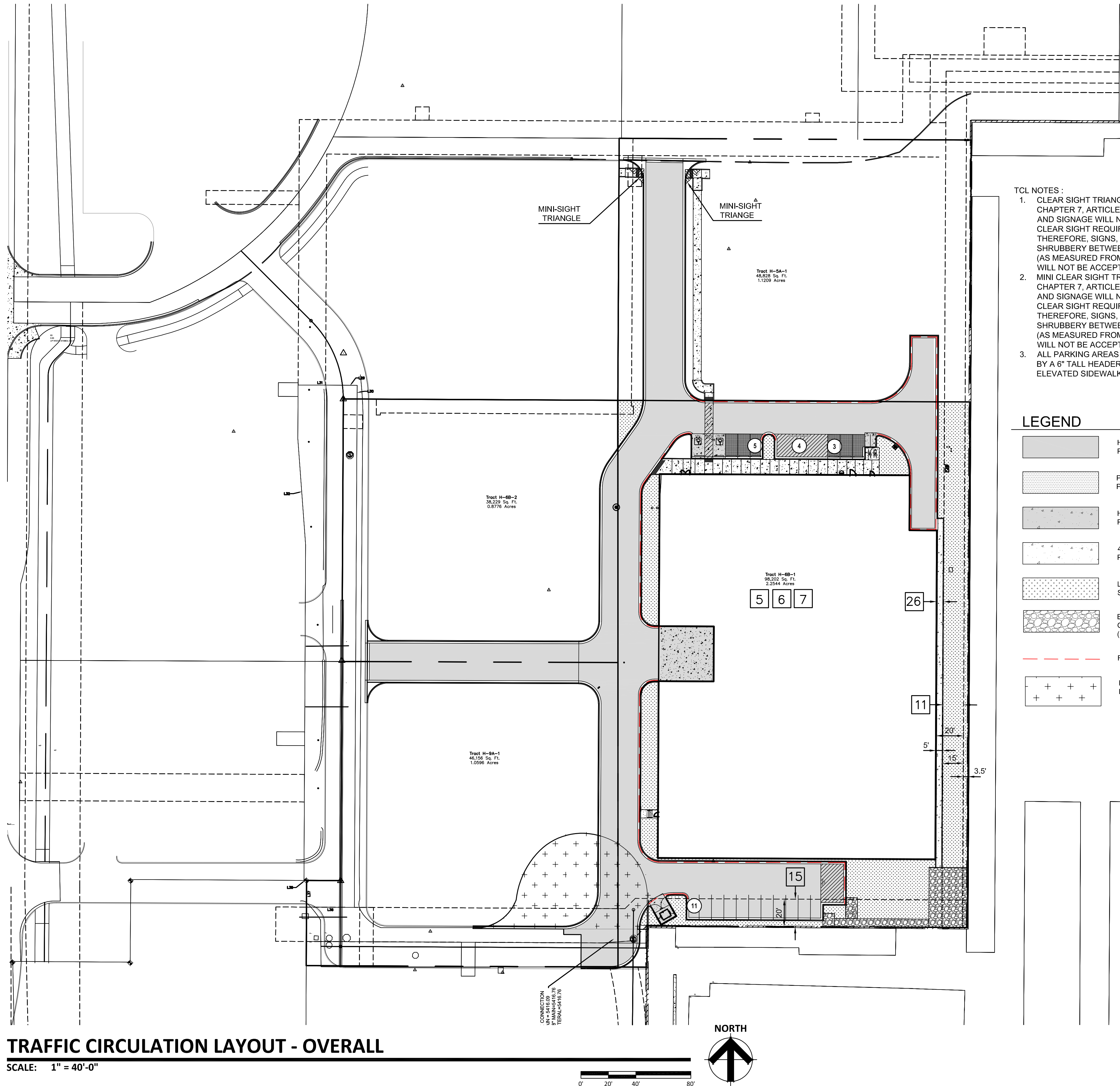
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



TRAFFIC CIRCULATION LAYOUT - OVERALL

SCALE: 1" = 40'-0"

TCL NOTES :

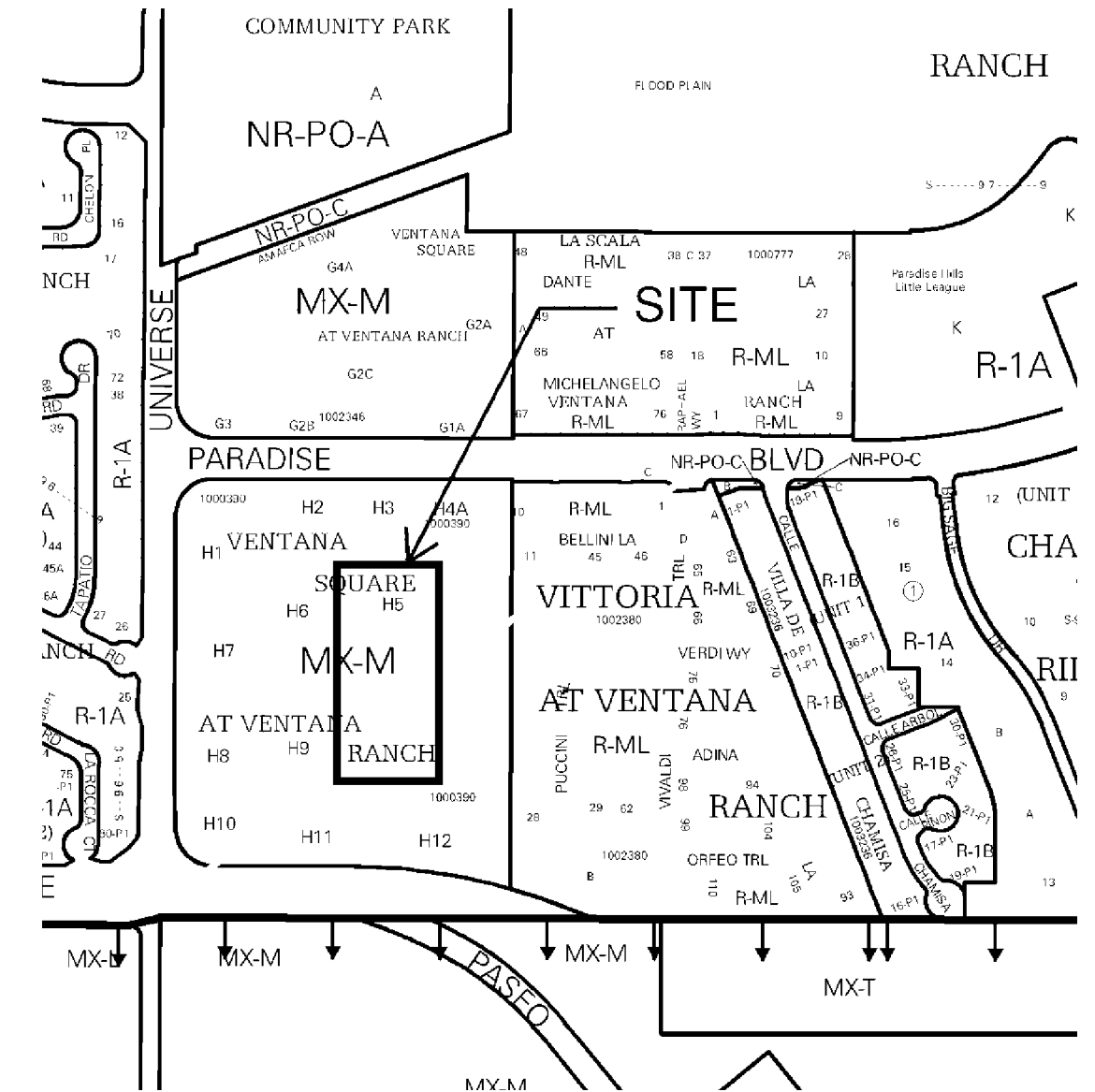
1. CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
2. MINI CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
3. ALL PARKING AREAS ARE SURROUNDED BY A 6" TALL HEADER CURB OR BY ELEVATED SIDEWALK 6" TALL.

LEGEND

- HEAVY DUTY ASPHALT PER DETAIL D1/C-501
- PARKING LOT ASPHALT PER DETAIL D1/C-501
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
- 4" THICK CONCRETE SIDEWALK PER DETAIL A4/C-501
- LANDSCAPING AREA SEE LANDSCAPING PLANS
- EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET G&D-1 THRU G&D-3)
- FIRE LANE "NO PARKING"
- PAVEMENT TO BE REMOVED

Easement Notes

- 5 EXISTING NONEXCLUSIVE PERPETUAL DRAINAGE EASEMENT AND PUBLIC UTILITIES EASEMENT, BLANKET IN NATURE OVER COMMON AREAS (03/04/2003, 2003C-50) (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- 6 EXISTING NONEXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC, BLANKET IN NATURE ACROSS THAT PORTION OF THE COMMON AREAS (03/04/2003, 2003C-50) (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- 7 EXISTING NON-EXCLUSIVE PERPETUAL EASEMENT ACROSS THE COMMON AREAS FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF FREE STANDING SIGNS (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- 11 EXISTING 15' WATERLINE EASEMENT (7/30/2002, BK. A39, PG. 52201, DOC. NO. 2002095491) (07/30/2002, BK. A39, PG. 5223, DOCUMENT NO. 2002095494)
- 26 ADDITIONAL 5' PUBLIC WATERLINE EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.



ZONE ATLAS PAGE B-10-Z

NOT TO SCALE

TRAFFIC CIRCULATION LAYOUT APPROVED

Sortil A. Kanbar 7/16/2025  
Signed Date

PROJECT TABULATED PARKING COUNTS

PROPOSED USE:	SELF-STORAGE
2-STORY BUILDING FOR SELF-STORAGE USES AS IS	
CONDITIONALLY ALLOWED IN THE MX-M ZONE (APPROVED BY THE ZHE, VA-2022-00127 AND VA-2022-00128). FACILITY SHALL COMPLY WITH USE SPECIFIC STANDARDS IDO SECTION 4-3(D) (29).	
STORAGE BUILDING PARCEL AREA:	97,966 S.F. (2.25 ACRES)
STORAGE BUILDING AREA (TWO STORIES):	111,250 S.F.
STORAGE BUILDING FOOTPRINT AREA:	55,625 S.F.
PARKING REQUIRED:	
OFFICE: 3.5 SPACE PER 800 S.F.	3 SPACES
SELF-STORAGE: 1 SPACE PER 3000 S.F.	37 SPACES
TOTAL PARKING REQUIRED	40 SPACES
PARKING PROVIDED:	23 SPACES
MOTORCYCLE PARKING REQUIRED:	2 SPACES
MOTORCYCLE PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	4 SPACES
BICYCLE PARKING PROVIDED:	4 SPACES
ADA ACCESSIBLE SPACES REQUIRED:	1 SPACES
ADA ACCESSIBLE SPACES PROVIDED:	2 SPACES
PARKING DETERMINED BY PARKING ANALYSIS APPROVED BY CITY OF ALBUQUERQUE ON JULY 7, 2025.	

TRAFFIC CIRCULATION LAYOUT

TCL-1

RKAA# 22116.00

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tecmm@yahoo.com

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ALBUQUERQUE, NM 87193  
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ARCHITECTS, INC.

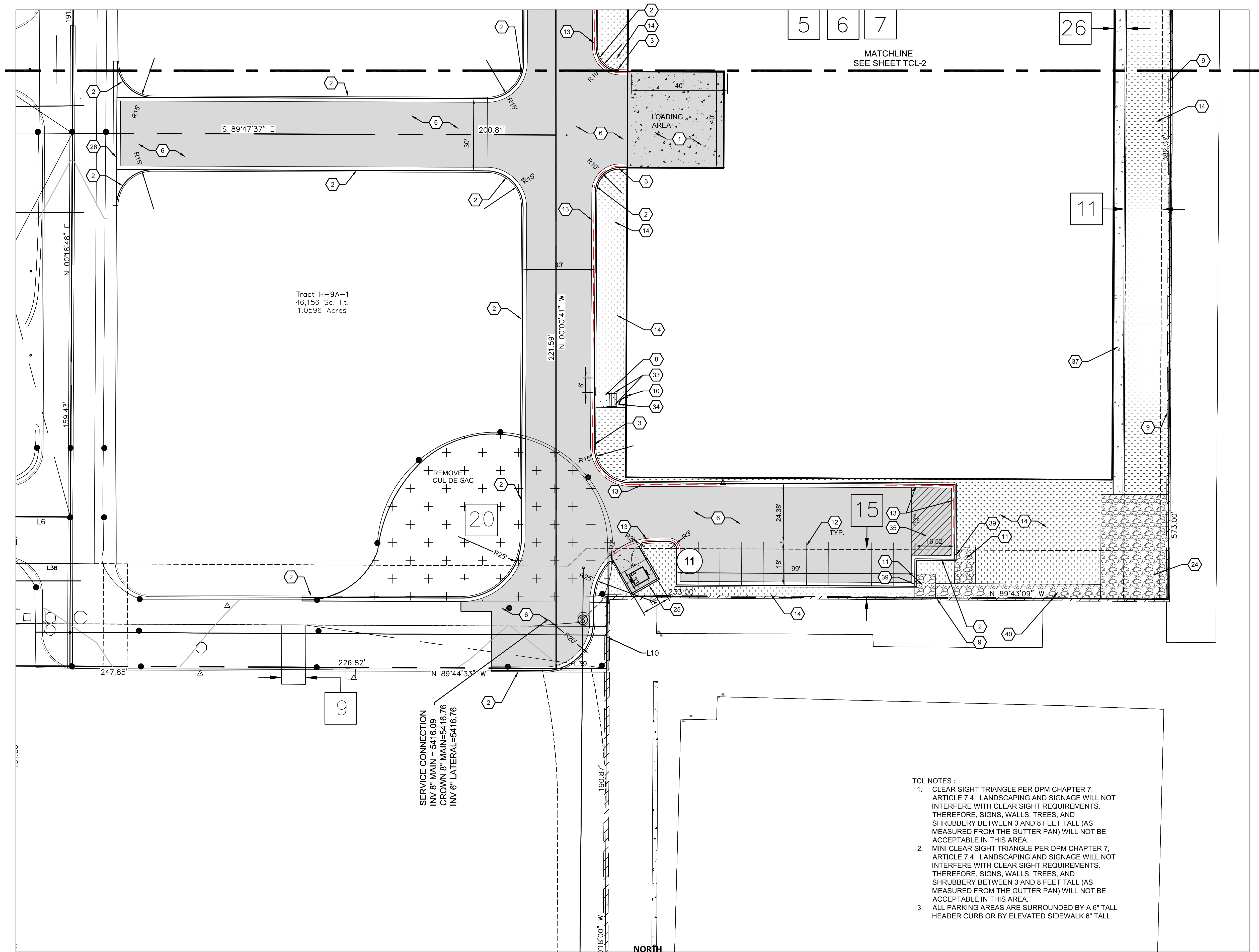
VENTANA SQUARE SELF-STORAGE  
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD  
ALBUQUERQUE, NM 87114  
DATE: 07-03-2025 (100% CD PLANS)

7-8-25









TRAFFIC CIRCULATION  
LAYOUT APPROVED

Sertil A. Kanbar 7/16/2025

Signed \_\_\_\_\_ Date \_\_\_\_\_

#### GENERAL NOTES

- ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- FIELD VERIFY ALL DIMENSIONS.
- DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- SEE SHEET C6001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
- TRAFFIC CIRCULATION LAYOUT KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- REFER TO PLAT FOR EASEMENT DEFINITIONS.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- SEE SHEET TCL-1 FOR EASEMENT INFORMATION.

#### KEYED NOTES

- CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
- 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
- RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
- 6" HEADER CURB PER DETAIL A5/C-501.
- HEAVY DUTY ASPHALT PAVEMENT PER DETAIL E1/C-501.
- CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
- CONCRETE SIDEWALK PER DETAIL A4/C-501.
- EXISTING BLOCK WALL TO REMAIN.
- CONCRETE STOOP PER DETAIL D1/C-501.
- RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
- 4" WIDE WHITE TRAFFIC PARKING.
- PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- SEE LANDSCAPING PLANS FOR DETAILS.
- 6" CONCRETE BOLLARDS AT REFUSE CONTAINER.
- CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
- RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
- 12" TALL WHITE LETTERS.
- UNLOADING ZONE PER DETAIL A3/C-502.
- VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
- RESERVED PARKING SIGN PER DETAIL E6/C-502.
- ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
- PARKING BLOCK PER DETAIL F2/C-501.
- RIPRAP RUNDOWN TO EXISTING OPENING IN SCREEN WALL TO THE SOUTH PER DETAIL D3/C-501.
- REFUSE ENCLOSURE.
- CONCRETE VALLEY GUTTER PER E5/C-501 AND COA STD DWG 2420.
- CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
- 12" TALL LETTERS FOR MOTORCYCLES "MC".
- RESERVED PARKING SIGN "MOTORCYCLES ONLY".
- BIKE RACK PER DETAIL E2/C-501, 4" SPACING BETWEEN HOOPS.
- DETECTABLE WARNING SURFACE PER DETAIL A5/C-502.
- RUNDOWN GUTTER PER DETAIL A5/C-501.
- METAL HANDRAIL PER DETAIL C2/C-501.
- CONCRETE STAIR PER DETAIL B3/C-501.
- STRIPED NO PARKING ZONE.
- PARKING LOT ASPHALT PAVEMENT PER DETAIL E1/C-501.
- 48" WIDE CONCRETE RUNDOWN PER DETAIL D4/C-501.
- 8.5" WIDE OPENING IN CURB TO ALLOW WATER INTO CONCRETE RUNDOWN.
- 2" WIDE OPENING IN CURB FOR DRAINAGE.
- RIPRAP SWALE. SEE SHEET G&D 3 AND D3/C-501.

#### LEGEND

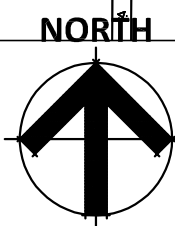
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PER DETAIL D1/C-501
- PARKING LOT ASPHALT  
PER DETAIL D1/C-501
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PAVEMENT PER DETAIL D4/C-501
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#### TRAFFIC CIRCULATION LAYOUT

SCALE: 1" = 20'-0"



#### VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD  
ALBUQUERQUE, NM 87114

DATE: 07-03-2025 (100% CD PLANS)

TCL-3

RKAA# 22116.00

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