

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

June 23, 2022

Jeffrey Wooten, PE  
Wooten Engineering  
PO Box 15814  
Rio Rancho, NM 87174

**Re: Dutch Bros  
Paseo Del Norte & Universe  
90-Days Temporary Certificate of Occupancy  
Transportation Development Final Inspection  
Architect's Stamp dated 10-7-21 (B10-D003I)  
Certification dated 6-16-22**

Dear Mr. Wooten,

Based upon the information provided in your submittal received 06-23-22, Transportation Development has no objection to a 90-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 90-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Work order must be completed and approved.

Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

ma via: email  
C: CO Clerk, File





PARKING CALCULATIONS		
BUILDING AREA:	AREA (SQUARE FEET)	
RESTAURANT	+/- 950 SF	
OUTDOOR DINING	+/- 400 SF	
PARKING REQUIREMENTS:	REQUIRED	PROVIDED
RESTAURANT (5/1,000 SF)	8 spaces	
OUTDOOR DINING (5/1,000 SF)	2 spaces	
TOTAL	10 spaces	13 spaces
DRIVE-THRU QUEUEING	REQUIRED	PROVIDED
RESTAURANT	12 spaces	25 spaces
HANDICAP PARKING	REQUIRED	PROVIDED
MOTORCYCLE PARKING	1 spaces	2 spaces
BICYCLE PARKING	3 spaces	3 spaces

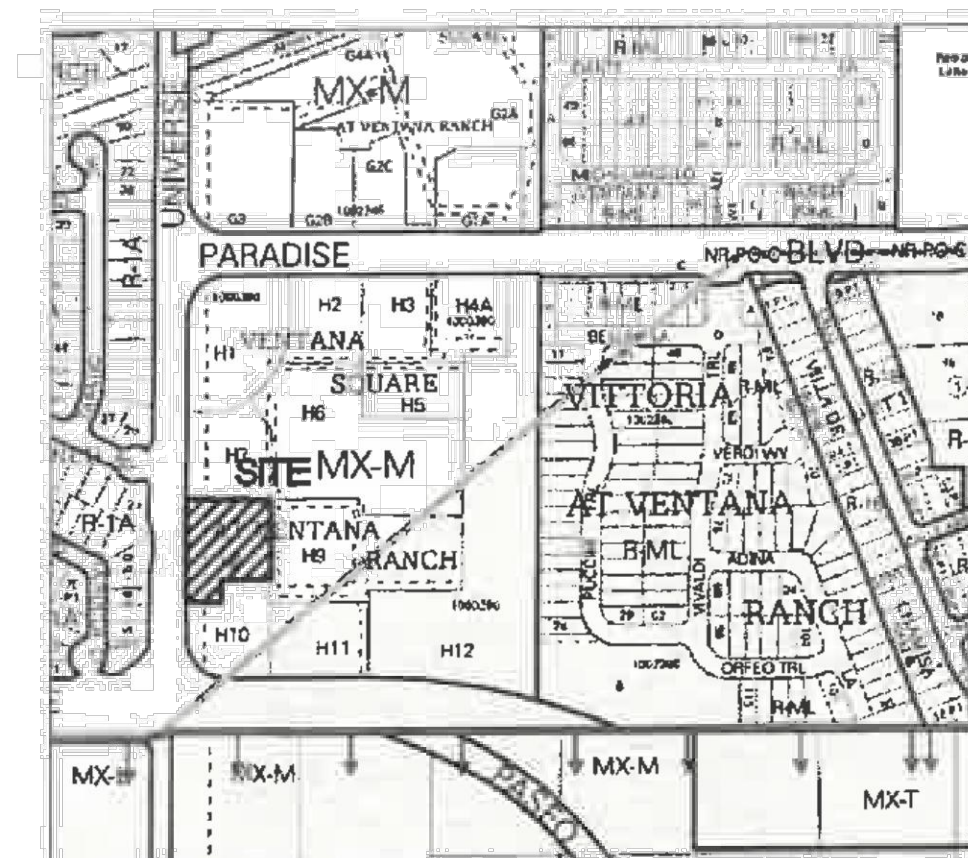
#### GENERAL NOTES / REQUIRED INFORMATION

Site: 1.1064 Acres  
Zoning: MX-M (Mixed Use Medium Density)  
Proposed Use: Restaurant w/ Drive-Thru  
Building Area: ±950 SF  
Building Height: Maximum Allowed = 45'; Proposed 24'  
Building Setback: Per MX-M Zone  
Allowed: Actual:  
Front: 5' 96.1'  
Side: 0' 22.7'  
Rear: 15' 94.9'

### TRAFFIC CIRCULATION LAYOUT APPROVED

Signed

Date



#### VICINITY MAP

LEGAL DESCRIPTION:  
Tract H-8, Ventana Square at Ventana Ranch, 1.1064 Acres.

#### KEYED NOTES

1. PROPOSED TRASH ENCLOSURE AND STORAGE AREA. TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS. REF. ARCHITECTURAL PLANS FOR DETAILS.
2. INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
3. INSTALL PARALLEL CURB RAMP PER COA STD DWGS 2440-2448.
4. INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
5. INSTALL NMDOT SP-IV ASPHALT PAVEMENT PER GEOTECHNICAL REPORT RECOMMENDATIONS. PARKING SPACES CAN BE ASSUMED TO BE 'LOW TRAFFIC FREQUENCY'. ALL OTHER PAVED AREAS SHALL BE CONSIDERED 'MEDIUM TRAFFIC FREQUENCY.' FOR THE TRASH ENCLOSURE PAD AND OTHER CONCRETE PAVEMENT, USE A 6-INCH THICK 4,000 PSI PCC CONCRETE OVER A 4-INCH AGGREGATE BASE COURSE.
6. INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES OR DRIVEWAY, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
7. PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS. INDICATE VAN ONLY SPACE AS SHOWN ON PLAN.
8. INSTALL H/C SIGNAGE PER DETAIL, SHEET C-101. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. SIGNAGE SHALL BE MOUNTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING." REF DETAIL ON SHEET C-101.
9. INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES. MIN. TWO COATS.
10. PAINT WORDS 'NO PARKING' &/OR 'VAN' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. MIN. TWO COATS.
11. INSTALL BIKE RACK PER DETAIL ON SHEET C-101. TWO BIKE RACKS FOR THREE (3) SPACES MINIMUM.
12. MOTORCYCLE PARKING: 2 SPACES. ADD PAINT LABEL (2 COATS) AND SIGNAGE PER COA CODE. SIGN DETAIL ON SHEET C-101.
13. INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET C-101.
14. LANDSCAPED AREA. REF. LANDSCAPE PLAN.
15. INSTALL 6" WIDE COLORED / TEXTURED CONCRETE PEDESTRIAN CROSSING. CONCRETE PAVEMENT SHALL BE 6" THICK 3,500 PSI MINIMUM. REF. DETAIL, SHEET C-101.
16. INSTALL DOUBLE SIDED DUTCH BROS VERTICAL CLEARANCE SIGN PER DETAIL SHEET C-101.
17. LIGHT POLE AND LED FIXTURE. REF SHEET E001.
18. INSTALL 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236. EXTEND 12" BEYOND SIDEWALK.
19. ADJACENT SHARED ACCESS ROADWAYS, WHEELCHAIR RAMPS, AND MULTI-USE TRAIL BY OTHERS.
20. EXISTING MEDIAN OPENING TO BE RELOCATED BY OTHERS (REF. CPN 670982).
21. INSTALL 3' WIDE VALLEY GUTTER. REF SHEET C-200.
22. 13'X130' CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
23. INSTALL TYPE 3 BARRICADE PER COA STD DWG 2803. IF ADJACENT DEVELOPMENT IS COMPLETED, BARRICADE IS NOT NEEDED.
24. INSTALL 'DO NOT ENTER' SIGN ON EACH POLE AT DRIVE-THRU EXIT PER DETAIL ON SHEET C-101.
25. NOTE THAT THE MAIN COMMON ACCESS DRIVEWAYS MUST BE INSTALLED (CPN 670982) AND ACCEPTED BY THE CITY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.

These barricades not installed since the Dions Development is currently under construction and the construction fence is blocking traffic. Dions should be open in approximately two months.

#### EASEMENT NOTES

THE FOLLOWING BLANKET EASEMENTS APPLY TO THE ENTIRE DEVELOPMENT AND ARE SHOWN ON THE RECORDED PLAT; DOCUMENT NO. 2021098753, FILED 5/20/2021.

- PRIVATE NON-EXCLUSIVE PERPETUAL DRAINAGE EASEMENT AND PUBLIC UTILITIES EASEMENT, BLANKET IN NATURE OVER COMMON AREAS.
- PRIVATE NON-EXCLUSIVE PERPETUAL EASEMENT FOR INGRESS & EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC, BLANKET IN NATURE ACROSS THAT PORTION OF THE COMMON AREAS.
- PRIVATE NON-EXCLUSIVE PERPETUAL EASEMENT ACROSS THE COMMON AREAS FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF FREE STANDING SIGNS.

#### SITE PLAN CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 10/7/2021. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 6/20/2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY (PERMANENT C.O.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892



6/21/2022

#### BENCH MARK

ACS MONUMENT 13-B10  
PUB. EL=5424.81 NAVD 1988

CONDITION OF FINAL C.O. APPROVAL:  
① WORK ORDER CPN 670982 BE BUILT/ CONSTRUCTED AND APPROVAL BY COA  
② TRACT H-7A (DIONS - NM122) BUILT APPROVED AND FINAL C.O. APPROVED.

UNIVERSE BLVD. NE (R/W VARIES)

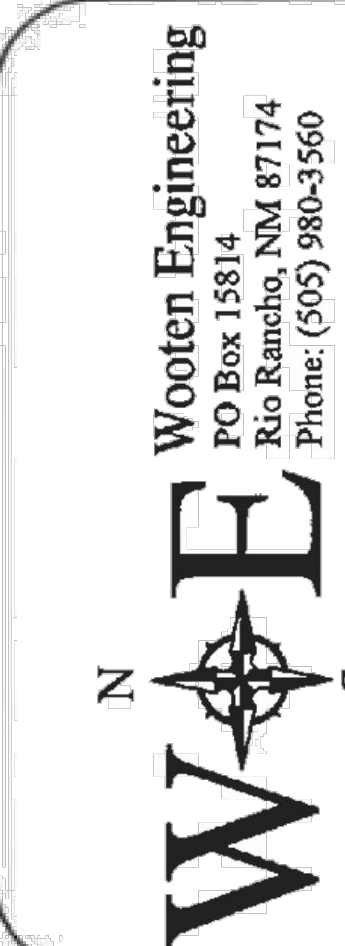
NO WORK SHALL BE PERFORMED IN THE PUBLIC RIGHT-OF-WAY WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

ALL BROKEN OR CRACKED SIDEWALK AND CURB AND GUTTER MUST BE REPLACED WITH NEW SIDEWALK AND STANDARD CURB AND GUTTER PER COA STD DWGS 2415A & 2430.

This curb cut has been removed in order to allow the future Development to decide where to locate their connection. Barricades not installed.

Dutch Bros  
NEQ Paseo Del Norte & Universe  
Albuquerque, NM 87114

Site Plan



Wooten Engineering  
PO Box 15814  
Rio Rancho, NM 87174  
Phone: (505) 980-3560



10/7/2021

NO.	DATE	REMARKS / REVISIONS	BY
DESIGNED BY: JW	DATE: July 2021	DESIGN	
DRAWN BY: RG	DATE: July 2021		
CHECKED BY: JW	DATE: July 2021		

C-100

BIO-00031