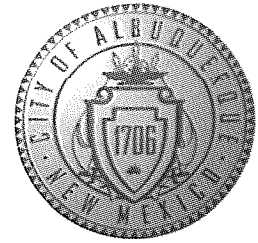


CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 13, 2022

Mitchell Monnin
Burkhardt Engineer Surveyors
28 North Cherry Street
Germantown, OH 45327

Re: Champion Xpress Car Wash
9640 Universe Blvd NW
Traffic Circulation Layout
Engineer's Stamp 05-05-2022 (B10-D003J)

Dear Mr. Monnin,

Based upon the information provided in your submittal received 05-05--2022, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Call out COA std dwg 2430 for he proposed Sidewalk at the West of the site.
2. Please see attached and provide a curb when it shows blue. Remove the curb when it shows yellow at the North West of the site. For pedestrian safety issue.
3. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way. provide a copy of refuse approval.
4. Provide a copy of Fire Marshal Approval.
5. A copy of receipt for Resubmittal fees paid will need to be provided.
6. Please provide a letter of response for all comments given.

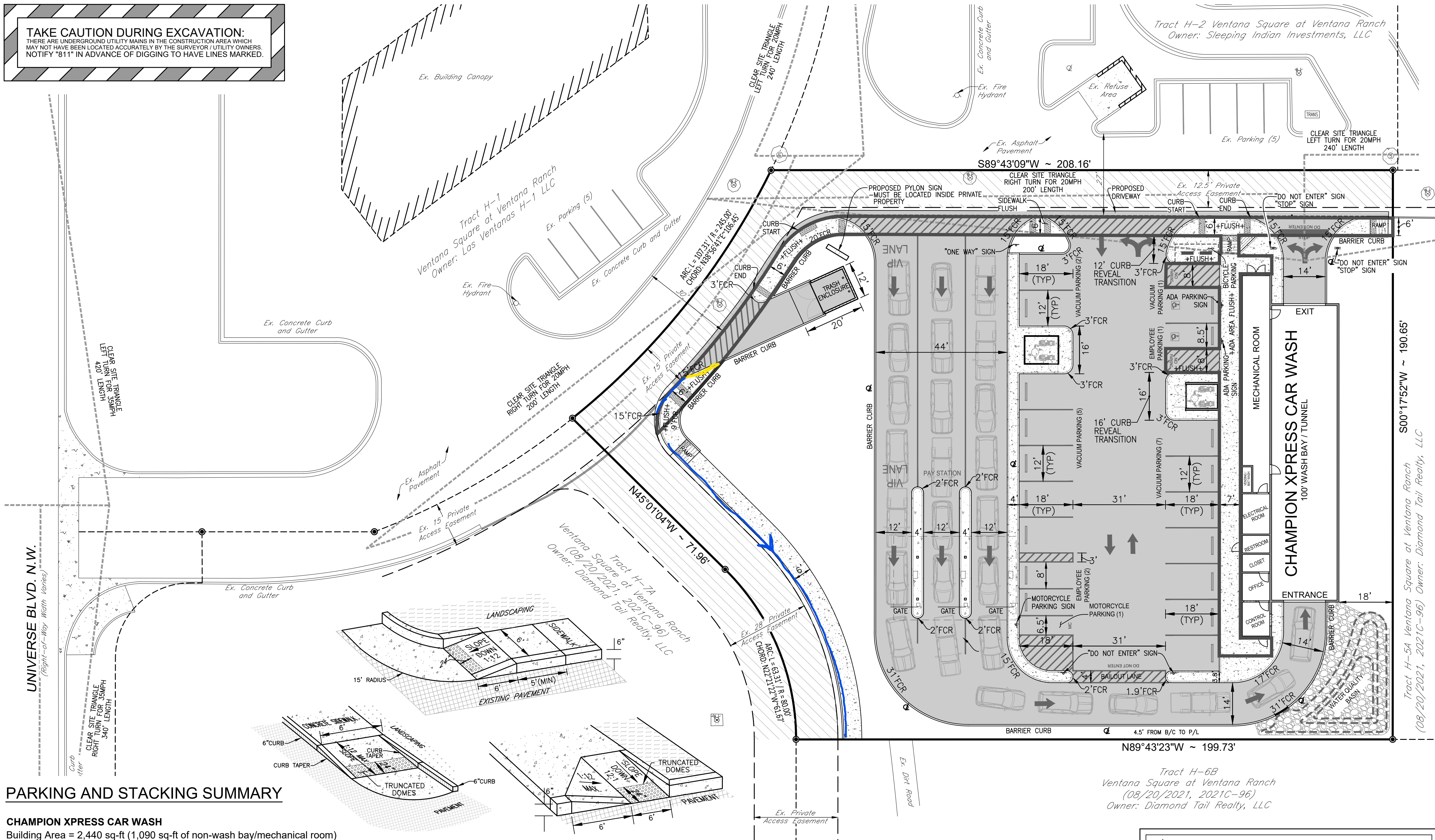
If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email
C: CO Clerk, File

TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY MAINS IN THE CONSTRUCTION AREA WHICH MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR / UTILITY OWNERS. NOTIFY 811 IN ADVANCE OF DIGGING TO HAVE LINES MARKED.



PARKING AND STACKING SUMMARY

CHAMPION XPRESS CAR WASH
Building Area = 2,440 sq-ft (1,090 sq-ft of non-wash bay/mechanical room)
Wash Bay Stacking Provided: 27 vehicles
Vacuum Parking Provided: 15 spaces (18'x12')
Employee/Standard Parking Provided: 2 spaces (18'x9')
Motorcycle Parking Provided: 1 Space (18'x6.5')
Bicycle Parking Provided: 4 Spaces (2 Racks)
ADA Parking Provided: 1 Space (18'x8.5')
ADA Vacuum Parking Provided: 1 Space (18'x12')

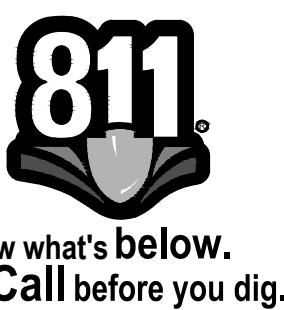
REQUIRED STANDARD PARKING = 2 Stalls
Use = Car Wash
2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area (1090 sq-ft / 1000)
per IDO Table 5-5-1: Off-street Parking Requirements

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay
Activity = Car Wash
per IDO Table 5-5-8: Required Stacking Spaces

REQUIRED MOTORCYCLE PARKING = 1 Space
per IDO Table 5-5-4: Motorcycle Parking Requirements

REQUIRED BICYCLE PARKING = 3 Spaces
per IDO Table 5-5-5: Bicycle Parking Requirements

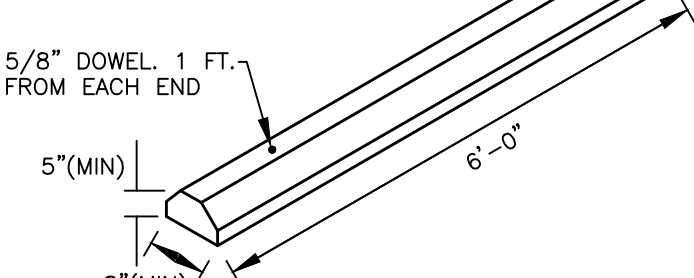
REQUIRED ADA PARKING = 1 Space
per ADA Table 208.2: Minimum Number of Accessible Parking Spaces



NOTES:
1. HANDICAP RAMPS TO BE INSTALLED PER ADA REQUIREMENTS.

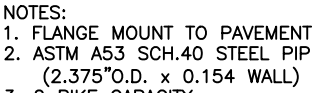
ADA ACCESSIBLE RAMP DETAILS

NOTES:
1. PRE-CAST CONCRETE WHEEL STOPS SHALL BE DOWELED TO PAVEMENT & LOCATED 2 FT. FROM EDGE OF OBSTRUCTION.
2. PAINT ALL WHEEL STOPS "SAFETY YELLOW", OR AS LOCAL CODES REQUIRE.



CONCRETE WHEEL STOP

NOT TO SCALE

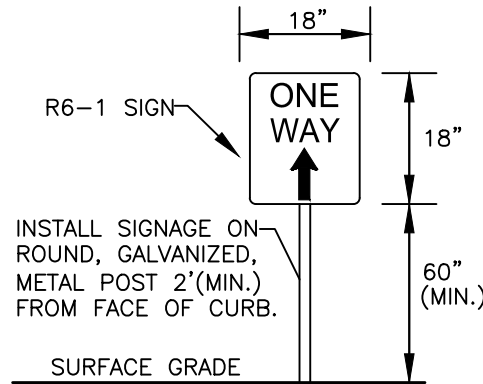


BICYCLE RACK DETAIL

NOT TO SCALE

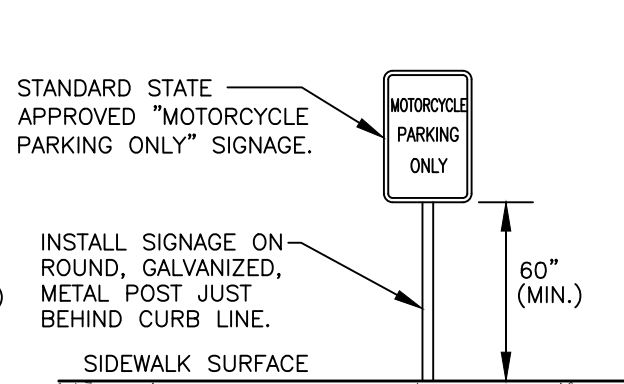
CITY STANDARD DETAILS

STANDARD DETAIL	DRAWING NUMBER
ROLL CURB	2415A
6" STANDARD C & G	2415A
DRIVEWAY APPROACH	2426



"ONE WAY" SIGNAGE

NOT TO SCALE



MOTORCYCLE PARKING SIGNAGE

NOT TO SCALE

VERTICAL & HORIZONTAL CONTROL:

BM#1: Description: ACS MONUMENT "13-b10"
"NAD 1983 CENTRAL ZONE
Northing: 1,525,618.319
Easting: 1,497,757.7
Elevation: 5424.81' (NAVD 1988)
Reference - ALTA / NSPS Land Survey of the subject property prepared by CSI-Cartesian Surveys, Inc., dated, September 8, 2021.

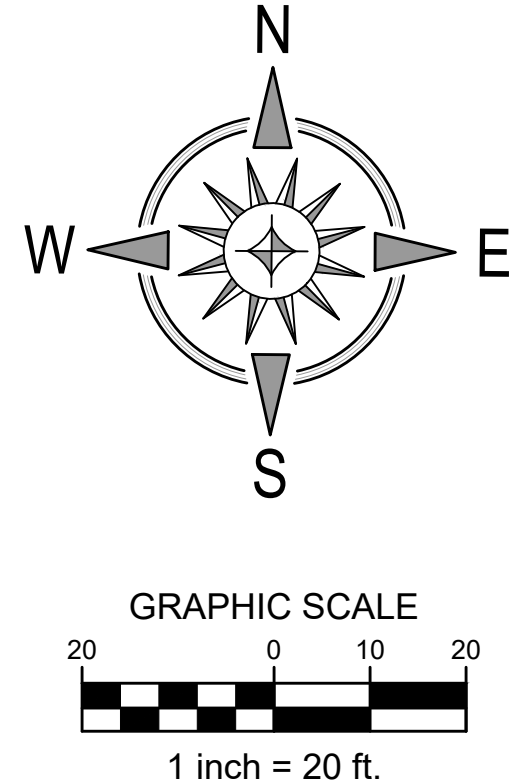
- See Fire 1 Plan, sheet C-2.1 for Fire Marshal's Office Hydrant and fire Access approval
- See Site Plan, sheet C-2.2 for detailed site installations.
- See Grading and Drainage Plan, sheet C-3.0 for pavement slope details.
 - *Access Drive area slope range = 1.0%minimum to 6.0%maximum
 - *Parking area slope range = 1.0%minimum to 8.0%maximum
 - *Handicap Parking area slope range = 1.0%minimum to 2.0%maximum

All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter per the City of Albuquerque Standard Drawing No. 2415 and No. 2430.

CLEAR SITE TRIANGLE NOTE:
Landscaping, signage, walls, fences, trees, and shrubbery between 3 feet and 8 feet tall (as measured from the gutter pan) are not allowed within the clear site triangle.

ACCESSIBLE PARKING SYMBOL & MARKING NOTES

A paved accessible parking space must include:
- The International Symbol for Accessibility conspicuously on the surface in a color that contrasts the pavement.
- The words "NO PARKING" painted on any access aisle adjacent to the parking space.
Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.



KEY
A = 7" PORTLAND CEMENT CONCRETE 3500 PSI, AIR ENTRAINED REINFORCED WITH #3 REBAR AT 24" O.C., EACH WAY
B = 8" SELECT FILL SUPPORT

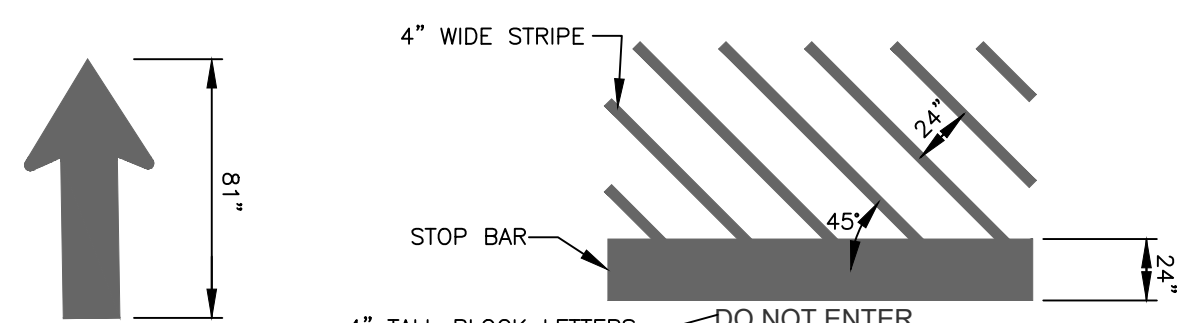
CONCRETE PAVEMENT SECTION - TRAFFIC -

NOT TO SCALE

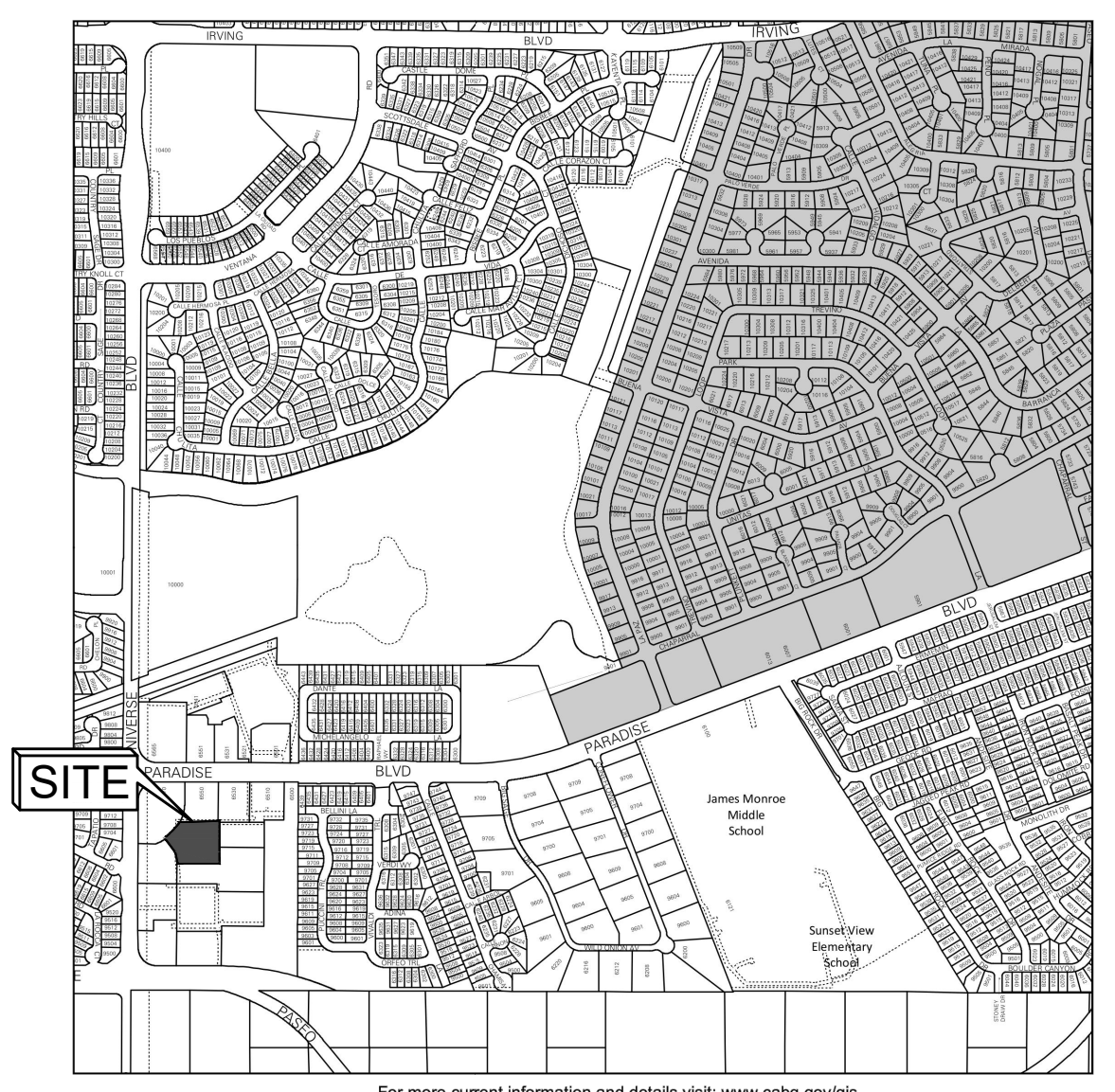
SEE PLAN FOR DIMENSIONS
6x6-10/10 WWM@12\"/>

CONCRETE DUMPSTER PAD PAVEMENT SECTION

NOT TO SCALE



NO PARKING



PROJECT SUMMARY

Project will include the demolition and removal of existing structures, vegetation, pavement, etc. as necessary to construct a new Champion Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the site.

PROPERTY INFORMATION

Address: 9640 Universe Blvd NW
Legal Description: Tract H-6A Ventana Square at Ventana Ranch
Area: 1.0111 acres
Zoning: Mixed Use - Moderate Intensity
Flood Zone Designation: FIRM # 35001C0103H, effective date: August 16, 2012
Zone "X": Areas determined to be outside the 0.2% annual chance floodplain.

SITE AND PAVEMENT LEGEND

- CONCRETE WHEEL STOP
- ADA PARKING SYMBOL
- PROPOSED LIGHT POLE
- DIRECTIONAL PARKING LOT ARROW
- ADA ACCESSIBLE PEDESTRIAN PATHWAY
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- TRUNCATED DOMES



Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
9640 UNIVERSE BLVD NW
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 21.226
Draw: MCM	Dwg: 21-226.dwg
Check: RJM	Tab: C2.0-TP
Scale: 1" = 20'	
Date: 05.05.2022	

Sheet:
TRAFFIC CIRCULATION LAYOUT PLAN

Sheet No.:
C-2.0

May 5, 2022
City of Albuquerque
Attn: Nilo Salgado-Fernandez
PO Box 1293
Albuquerque, NM 87103

RE: Champion Xpress Car Wash – Traffic Circulation Review

Below are my responses to the Traffic Circulation Review dated April 18, 2022.

1. The referenced infrastructure is the responsibility of the owner of Tract H-7A, and will be installed with the development of said lot.
 2. The plans have been coordinated with “Dominic” from Zoning per email you have been copied on.
 3.
 - The proposed curbing along the existing access roads have been labeled.
 - There are no back to back ramps on site. There are only (3) ramps proposed and all three are depicted in the “ADA Accessible Ramp Details”. The (3) ramp locations are labels as “Ramp” and all other sidewalk areas where truncated domes are present are flush with the pavement and labeled as “+Flush+”.
 - All pavement within the 15’ Private Access Easement & 12.5’ Private Access Easement is existing and will remain in tack throughout the development of this site. Notes have been changed to indicate existing features by inserting “Ex.” In front of the site note.
 - The ramp details on Sheet 5.0 have been moved to the Traffic Circulation Plan and Sheet 5.0 has been deleted. Truncated domes are depicted in the details “ADA Accessible Ramp Details”.
 4. The “NO PARKING” detail has been added to the plans (Top Right) and is dimensioned out per requirements. The Note “Accessible Parking Symbol & Marking Notes” located at the bottom of the Plan also reflects the language depicted in the comment.
 5. The pathway from the ADA parking stalls to the building entrances are all flush with no need for ramps. The Sidewalk pavement and the entire ADA parking area is all flush as noted in the plans “+ADA AREA FLUSH+”. This was designed to make the ADA pathway easier to traverse for ADA patrons, eliminating the need for ramps leading up to the sidewalk.
-
1. Please see attached Traffic Circulation Layout.
 2. Please see attached Transportation Information Sheet.
 3. An electronic copy of this submittal has been sent to the PLNDRS@cabq.gov email.
 4. Please provide additional information for payment of \$75.00 fee.

Please let me know if you have any questions regarding the above responses.

Sincerely,
Mitchell Monnin, E.I.T.
Graduate Engineer