

EASEMENT

BOARD OF EDUCATION OF THE CITY OF

This grant of Easement, between ALBUQUERQUE, NEW MEXICO
("Grantor"), whose address is 725 UNIVERSITY S.E.
87125, and NEW MEXICO UTILITIES, INC., a New
Mexico Corporation, ("NMUI"), whose address is 4700 Irving Blvd.,
N.W., Suite 201, Albuquerque, New Mexico 87114, is made in
Albuquerque, Bernalillo County, New Mexico and is entered into as
of the date Grantor signs this Easement.

1. Recital. Grantor is the owner of certain real property
located at TOWN OF ALAMEDA GRANT WITHIN SECTION 14 in Bernalillo
County, New Mexico (the "Property"). *10, T11N, R2E. NMPM

2. Grant of Easement. The Grantor grants to NMUI a
permanent easement ("Easement") in, over, upon and across the
Property for WATERLINE. The Easement is more
particularly described in the attached Exhibits "A" and "B".

The grant of Easement includes the right of NMUI to enter upon
the Easement at any time for inspection, installation,
maintenance, repair or modification and the right to remove
trees, bushes, undergrowth and any other obstacles if NMUI
determines they interfere with the appropriate use of the
Easement. This grant prohibits the erection or placement of any
structures within the Easement area without NMUI's prior written
consent. This grant includes the right of access to the easement
across the Grantor's adjoining property.

Grantor agrees for itself and its successors in interest that it
has been paid in valuable consideration and that the grant of
this Easement is not a gift or donation.

3. Warranty. Grantor covenants and warrants that it is the
owner in fee simple of the Property and that it has a good lawful
right to convey the Property or any part thereof, that the
Property is free from all encumbrances except encumbrances of
record and taxes due and owing the Treasurer of Bernalillo
County, and that the Grantor will forever warrant and defend the
title to the Property against all claims from all persons or
entities.

4. Binding on Grantor's Property. The grant and other
provisions of this Easement constitute running with the land for
the benefit of NMUI and its successors and assigns until
terminated.



Mary Herrera

Bern. Co. ERSE

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5. Form Not Changed. Grantor agrees that changes to this form are not binding upon NMUI unless initialed by the Grantor and approved and signed by an officer of NMUI in writing on this form.

NEW MEXICO UTILITIES, INC.

GRANTOR: BOARD OF EDUCATION OF THE
CITY OF ALBUQUERQUE, NEW MEXICO

Approved:

By:

Robert L. Swartwout

Title: President

Dated: 3/30/01

By:

Leonard J. Delayo
Title: President, Board of Education

Dated: March 7, 2001

STATE OF NEW MEXICO)

) ss.

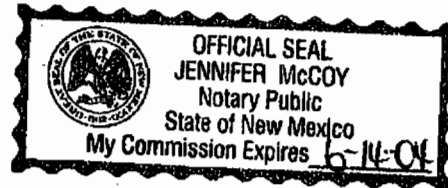
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on March 30 2001 12:00 P.M.
01, by R. L. Swartwout, President of NEW MEXICO UTILITIES,
INC., a New Mexico Corporation.

Jennifer McCoy
Notary Public

My Commission expires:

6-14-04



STATE OF NEW MEXICO)

) ss.

COUNTY OF BERNALILLO)

This instrument was acknowledged before on March 7, 2001 12:00
PM, by Leonard J. Delayo, Jr., Board of Education President

Vicki E. Marlow
Notary Public

My Commission expires:

September 12, 2002



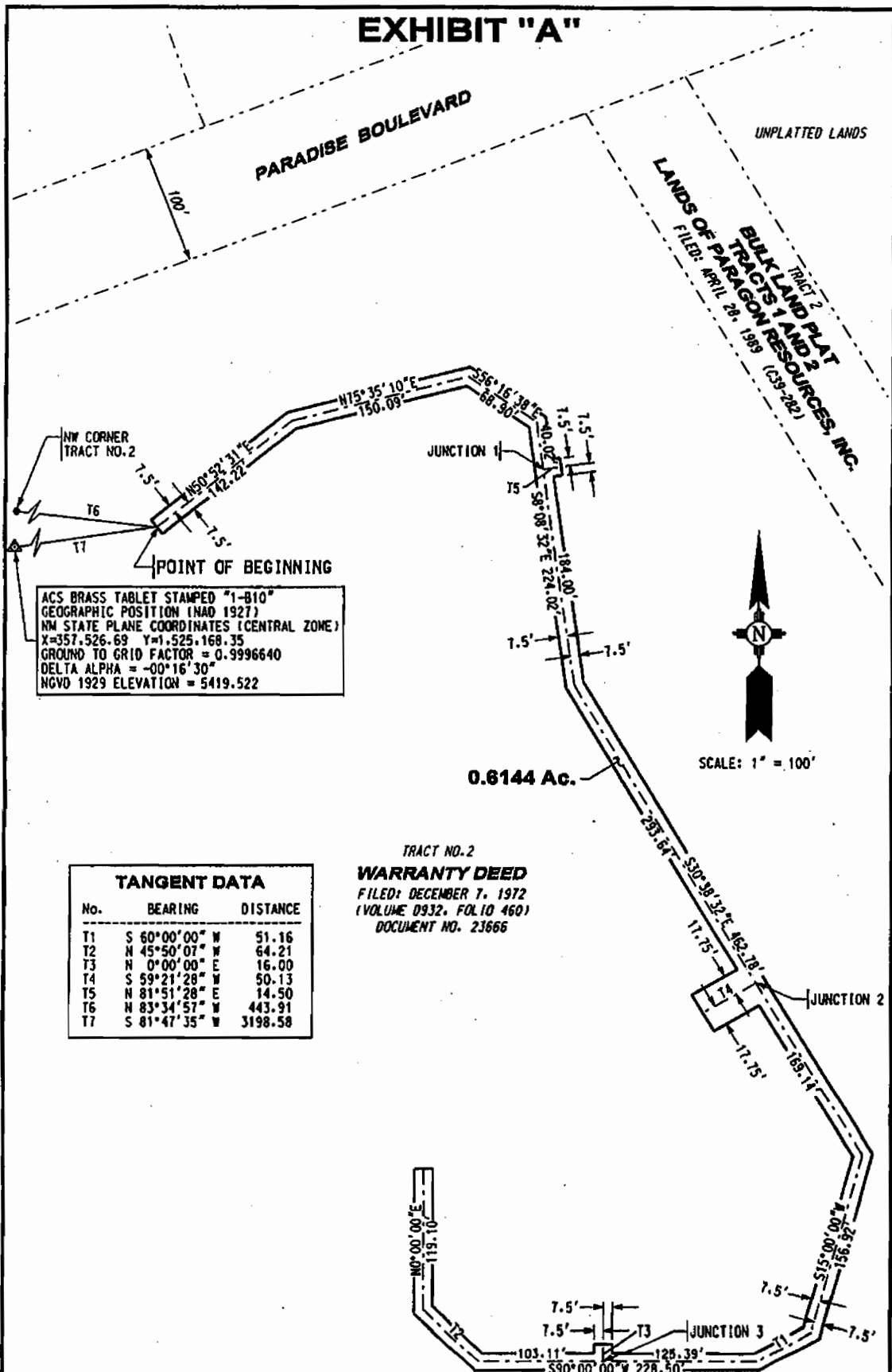
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EXHIBIT "A"



TANGENT DATA

No.	BEARING	DISTANCE
T1	S 60°00'00" W	51.16
T2	N 45°50'07" W	64.21
T3	N 0°00'00" E	16.00
T4	S 59°21'28" W	50.13
T5	N 81°51'28" E	14.50
T6	N 83°34'57" W	443.91
T7	S 81°47'35" W	3198.58

TRACT NO. 2
WARRANTY DEED
FILED: DECEMBER 7, 1972
(VOLUME 0932, FOX 10 460)
DOCUMENT NO. 23666

Bohannon & Huston

SHEET 1 OF 2

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99491E\BHA.DGN

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109



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WATER

EXHIBIT "A"

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Section 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being fifteen (15) feet in width and being a northerly portion of Tract No. 2, as the same is shown and designated on the Warranty Deed recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 7, 1972 in Volume D932, Folio 460 as Document No. 23666 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

Said tract being fifteen (15) feet wide being seven and one-half (7-1/2) feet on each side of the following described centerline: BEGINNING at the most westerly corner of the centerline herein described, whence the northwest corner of said Tract No. 2 bears N83°34'57"W, a distance of 443.91 feet and whence the Albuquerque City Survey (ACS) monument "1-B10", a brass tablet set in concrete, having New Mexico State Plane Grid Coordinates Central Zone (NAD 1927) of X=357,526.69 and Y=1,525,168.35 bears S81°47'35"W, a distance of 3198.58 feet and from said point of beginning running thence,

N50°52'31"E, a distance of 142.22 feet to a point; thence,
N75°35'10"E, a distance of 150.09 feet to a point; thence,
S56°16'38"E, a distance of 68.90 feet to a point; thence,
S08°08'32"E, a distance of 40.02 feet to Junction point number one (1); thence,
S08°08'32"E, a distance of 184.00 feet to a point; thence,
S30°38'32"E, a distance of 293.64 feet to Junction point number two (2); thence,
S30°38'32"E, a distance of 169.14 feet to a point; thence,
S15°00'00"W, a distance of 156.92 feet to a point; thence,
S60°00'00"W, a distance of 51.16 feet to a point; thence,
S90°00'00"W, a distance of 125.39 feet to Junction point number three (3); thence,
S90°00'00"W, a distance of 103.11 feet to a point; thence,
N45°50'07"W, a distance of 64.21 feet to a point; thence,
N00°00'00"E, a distance of 119.10 feet to the terminus of the centerline herein described.

Also beginning at said Junction point number one (1) running thence
N81°51'28"E, a distance of 14.50 feet, being fifteen (15) feet wide and 7.50 left and right of said centerline.

Also beginning at said Junction point number two (2), running thence
S59°21'28"W, a distance of 50.13 feet, (being thirty-five and one-half (35-1/2) feet wide, and 17.75 feet left and right of said centerline).

Also beginning at said Junction point number three (3), running thence
N00°00'00"E, a distance of 16.00 feet, being fifteen (15) feet wide and 7.50 feet left and right of said centerline.

Tract contains 0.6144 acres, more or less.



A. Dwain Weaver

A. Dwain Weaver
N.M.P.S. No. 6544

FEB. 1, 2001

Date



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Bern. Co. ERSE

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Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

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99491EXHIBIT A.DGN

JOB No. 99491A1 01