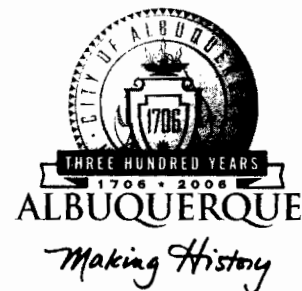


CITY OF ALBUQUERQUE



July 12, 2005

Ms. Yolanda Padilla, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson St. NE
Albuquerque, NM 87109

RE: VENTANA TOWNHOMES AT VENTANA RANCH (D-10/D3G)
Engineers Certification for Release of Financial Guaranty
Engineers Stamp dated 08/19/2004
Engineers Certification dated 07/07/2004

Dear Yolanda:

P.O. Box 1293

Based upon the information provided in your Engineer's Certification Submittal dated 07/08/2004, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

Albuquerque

If you have any questions, you can contact me at 924-3982

New Mexico 87103

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept.- Hydrology
Development and Building Services

www.cabq.gov

C: Marilyn Maldonado, COA# 741481
File

Courtyard
7500 Jefferson St. N
Albuquerque, NM
87109-433

www.bohannon.com

voice: 505.823.100
facsimile: 505.798.798
toll free: 800.877.533

July 8, 2005

Brad Bingham, P.E.
Hydrology Development Division
City of Albuquerque Planning Department
P. O. Box 1293
Albuquerque, NM 87103

Re: Ventana Townhomes Subdivision at Ventana Ranch – Grading and Drainage Certification
DRB Case No. 1002864; COA Drainage File # ~~B9/D5B~~ B-10/D3G

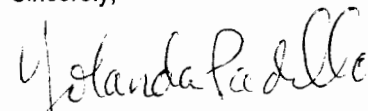
Dear Brad:

The purpose of this letter is to request your concurrence of the enclosed grading and drainage certification for the above referenced subdivision in Ventana Ranch. This submittal requests approval of the certification for Ventana Townhomes Subdivision at Ventana Ranch. The enclosed certified plan is the grading plan (Engineers Stamp dated 8-19-04

This grading plan certification is in substantial compliance; the two detention ponds are built to the required pond volume there is no freeboards.

In order to close out this package, approval of the enclosed certification is necessary. If you have any questions, please give me a call at 823-1000.

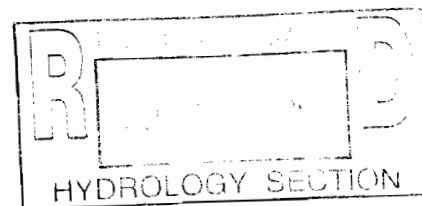
Sincerely,



Yolanda Padilla, P.E.
Project Engineer
Community Development and Planning

YP
Enclosures

cc: Kurt Browning, LVLP (w/enclosures)
R.P. Bohannon, D.R. Horton, (w/enclosures)
Kevin Patton, Bohannon Huston, Inc.



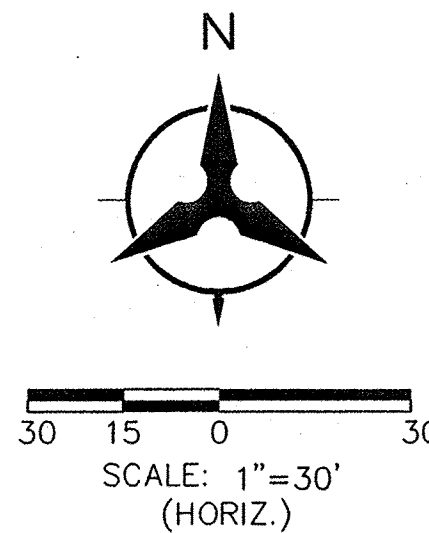
LEGEND

PROPOSED SPOT	● 29.20	FLOW DIRECTION ARROW	→
EXISTING SPOT	○	PAD	▭
TEMP. DESILTATION BASIN	▭	TURNED BLOCK	TB
PROPOSED CONTOUR	— 5910 —	RETAINING WALL	▬
LIMITS OF GRADING	---	GARDEN WALL	▬
EXISTING CONTOUR	- - - -	RIBBON CHANNEL	▬
HIGH POINT	W	SWALE	W

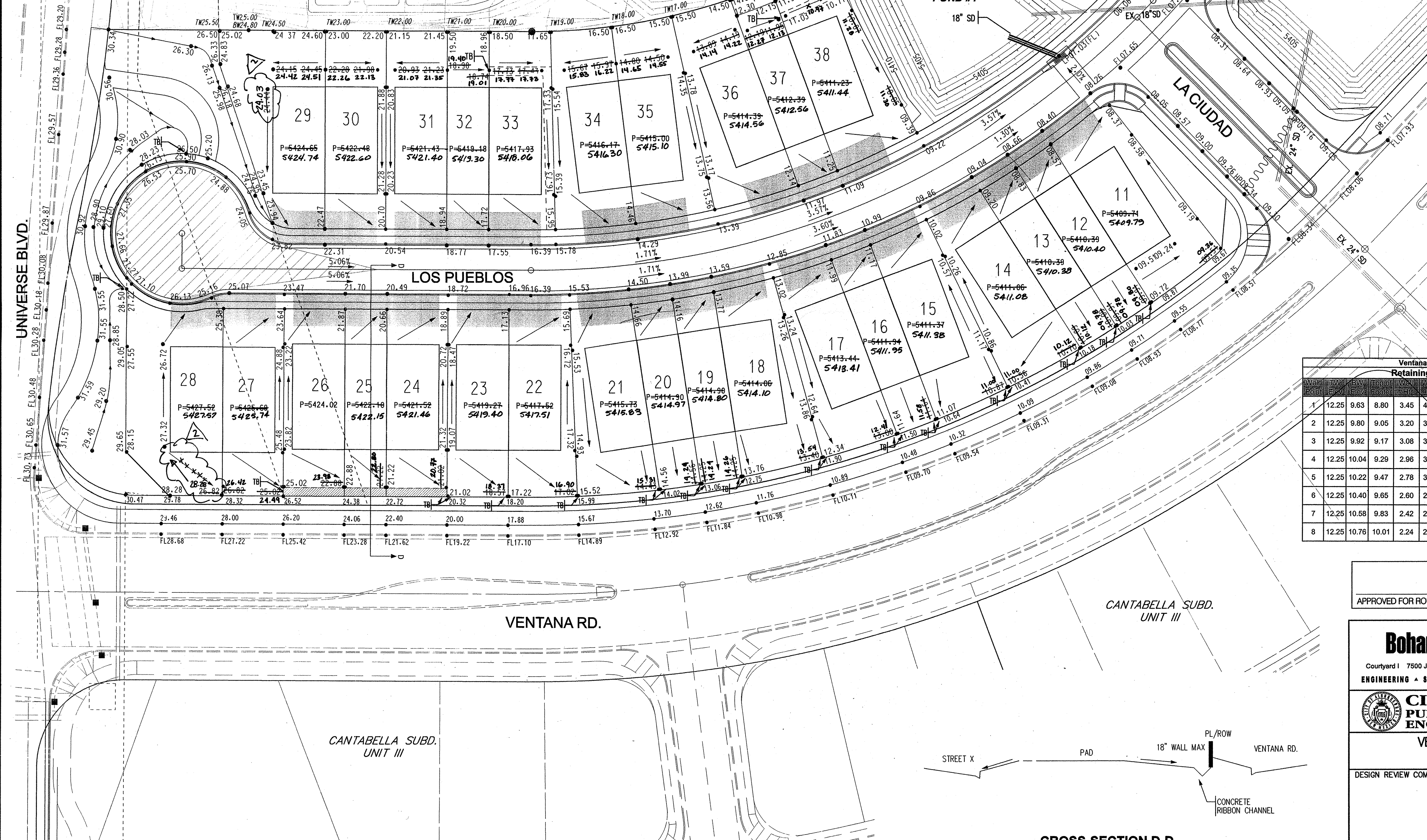
I, YOLANDA O. PADILLA, NMPE 16035, OF THE FIRM BOHANNAN HUSTON INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED, AUGUST 19, 2004. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BOHANNAN HUSTON, NMPE 9750, OF THE FIRM SURV-TEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JUNE 8, 2005 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SIA/ FINANCIAL GUARANTEE RELEASE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

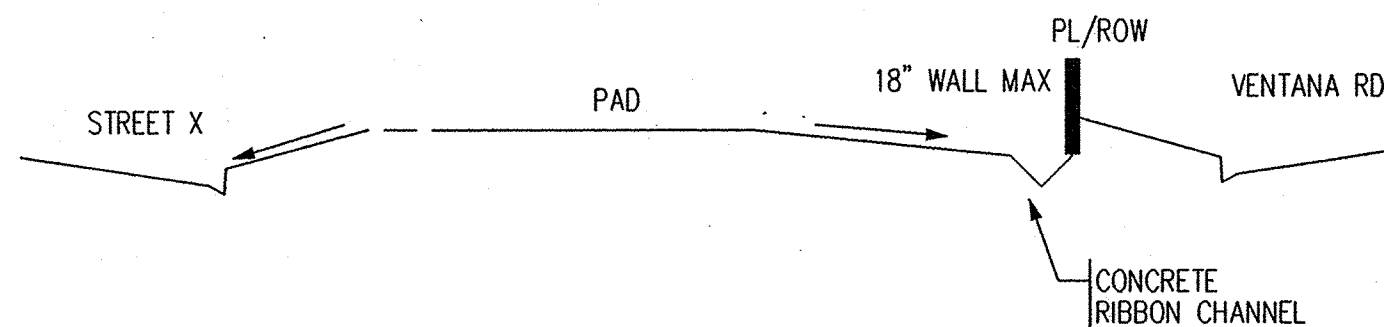
Yolanda O. Padilla
YOLANDA O. PADILLA, NMPE 16035
1-1-05



UNIVERSE BLVD.



Ventana Townhomes Retaining Wall Table							
Wall No.	Top of Wall	Base of Wall	Top of Wall	Base of Wall	Top of Wall	Base of Wall	Notes
1	12.25	9.63	8.80	3.45	4.00	20.07	4.00 B
2	12.25	9.80	9.05	3.20	3.33	24.00	3.33 A
3	12.25	9.92	9.17	3.08	3.33	24.00	3.33 A
4	12.25	10.04	9.29	2.96	3.33	35.33	3.33 A
5	12.25	10.22	9.47	2.78	3.33	35.33	3.33 A
6	12.25	10.40	9.65	2.60	2.67	35.33	2.67 A
7	12.25	10.58	9.83	2.42	2.67	35.33	2.67 A
8	12.25	10.76	10.01	2.24	2.67	35.33	2.67 A



CROSS-SECTION D-D

AS-BUILT INFORMATION		CONTRACTOR		WORKED BY		INSPECTED BY		DATE	
BENCH MARKS		ACS BRASS TABLE STAMPED 3-BIO 1980"		GEOGRAPHIC POSITION (NAD 1927)		N.M. STATE PLANE COORDINATES (CENTRAL ZONE) X=360,239.42 Y=1529,014.85		GROUND-TO-GRID FACTOR = 9998639	
SURVEY INFORMATION		FIELD NOTES		DATE		DATE		DATE	
ENGINEER'S SEAL		YOLANDA O. PADILLA		16035		1-1-05		1-1-05	
REMARKS		DESIGN		DATE 07/2004		DATE 07/2004		DATE 07/2004	
DESIGNED BY		YOP		DATE 07/2004		DATE 07/2004		DATE 07/2004	
DRAWN BY		RPA		DATE 07/2004		DATE 07/2004		DATE 07/2004	
CHECKED BY		YOP		DATE 07/2004		DATE 07/2004		DATE 07/2004	

APPROVED FOR ROUGH GRADING DATE

Bohannon Huston
Courtney | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VENTANA TOWNHOMES AT VENTANA RANCH
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. ZONE MAP NO. B-10 SHEET XX OF XX

