

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 30, 2023

Ryan J. Morrissey, P.E.
Burkhardt Engineering
28 north Cherry St.
Germantown, OH 45327

Re: Champion Xpress Car Wash
9640 Universe Blvd. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 06-01-22 (B10-D003J)
Certification dated 05-11-23

Dear Mr. Morrissey,

Based upon the information provided in your submittal received 05-15-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per approved plans, Sidewalk and connection to Universe on Tract H-7A must be completed and approved.
- Work order number 670982, must be completed and approved.
- Parking lot lines should be painted with white color only.

Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File



May 11, 2023

Planning Department – Transportation & Hydrology
City of Albuquerque
600 2nd Street NW, Suite 201
Albuquerque, NM 87102
925.965.4475

RE: Traffic Certification for Champion Xpress 9640 Universe Blvd (BP-2022-21260)

To whom it may concern,

I, Ryan Joseph Morrissey, NMPE 25323, of the firm Burkhardt Engineering Company, hereby certify that this project is in substantial compliance and in accordance with the design intent of the Traffic Circulation Layout Plan (TCL), dated 6/2/2022.

I further certify that I have personally reviewed photography and have determined by visual inspection that the survey data (obtained by Steven John Sandoval, NMPS 12351, of the Firm Construction Surveying Services) provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for a permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ryan J. Morrissey".

Ryan J. Morrissey, P.E.
Project Team Leader

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

June 2, 2022

Mitchell Monnin
Burkhardt Engineer Surveyors
28 North Cherry Street
Germantown, OH 45327

Re: **Champion Xpress Car Wash**
9640 Universe Blvd NW
Traffic Circulation Layout
Engineer's Stamp 06-01-2022 (B10-D003J)

Dear Mr. Monnin,

The TCL submittal received 06-01-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Condition of Final C.O. Approval:**

- Sidewalk and connection to Universe on Tract H-7A be completed/accepted/approved.
- Worker Order 670982 be completed/accepted/approved by City of Albuquerque.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

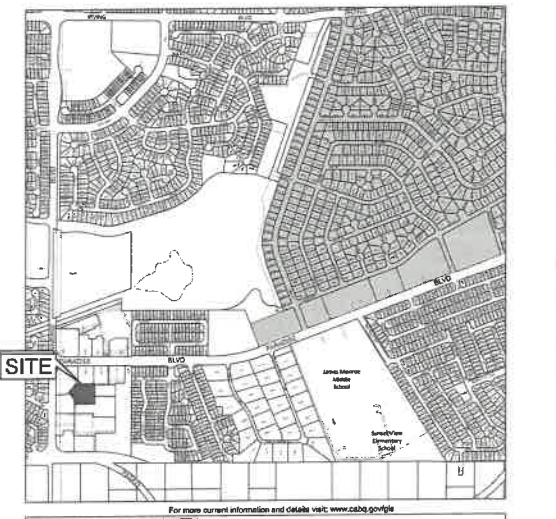
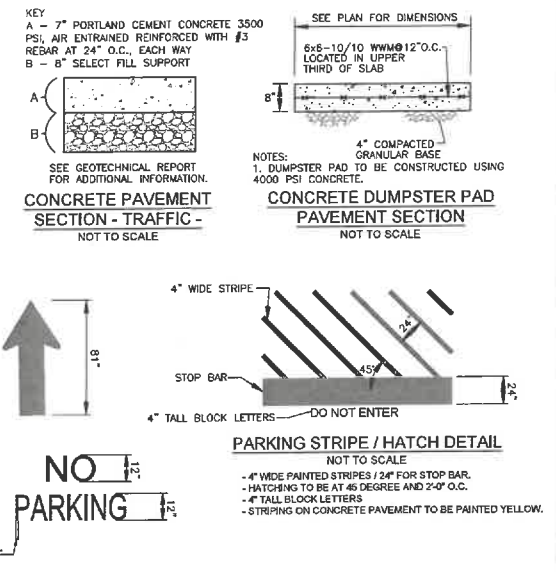
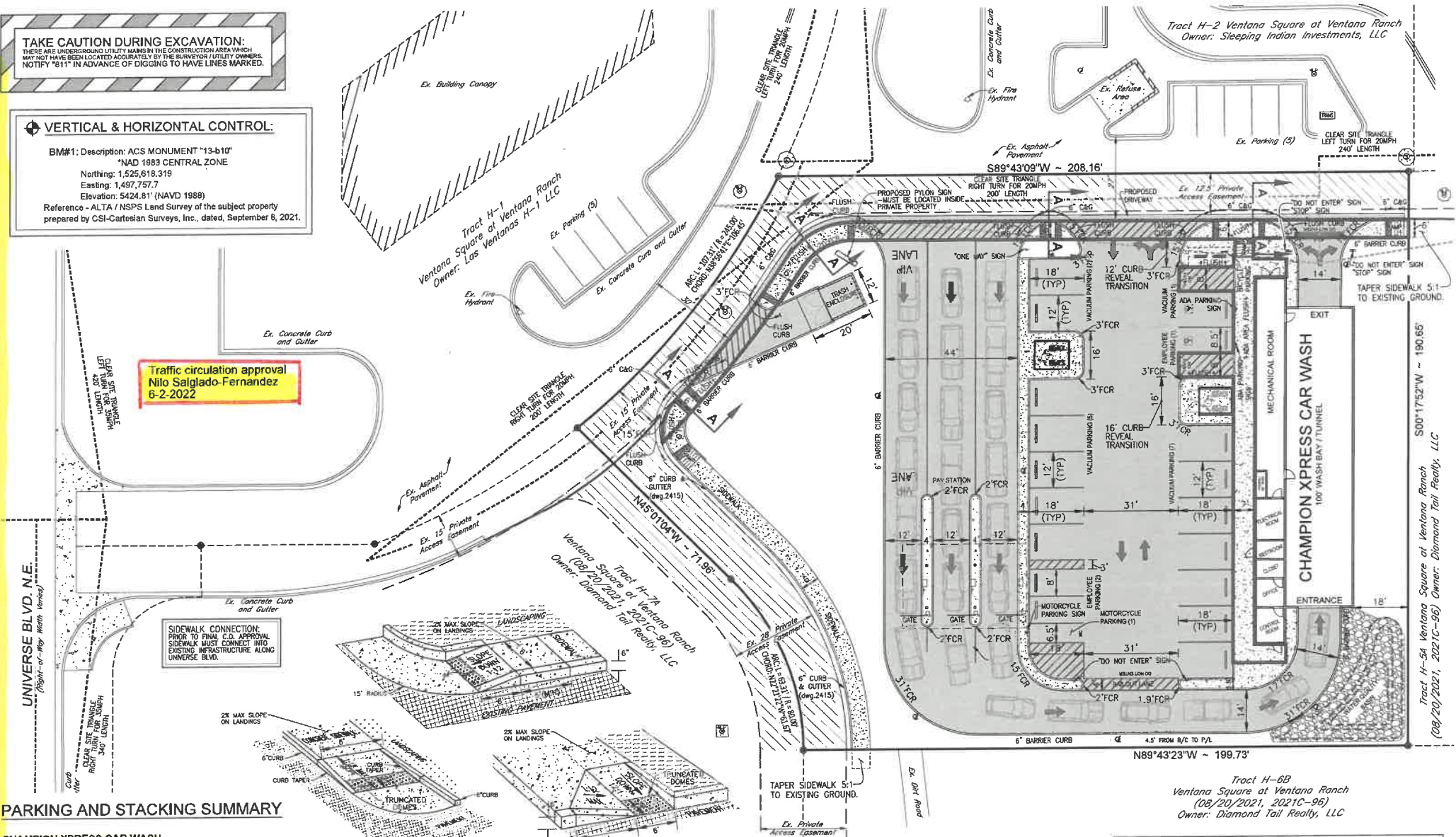
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development Review Services

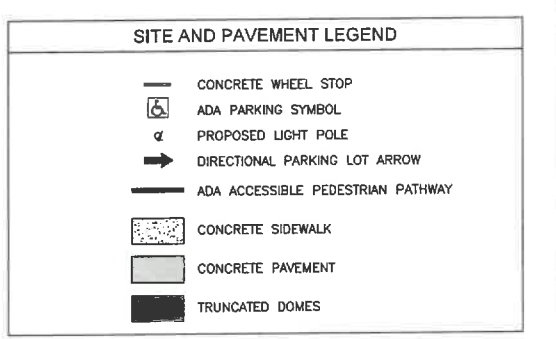
C: CO Clerk, File

CONDITION OF FINAL C.O.-
SIDEWALK CONNECTION TO UNIVERSE ON TRACT H-7A BE COMPLETED
ACCEPTED/ APPROVED
ORDER 670982: COMPLETED/ APPROVED BY COA ON ITEMS FRONTING
THIS TOL PROJECT



PROJECT SUMMARY
Project will include the demolition and removal of existing structures, vegetation, pavement, etc. as necessary to construct a new Champion Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the site.

PROPERTY INFORMATION
Address: 9640 Universe Blvd NW
Legal Description: Tract H-6A Ventana Square at Ventana Ranch
Area: 1.0111 acres
Zoning: Mixed Use - Moderate Intensity
Flood Zone Designation: FIRM # 35001C0103H, effective date: August 16, 2012
Zone "X": Areas determined to be outside the 0.2% annual chance floodplain.



PARKING AND STACKING SUMMARY

CHAMPION XPRESS CAR WASH
Building Area = 2,440 sq-ft (1,090 sq-ft of non-wash bay/mechanical room)
Wash Bay Stacking Provided: 27 vehicles
Vacuum Parking Provided: 15 spaces (18'x12')
Employee/Standard Parking Provided: 2 spaces (18'x9')
Motorcycle Parking Provided: 1 Space (18'x6.5')
Bicycle Parking Provided: 4 Spaces (2 Racks)
ADA Parking Provided: 1 Space (18'x8.5')
ADA Vacuum Parking Provided: 1 Space (18'x12')

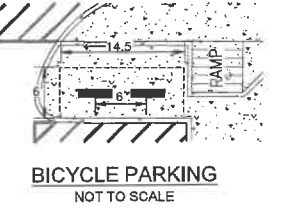
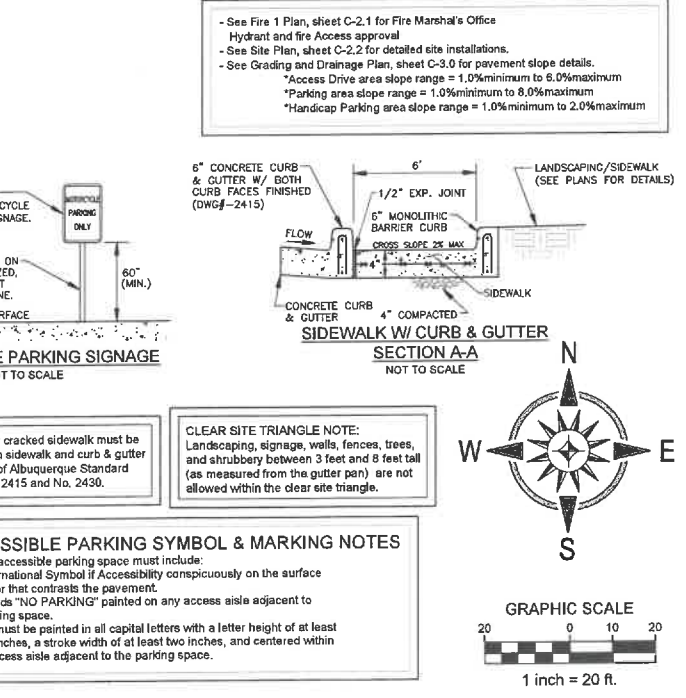
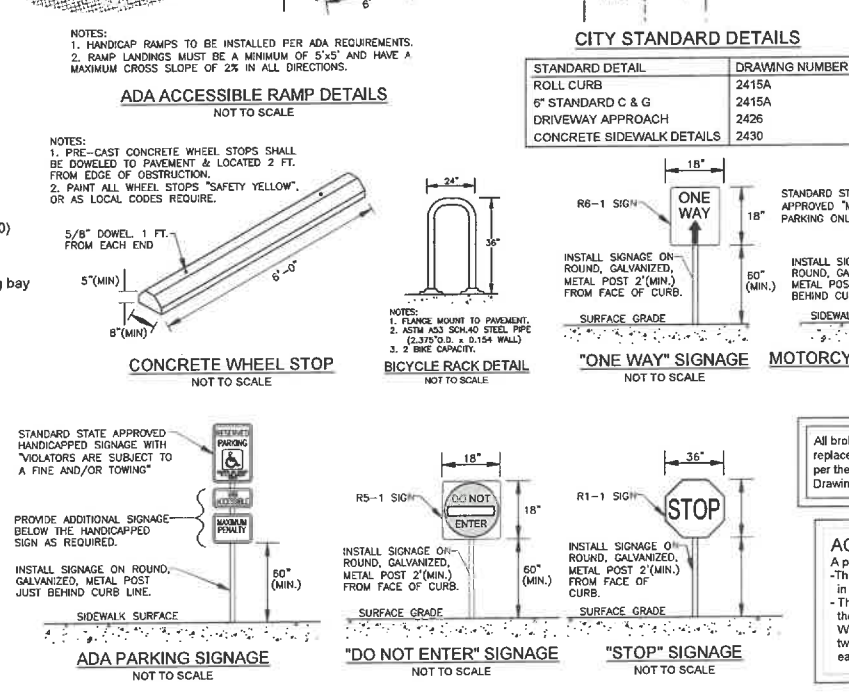
REQUIRED STANDARD PARKING = 2 Stalls
Use = Car Wash
2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area (1090 sq-ft / 1000) per IDO Table 5-5-1: Off-street Parking Requirements

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay
Activity = Car Wash
per IDO Table 5-5-8: Required Stacking Spaces

REQUIRED MOTORCYCLE PARKING = 1 Space
per IDO Table 5-5-4: Motorcycle Parking Requirements

REQUIRED BICYCLE PARKING = 3 Spaces
per IDO Table 5-5-5: Bicycle Parking Requirements

REQUIRED ADA PARKING = 1 Space
per ADA Table 208.2: Minimum Number of Accessible Parking Spaces



Date	Description
05.16.22	Rev 1 - Revised per Traffic Comments.
05.20.22	Rev 2 - Revised per Traffic Comments.
05.25.22	Rev 3 - Revised per Traffic Comments.
06.01.22	Rev 4 - Revised per Traffic Comments.

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS
CHAMPION CAR WASH
9640 UNIVERSE BLVD NE
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 21.225
Draw: MCM	Dwg: 21-225.dwg
Check: RJM	Tab: C2.0-TP
Scale: 1" = 20'	
Date: 05.09.2022	
Sheet: TRAFFIC CIRCULATION LAYOUT PLAN	
Sheet No.: C-2.0	

B10-D003J