

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 25, 2023

Ryan Morrissey, P.E.
Burkhardt Engineering
28 North Cherry St.
Germantown, OH, 45327

**RE: Champion Xpress Car Wash
9640 Universe Blvd. NW
Permanent C.O. – Accepted
Engineer's Certification Date: 05/11/23
Engineer's Stamp Date: 05/05/22
Hydrology File: B10D003J**

Dear Mr. Morrissey:

PO Box 1293

Based on the Certification received 05/15/2023 and site visit on 05/15/2023, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Champion Xpress Car Wash **Building Permit #:** BP-2022-21260 **Hydrology File #:** B10D003J
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract H-6A Ventana Square at Ventana Ranch
City Address: 9640 Universe Blvd NE

Applicant: Burkhardt Engineering **Contact:** Mitchell Monnin
Address: 28 North Cherry Street Germantown, OH 45327
Phone#: 937-895-4486 **Fax#:** _____ **E-mail:** mmonnin@burkhardtinc.com

Other Contact: Modulus Architects **Contact:** Regina Okoye
Address: 100 Sun Ave. NE, suite 600, Albuquerque, NM 87109
Phone#: 505-267-7686 **Fax#:** _____ **E-mail:** rokoye@modulusarchitects.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: May 12, 2023 **By:** Mitchell Monnin

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

DRAINAGE CERTIFICATION

I, RYAN JOSEPH MORRISSEY, NMPE 25323, OF THE FIRM BURKHARDT ENGINEERING COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/5/2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY STEVEN JOHN SANDOVAL, MAPS 12261, OF THE FIRM CONSTRUCTION SURVEYING SERVICES.

I FURTHER CERTIFY THAT I HAVE PERSONALLY REVIEWED PHOTOGRAPHY AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT.

THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



UNIVERSE BLVD. N.W.
(Right-of-Way Width Varies)

PLANNING AND ZONING REQUIREMENTS
Reference: City of Albuquerque Integrated Development Code
Zone: "MX-M" Mixed Use - Medium Intensity Zone District
Proposed Use: Car Wash

Building Setbacks
Front: 5 ft. (min.)
Side, Interior: 0 ft. (min.)
Side, Street: 5 ft. (min.)
Rear: 15 ft. (min.)

PERMITTING CONTACT INFORMATION:
PLANNING / ZONING / BUILDING
City of Albuquerque - Planning Department
Contact: Brennon Williams
Telephone: 505.924.3860
Email: bnwilliams@cabq.gov

ROADS, ACCESS, & RIGHT-OF-WAY
City of Albuquerque - Traffic Department
Contact: MARWA AL NAJJAR
Telephone: 505.924.3675
Email: malnajar@cabq.gov

UTILITY CONTACT INFORMATION:
SANITARY SEWER / WATER
Albuquerque Bernalillo County Water Utility Authority
Contact: Robert Strong
Telephone: 505.261.4429
Email: rstrong@abcwua.org

STORM SEWER
City of Albuquerque - Planning Hydrology Department
Contact: Renee Brissette
Telephone: 505.924.3995
Email: rbrissett@cabq.gov

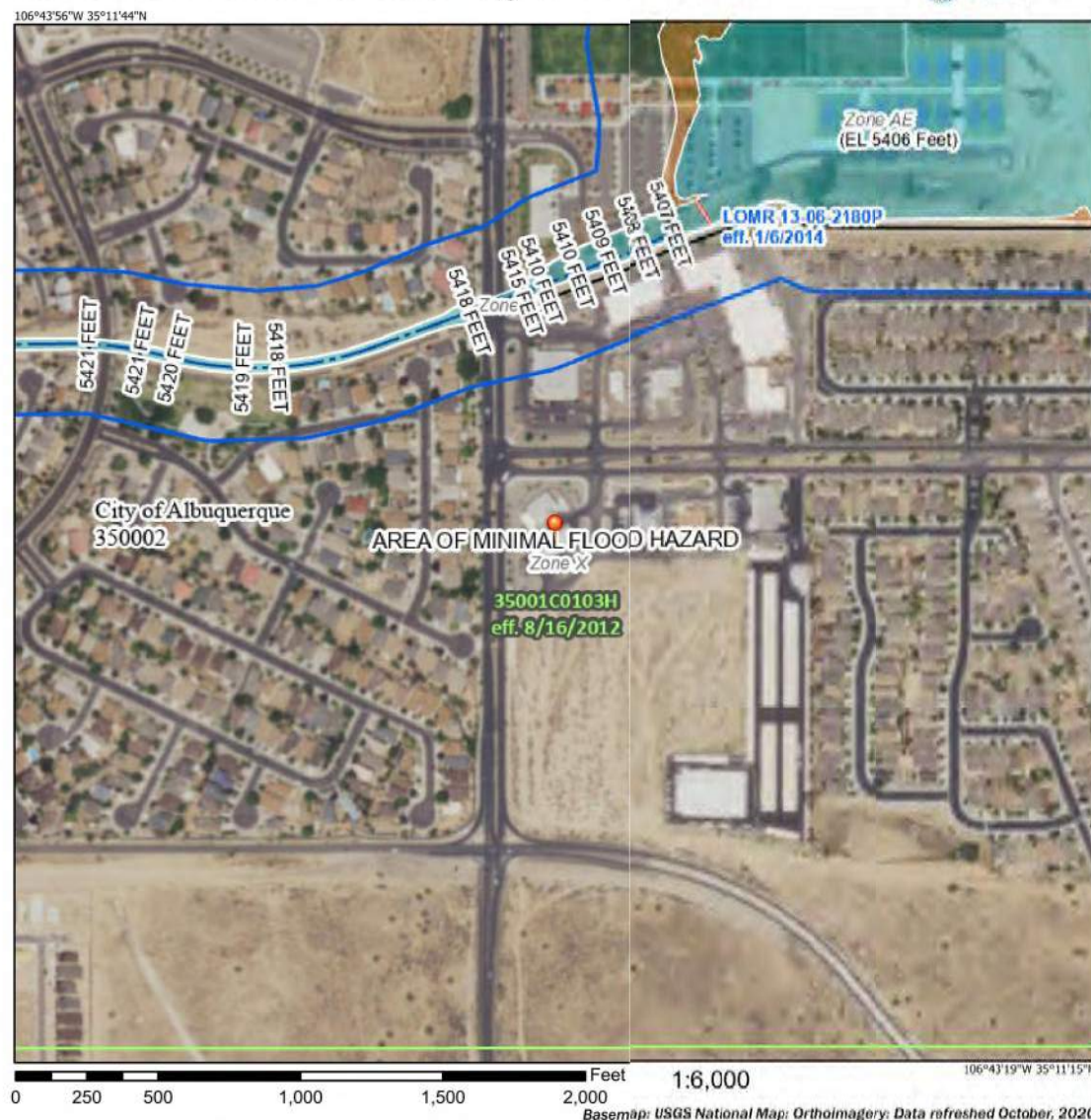
GAS
New Mexico Gas Company
Contact: Jacob Gallegos
Telephone: 505.697.3120
Email: Jacob.Gallegos@nmgco.com

ELECTRIC
PNM (Public Service Company of New Mexico)
Contact: Chase LeJeune
Telephone: 505-362-4180
Email: Chase.LeJeune2@pnm.com

TELECOM
CenturyLink
Contact: Customer Service
Telephone: 865.465.2313

TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY MAINS IN THE CONSTRUCTION AREA WHICH MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR / UTILITY OWNERS. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

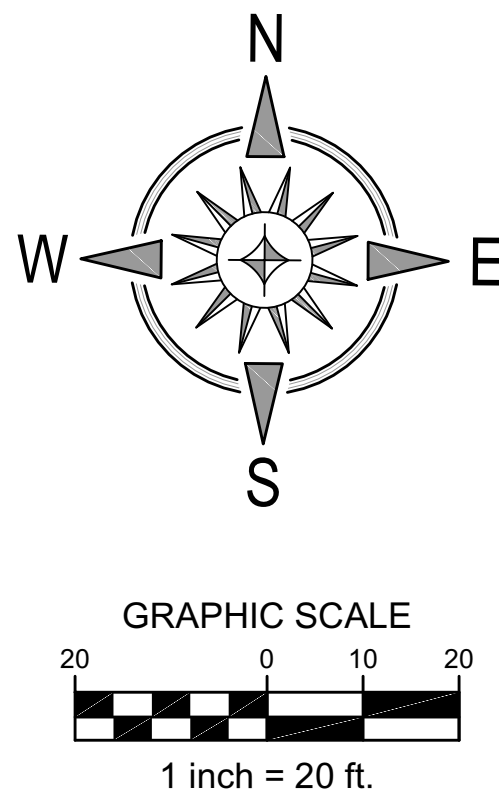
National Flood Hazard Layer FIRMette



VERTICAL & HORIZONTAL CONTROL:

BM#1: Description: ACS MONUMENT "13-b10"
"NAD 1983 CENTRAL ZONE"
Northing: 1,525,618.319
Easting: 1,497,757.7
Elevation: 5424.81' (NAVD 1988)
Reference - ALTA / NSPS Land Survey of the subject property prepared by CSI-Cartesian Surveys, Inc., dated, September 8, 2021.

WORK WITHIN PUBLIC RIGHT-OF-WAY
REQUIRES DRC-APPROVED PLANS.

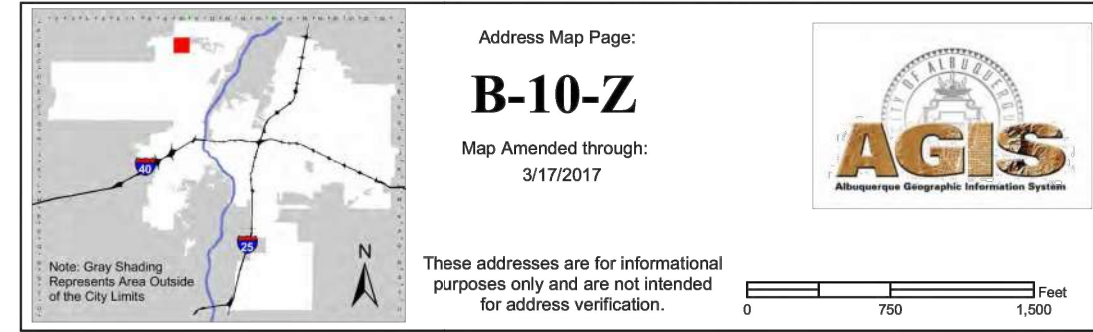


PROJECT SUMMARY
Project will include the demolition and removal of existing structures, vegetation, pavement, etc. as necessary to construct a new Champion Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the site.

PROPERTY INFORMATION
Address: 9640 Universe Blvd NW
Legal Description: Tract H-6A Ventana Square at Ventana Ranch
Area: 1.0111 acres
Zoning: Mixed Use - Moderate Intensity
Flood Zone Designation: FIRM # 35001C0103H, effective date: August 16, 2012
Zone "X": Areas determined to be outside the 0.2% annual chance floodplain.

GRADING LEGEND

M/E	MATCH EXISTING PAVEMENT GRADE
E/P	EDGE-OF-PAVEMENT (NO CURB)
S/W	SIDEWALK PAVEMENT
T/C	TOP-OF-CURB
P/V	CONCRETE PAVEMENT
F/V	FINISHED FLOOR GRADE
←	SHEET FLOW
+00.00	PROP. SPOT ELEVATION
-0000	PROP. CONTOUR
[Pattern]	LANDSCAPE AREA
[Pattern]	ROCK LINER / RIP-RAP



Proposed stormwater drainage plan for 9640 Universe Square Basin Map & Access Road Grading Plan, Plans approved by City of Albuquerque dated September 25, 2021.



SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
9640 UNIVERSE BLVD NW
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 21.226
Draw: MCM	Dwg: 21-226.dwg
Check: RJM	Tab: C3.0-GP
Scale: 1" = 20'	
Date: 05.05.2022	
Sheet:	

GRADING PLAN

Sheet No.:

C-3.0

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Email: rstrong@abcwua.org

STORM SEWER
City of Albuquerque - Planning Hydrology Department
Contact: Renee Brissette
Telephone: 505.924.3995
Email: rbrissett@cabq.gov

GAS
New Mexico Gas Company
Contact: Jacob Gallegos
Telephone: 505.697.3120
Email: Jacob.Gallegos@nmgeo.com

ELECTRIC
PNM (Public Service Company of New Mexico)
Contact: Chase LeJeune
Telephone: 505-362-4180
Email: Chase.LeJeune2@pnm.com

TELECOM
CenturyLink
Contact: Customer Service
Telephone: 865.465.2313

TOTAL DISTURBED AREA
0.86 ± acres

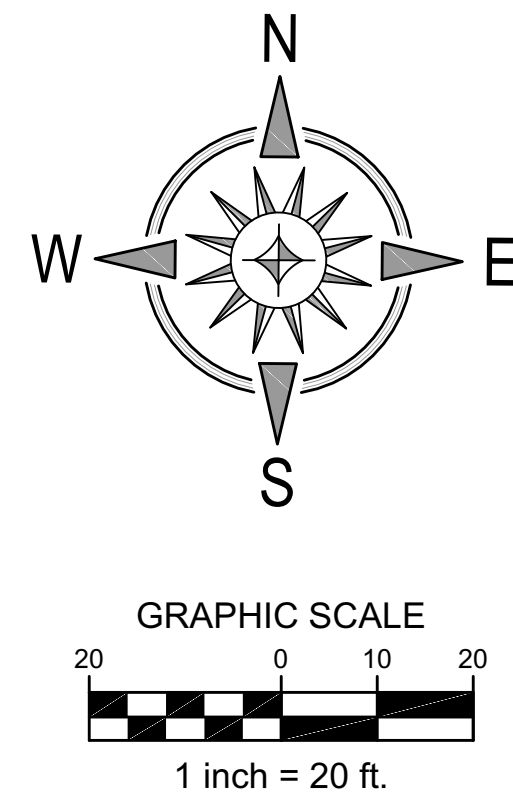
Basin Storage Volume (As-Built):				
Elevation (ft)	Contour Area (sq-ft)	Surface Vol. (cu-ft)	Stone Vol. (cu-ft)	Volume (cu-ft)
5423.00	0	0	0	0
5424.00	135	0	54	54
5425.00	435	285	174	459
5426.00	684	845	273	1,118

*Average End Area Method used to calculate storage volumes.
*Stone Storage at Elevation = 12" (depth) x 40% void space.
*Provided Volume exceeds Required Volume.

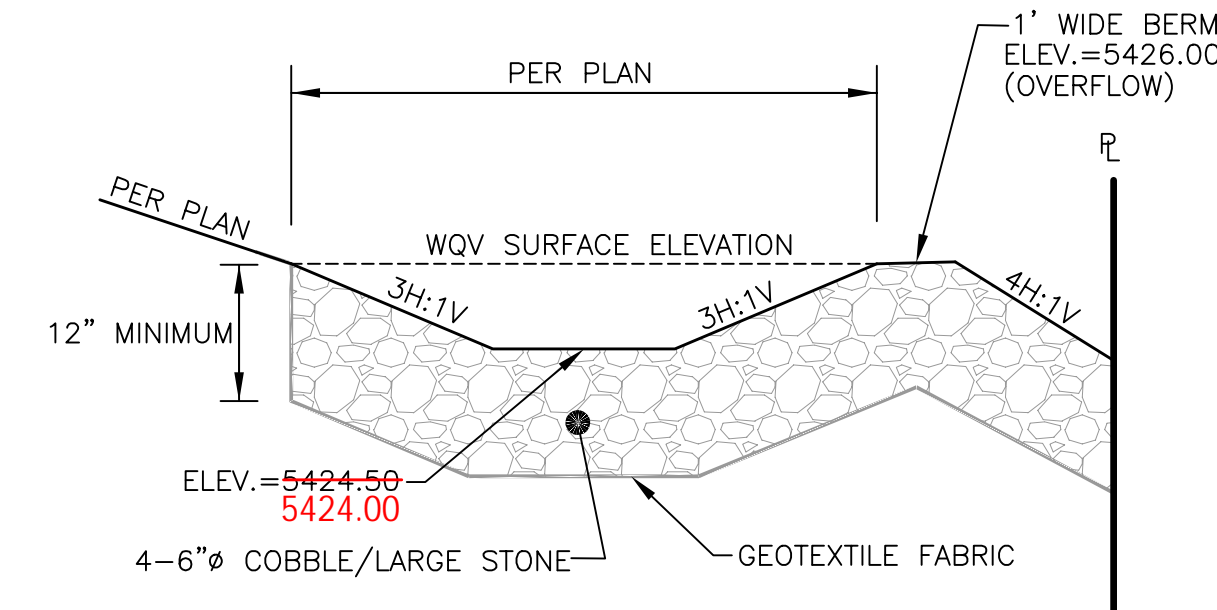


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REQUIRES DRC-APPROVED PLANS.



GRADING LEGEND	
M/E	MATCH EXISTING PAVEMENT GRADE
S/W	SIDEWALK PAVEMENT
T/C	TOP-OF-CURB
P/V	CONCRETE PAVEMENT
F/V	FINISHED FLOOR GRADE
←	SHEET FLOW
+00.00 (+5,400)	PROP. SPOT ELEVATION
0000	PROP. CONTOUR
[Pattern]	LANDSCAPE AREA
[Pattern]	ROCK LINER / RIP-RAP



NOTES:
1. GRADE OR EXCAVATE CROSS SECTION TO LINES AND GRADES SHOWN ON THE PLANS ACCORDING TO REQUIREMENTS IN THE GEOTECHNICAL REPORT.
2. PLACE RIPRAP PROTECTION TO THE THICKNESS, DEPTH, AND ELEVATIONS PER FINISHED GRADE.

SOUTHEAST WQV AREA SECTION
NOT TO SCALE

STORM WATER MANAGEMENT NOTES:
Existing Lot Coverage - 100% = 0.86 acres
Proposed Lot Coverage - 76% Impervious / 24% Landscaping

Existing Conditions Drainage Summary:
Area = 0.86 acres
Treatment C (Desert Landscaping Area) - 100% = 0.86 acres
Total Q = (0.86 x 2.87) = 2.47
Existing 100-year peak Discharge Rate = 2.47 cfs/acre (Table 6.2.14)

*Existing and allowable values are per approved overall Master Drainage Plan for Ventana Square Subdivision by Thompson Engineering dated 12/23/20.

Methodology:
Albuquerque Development Process Manual
Chapter 6, Section 2, Part A;
"A simplified procedure for projects with sub-basins smaller than 40 acres has been developed based on initial abstraction / uniform infiltration precipitation losses and Rational procedures."

Precipitation Zone:
Precipitation Zone 1: "West of the Rio Grande"

Proposed Drainage Summary:
Area = 0.86 acres
Treatment C (Desert Landscaping Area) - 24% = 0.21 acres
Treatment D (Impervious Area) - 76% = 0.65 acres
Total Q = (0.21 x 2.87) + (0.65 x 4.12) = 3.28
Proposed 100-year peak Discharge Rate = 3.28 cfs/acre (Table 6.2.14)

Q₁₀₀ = 3.28 cfs (Proposed)
Q₁₀₀ = 3.51 cfs (Allowable)
Q₁₀₀ = 2.47 cfs (Existing 100-year Discharge Rate)

Storm Water Quality Volume (WQv) = Impervious Area x 0.42 inches

Area = 0.605 acres (Tributary Area to Basin)
Treatment D (Impervious Area) = 0.55 acres = 23,958 sf
WQV = (23,958 sf x (0.42"/12")) = 838 cu-ft

WQv = 839 cu-ft (Required)
WQv = 1,118 cu-ft (Provided)



Know what's below.
Call before you dig.

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CHAMPION XPRESS CAR WASH
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CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



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Sheet:
GRADING & DRAINAGE NOTES AND DETAILS

Sheet No.:

C-3.1