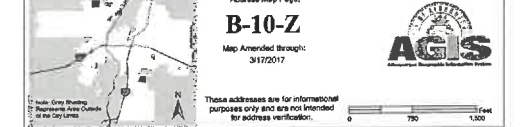
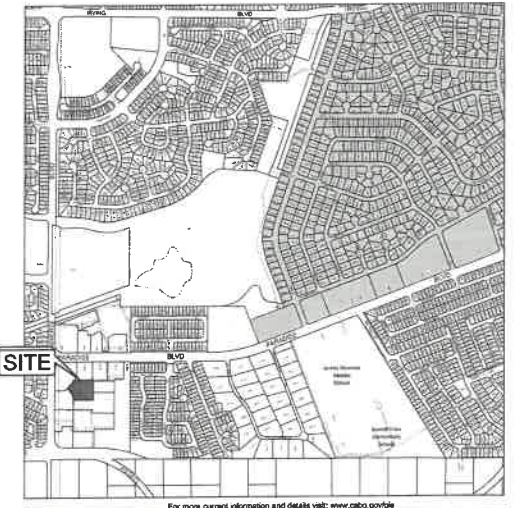
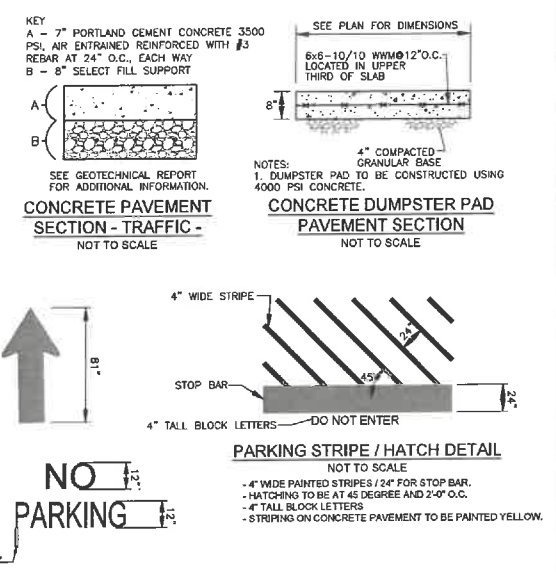
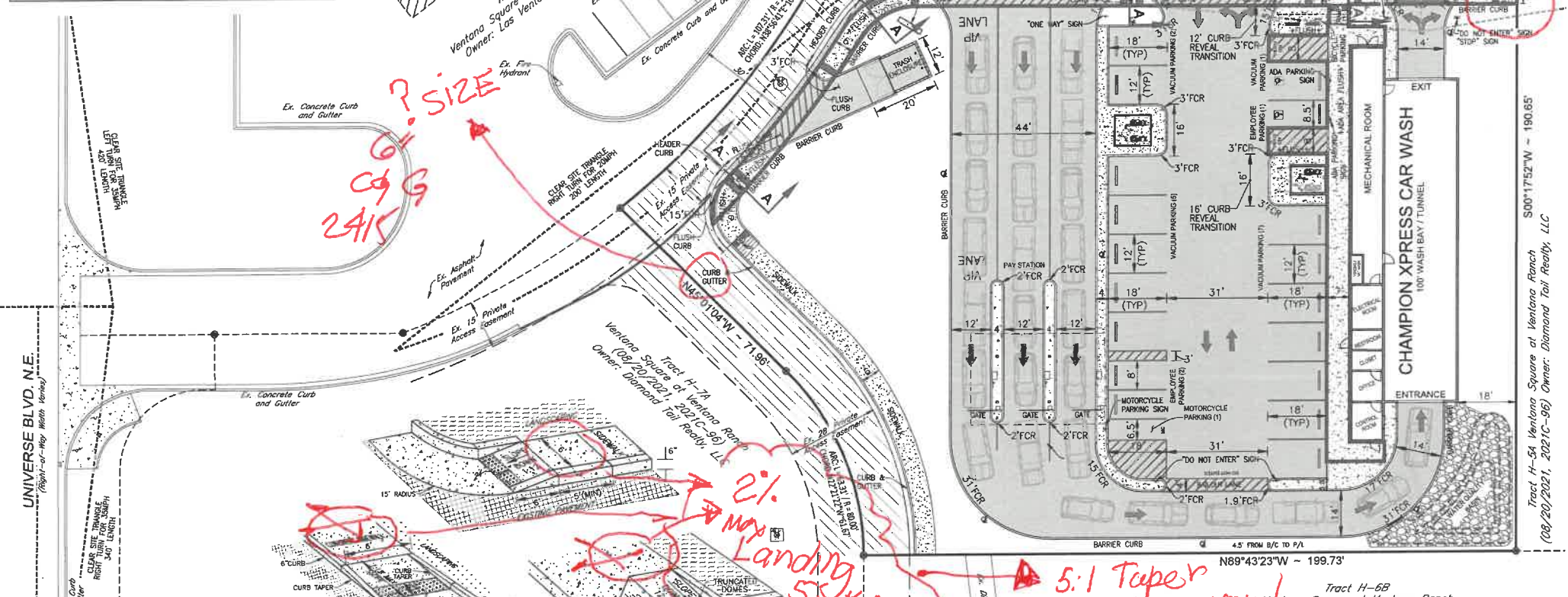


TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY LINES IN THE CONSTRUCTION AREA WHICH MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR/UTILITY OWNERS. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

VERTICAL & HORIZONTAL CONTROL:
BMM#1: Description: ACS MONUMENT "13-b10"
NAD 1983 CENTRAL ZONE
Northing: 1,525,618.319
Easting: 1,497,757.7
Elevation: 5424.81' (NAVD 1988)
Reference - ALTA / NSPS Land Survey of the subject property prepared by CSI-Cartesian Surveys, Inc., dated, September 8, 2021.



PROJECT SUMMARY
Project will include the demolition and removal of existing structures, vegetation, pavement, etc. as necessary to construct a new Champion Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the site.

PROPERTY INFORMATION
Address: 9640 Universe Blvd NW
Legal Description: Tract H-6A Ventana Square at Ventana Ranch
Area: 1.0111 acres
Zoning: Mixed Use - Moderate Intensity
Flood Zone Designation: FIRM # 35001C0103H, effective date: August 16, 2012
Zone "X": Areas determined to be outside the 0.2% annual chance floodplain.

SITE AND PAVEMENT LEGEND

	CONCRETE WHEEL STOP
	ADA PARKING SYMBOL
	PROPOSED LIGHT POLE
	DIRECTIONAL PARKING LOT ARROW
	ADA ACCESSIBLE PEDESTRIAN PATHWAY
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	TRUNCATED DOMES

PARKING AND STACKING SUMMARY

CHAMPION XPRESS CAR WASH
Building Area = 2,440 sq-ft (1,090 sq-ft of non-wash bay/mechanical room)
Wash Bay Stacking Provided: 27 vehicles
Vacuum Parking Provided: 15 spaces (18'x12')
Employee/Standard Parking Provided: 2 spaces (18'x9')
Motorcycle Parking Provided: 1 Space (18'x6.5')
Bicycle Parking Provided: 4 Spaces (2 Racks)
ADA Parking Provided: 1 Space (18'x8.5)
ADA Vacuum Parking Provided: 1 Space (18'x12')

REQUIRED STANDARD PARKING = 2 Stalls
Use = Car Wash
2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area (1090 sq-ft / 1000) per IDO Table 5-5-1: Off-street Parking Requirements

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay
Activity = Car Wash
per IDO Table 5-5-8: Required Stacking Spaces

REQUIRED MOTORCYCLE PARKING = 1 Space
per IDO Table 5-5-4: Motorcycle Parking Requirements

REQUIRED BICYCLE PARKING = 3 Spaces
per IDO Table 5-5-5: Bicycle Parking Requirements

REQUIRED ADA PARKING = 1 Space
per ADA Table 208.2: Minimum Number of Accessible Parking Spaces

ADA ACCESSIBLE RAMP DETAILS
NOT TO SCALE

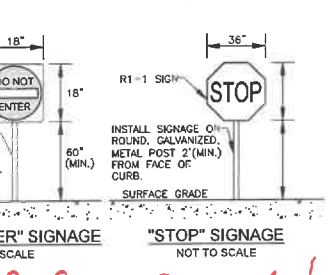
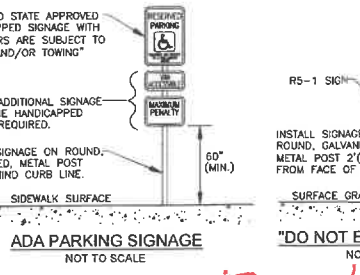
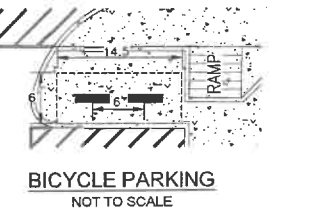
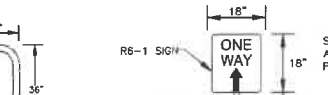
NOTES:
1. HANDICAP RAMPS TO BE INSTALLED PER ADA REQUIREMENTS.

CONCRETE WHEEL STOP
NOT TO SCALE

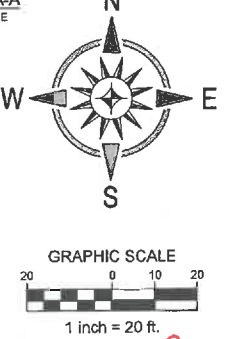
NOTES:
1. PRE-CAST CONCRETE WHEEL STOPS SHALL BE DOWELED TO PAVEMENT & LOCATED 2 FT. FROM EDGE OF OBSTRUCTION.
2. PAINT ALL WHEEL STOPS "SAFETY YELLOW", OR AS LOCAL CODES REQUIRE.

CITY STANDARD DETAILS

STANDARD DETAIL	DRAWING NUMBER
ROLL CURB	2415A
6" STANDARD C & G	2415A
DRIVEWAY APPROACH	2426
PAVING SIDEWALK DETAILS	2430



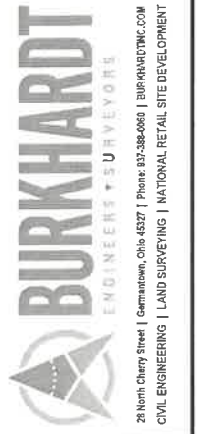
ACCESSIBLE PARKING SYMBOL & MARKING NOTES
A paved accessible parking space must include:
- The International Symbol of Access conspicuously on the surface in a color that contrasts the pavement.
- The words "NO PARKING" painted on any access aisle adjacent to the parking space.
Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.



Revision Table

Date	Description
05.16.22	Rev 1 - Revised per Traffic Comments.
05.20.22	Rev 2 - Revised per Traffic Comments.

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS
CAR WASH
9640 UNIVERSE BLVD NE
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

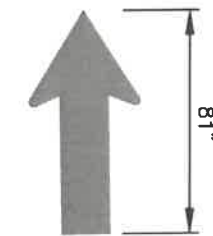


Design Information

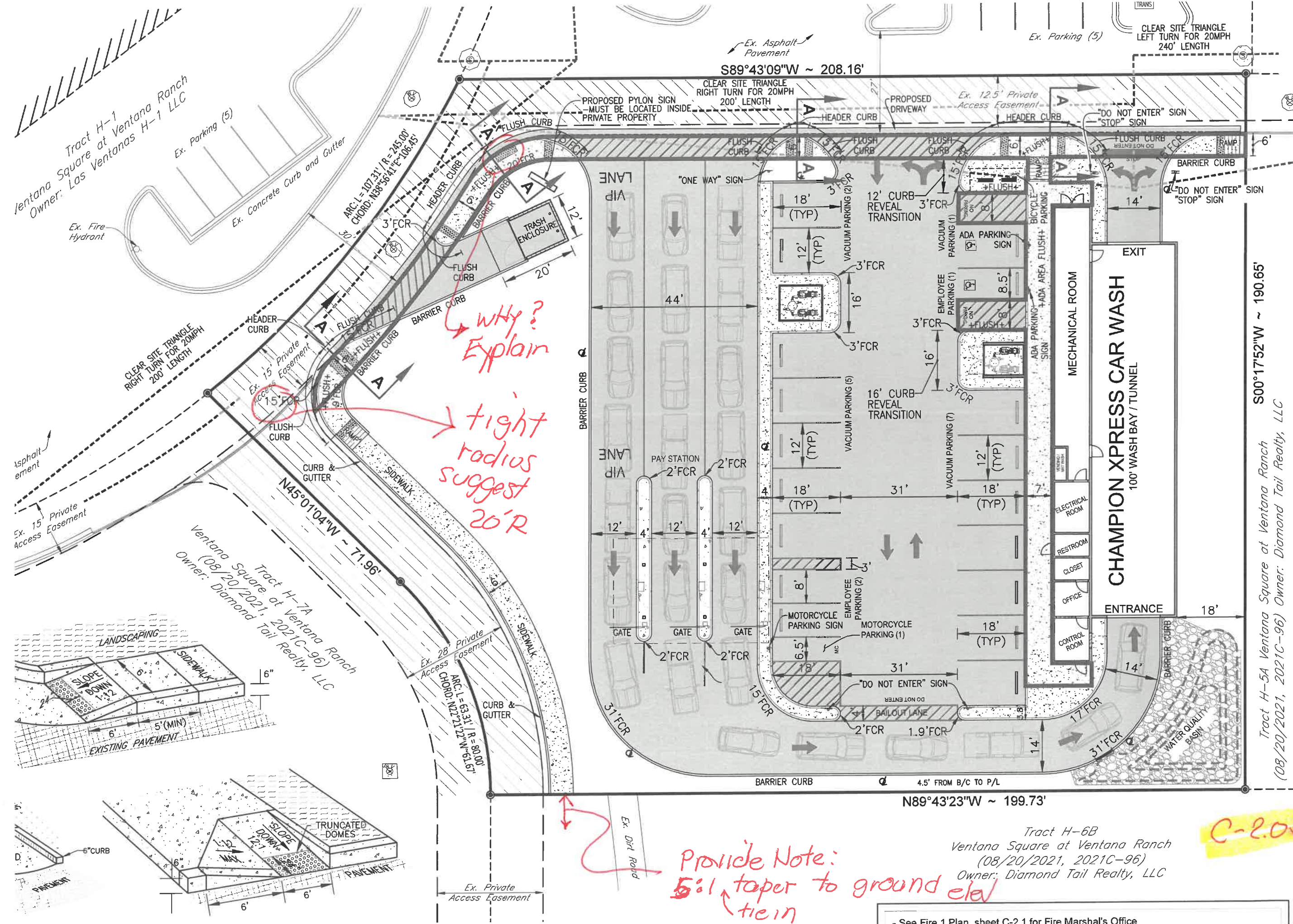
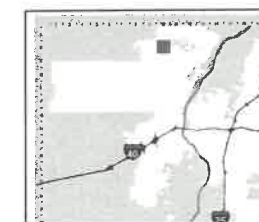
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Draw: MCM	Dwg: 21-226.dwg
Check: RJM	Tab: C2.0-TP
Scale: 1" = 20'	
Date: 05.09.2022	
Sheet:	
Sheet No.:	

Final C.O. Condition: A. WORK ORDER 670982 - complete/Approved
B. Dion's (B10-D003H) - SIDEWALK connection - UNIVERSE COMPLETE

SEE GEOTECHNICAL
FOR ADDITIONAL INI
**CONCRETE PAV
SECTION - TRA**
NOT TO SCAL



**NO
PARKING**



- See Fire 1 Plan, sheet C-2.1 for Fire Marshal's Office