

CITY OF ALBUQUERQUE



August 5, 2009

Jeffery L. Mulbery, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

**Re: APS Prototype Elementary School #2, 6100 Paradise Blvd. NW,
(B-10/D004A)**

Approval of Permanent Certificate of Occupancy,

Engineer's Stamp Dated: 4-17-09

Engineer's Certification Date: 8-03-09

PO Box 1295

Dear Mr. Mulbery,

Albuquerque

Based upon the information provided on 8/03/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

1. INSTALL GRADE 2" STEELWALK CULVERT PER CSA STD DMS 2236
2. INSTALL WALKWAY GRATES PER DETAIL 1, SHEET C-01.
3. INSTALL CONCRETE INLET/OUTLET PER DETAIL 2, SHEET C-01.
4. INSTALL SD PIPE, HOPE 18-INCH OR APPROVED EQUAL, SIZES PER PLANS.
5. INSTALL CONCRETE HEADWALL PER DETAIL 3, SHEET C-01.
6. INSTALL CURB OPENING PER DETAIL 3, SHEET C-01.
7. INSTALL SINKLE 24" STEELWALK CULVERT PER CSA STD DMS 2236
8. INSTALL PER 60#/60X60, BLANKET PER DETAIL 3, SHEET C-01, SIZE PER PLANS.
9. INSTALL PER 60#/60X60, SNAKE PER DETAIL 6, SHEET C-01, SIZE PER PLANS.
10. INSTALL ROOF DRAIN AND/OR CONCRETE RANDOM PER ARCHITECTURAL PLANS
11. MATCH EXISTING.
12. INSTALL 24" STORM DRAIN PER (18"X24" OR APPROVED EQUAL) 4" PERFORATED RATED GRADE. SEE DETAIL 7, SHEET C-01.
13. INSTALL CURB OPENING EVERY 20' O.C. IN LANDSCAPE ISLAND CURBS FOR DRAINAGE.
14. INSTALL 24" INVERTASIT (OR APPROVED EQUAL) STORM BASIN INLET STRUCTURE. GRAVE SHALL BE STANDARD (H=25 LANDING).
15. INSTALL ONE END SECTION (CONCRETE OR APPROVED EQUAL), SEE PLANS FOR SECS.
16. INSTALL DOUBLE 24" INVERTASIT (OR APPROVED EQUAL) STORM BASIN INLET STRUCTURE. GRAVE SHALL BE STANDARD (H=25 LANDING)
17. INSTALL PRE-CASTED DRAINAGE FITTING.
18. INSTALL 5' CURB OPENING (PER PLAY AREA ACCESSIBILITY). SEE ARCH PLANS FOR DETAILS.
19. INSTALL STORMDRAIN TO WITHIN 5' OF THE BUILDING. SEE MECHANICAL PLANS FOR CONSTRUCTION.
20. DRAINAGE STORM DRAIN AND RANDOM CURB.
22. INSTALL WATERPROOF PRE-CASTED DRAINAGE FITTING.

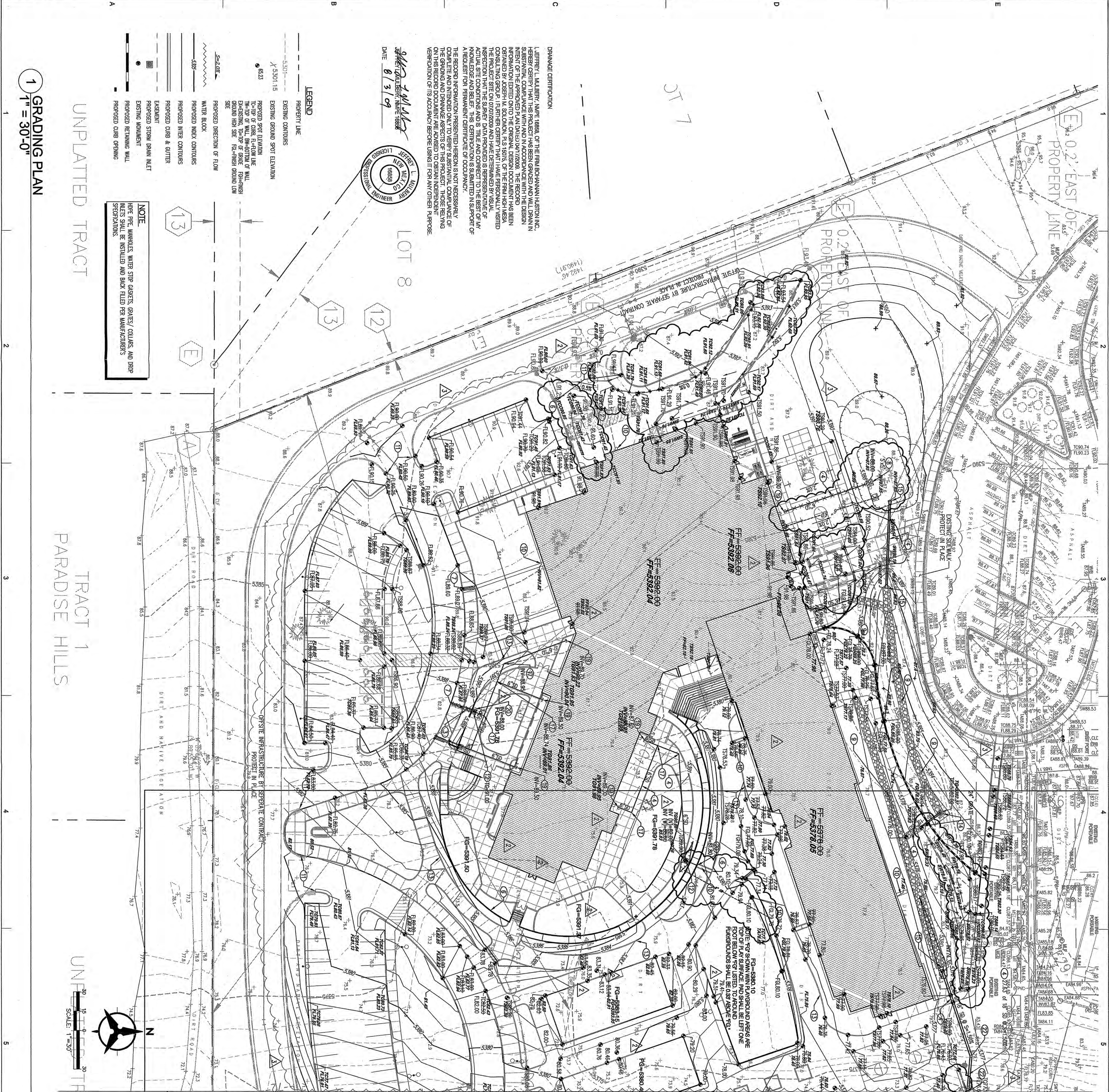
CONCRETE FOR ALL VALLEY GUTTERS WILL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 24 HOURS.

HOPE PIPE, MANHOLES, WATER STOP GASKETS, GRATES/ COLLARS, AND DROP
INNETS SHALL BE INSTALLED AND BACK FILLED PER MANUFACTURERS
SPECIFICATIONS

[illegible]

Bohannon  **Huston**
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING ▴ SPATIAL DATA ▴ ADVANCED TECHNOLOGIES

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ENGINEERING ▴ SPATIAL DATA ▴ ADVANCED TECHNOLOGIES



- GENERAL NOTES**
1. ALL WORK DETAIL ON THESE PLANS AND PERTAINING LINES THE CONTRACTOR SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
 2. THE CONTRACTOR SHALL ADHERE BY ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE AND TO ALSO INCLUDE ALL FUTURE DIST.
 3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES, INCLUDING ALL UNDERGROUND UTILITIES, SHOWN ON THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNERS OF ANY UTILITIES TO BE EXCAVATED WITH A MINIMUM LEAD TIME OF 10 BUSINESS DAYS PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS FOR LOCATION OF EXISTING UTILITIES.
 4. ALL EXISTING UTILITIES, INCLUDING CABLE TV, GAS AND OTHER UTILITY LINES, CHAINS AND APPROPRIATELY DOCUMENTED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE RELOCATED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL NECESSARY UTILITY RELOCATIONS. NO ADDITIONAL CONSTRUCTION SHALL BE ALLOWED FOR RELOCATION OF EXISTING UTILITIES UNLESS THE CONTRACTOR CAN PROVIDE A WRITTEN GUARANTEE TO THE CITY OF ALBUQUERQUE THAT THE RELOCATION WILL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 5. THE CONTRACTOR'S RESPONSIBILITY FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA, ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND FURNISHED BY THE CONTRACTOR'S DESIGNER.
 6. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRAINAGES OR RELOCATED UTILITY LINES. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 10. ALL PROPERTY CORNERS, EXISTING DRAINAGE CONSTRUCTION SHALL BE RELOCATED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
 11. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 12. ALL EXISTING UTILITIES AND STRUCTURES SHALL BE RELOCATED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
 13. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 14. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- GRADING NOTES**
1. EXISTING AS SHOWN HEREIN. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
 3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SEE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION, AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (PAST PRESENT SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (CURRENT EDITION)).
 4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 5. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 6. THE CONTRACTOR IS TO REMAIN RESPONSIBLE FOR THE SET AND MAINTENANCE OF THE PROPERTY BOUNDARIES AND TO PROTECT IT FROM AND BETWEEN.
 7. A SPECIAL SET FOR ANY ALL EXISTING EXISTING MATERIAL, AND UNDEVELOPED MATERIAL, AND FOR A BROWN SITE CONTAINING EXISTING MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OWNER. ALL COSTS INCURRED IN OBTAINING A SPECIAL SET FOR HEREIN, OR BROWN SITE AND TO PROTECT IT FROM AND BETWEEN, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND NO SEPARATE RESUBMISSION OF PAYMENT SHALL BE MADE.
 8. PAVING AND ROADWAY GRADINGS SHALL BE +/- CUT FROM PAV. ELEVATIONS. PAV. ELEVATION SHALL BE +/- CUT FROM BUILDING PAV. ELEVATION.
 9. ALL PROPOSED CONTOURS EXCEPT TOP OF EXISTING ELEVATIONS IN THE PAVING AREA AND MUST BE ADJUSTED FOR WINDS AND ISLANDS.
 10. BEGIN ALL ELEVATIONS SHOWN ON PLAN FROM BASES OF EXISTING CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
 11. FINAL ELEVATIONS FOR PAVEMENT PROFILES FOR ALL EXISTING EXISTING BUILDING AREAS SHALL BE BASED ON CENTERED BENCHMARK SHALL BE SHOWN ON THE CONTRACT DOCUMENTS. THE ELEVATION OF THE TOP SURFACE OF THE BENCHMARK SHALL BE SHOWN ON THE CONTRACT DOCUMENTS. THE ELEVATION OF THE TOP SURFACE OF THE BENCHMARK SHALL BE SHOWN ON THE CONTRACT DOCUMENTS.
- KEYED NOTES**
1. INSTALL DOUBLE 24" SIDEWALK CURB PER COA STD DWG 2249
 2. INSTALL VALETT GUTTER PER DETAIL 1, SHEET C-101
 3. INSTALL CONCRETE RAINDOWN PER DETAIL 2, SHEET C-101, SIZE PER PLANS
 4. INSTALL 50 PER. PIPE, 18" DIA. OR APPROVED EQUAL, SIZES PER PLAN
 5. INSTALL CONCRETE HEADWALL PER DETAIL 4, SHEET C-101
 6. INSTALL CURB OPENING PER DETAIL 3, SHEET C-101
 7. INSTALL SINK 24" SIDEWALK CURB PER COA STD DWG 2249
 8. INSTALL R/R R/W BASIN BLANKET PER DETAIL 5, SHEET C-101, SIZE PER PLANS
 9. INSTALL R/R R/W BASIN BLANKET PER DETAIL 6, SHEET C-101, SIZE PER PLANS
 10. INSTALL R/R R/W BASIN BLANKET PER DETAIL 7, SHEET C-101, SIZE PER PLANS
 11. MATCH EXISTING
 12. INSTALL 24" STORM DRAIN INLET (W/OUTPOST OR APPROVED EQUAL) W/ PEDESTAL RATED GRATE. SEE DETAIL 1, SHEET C-101
 13. INSTALL CURB OPENINGS EVERY 20' O.C. IN LANDSCAPE ISLAND CURBS PER DRAINAGE
 14. INSTALL 24" W/OUTPOST (OR APPROVED EQUAL) STORM DRAIN INLET STRUCTURE. GRATE SHALL BE STANDARD (18" DIA. DRAINING)
 15. INSTALL C&P END SECTION (CONCRETE OR APPROVED EQUAL). SEE PLANS FOR SIZES.
 16. INSTALL DOUBLE 24" W/OUTPOST (OR APPROVED EQUAL) STORM DRAIN INLET STRUCTURE. GRATE SHALL BE STANDARD (18" DIA. DRAINING)
 17. INSTALL PREPARED DRAINAGE FITTING
 18. INSTALL 5" CURB OPENING (FOR PLAY AREA ACCESSIBILITY). SEE ARCH PLANS FOR DETAILS
 19. INSTALL STORMDRAIN TO WITHIN 5' OF THE BUILDING. SEE MECHANICAL PLANS FOR CONNECTION.
 20. DAYLIGHT STORMDRAIN THROUGH WALL INTO CONCRETE RAINDOWN.
 21. DAYLIGHT STORM DRAIN INTO RAINDOWN CURB.
 22. INSTALL WATERPROOF PREPARED DRAINAGE FITTING.

Van H. Gilbert Architect PC
ARCHITECTURE • INTERIORS • PLANNING

MGA

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MECHANICAL/ELECTRICAL
Buckley Mechanical
Albuquerque, NM
Phone: 505-583-4111

ALBUQUERQUE PUBLIC SCHOOLS

Prototype Elementary
School Bid Lot No. 2

ADDRESS
6100 PARADISE BLVD. NW
Albuquerque, NM

CONSTRUCTION ISSUE

APPS

GRADING & DRAINAGE PLAN

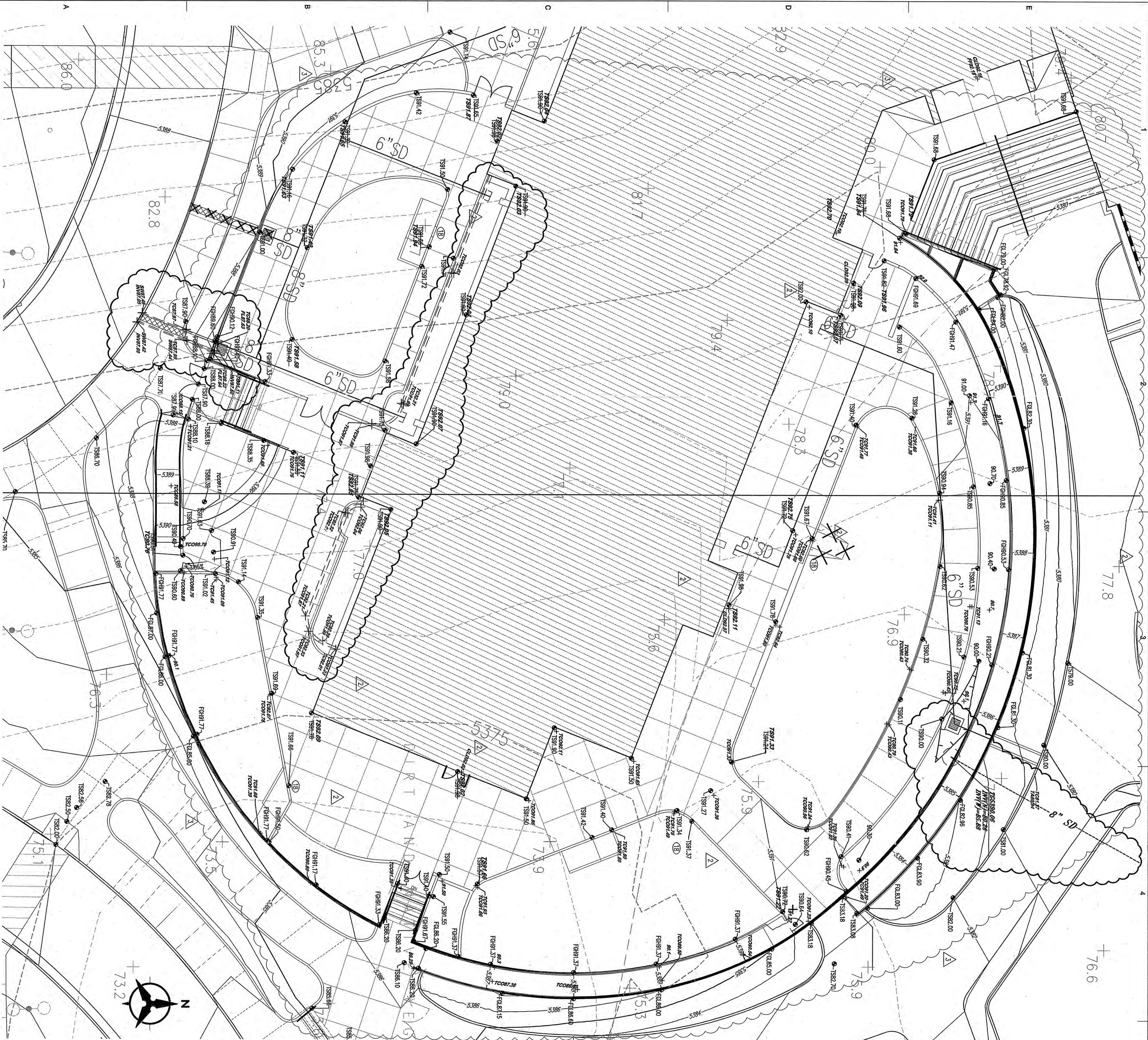
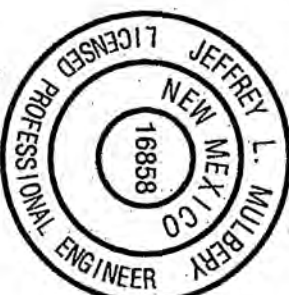
C-100 OF 1

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AUG 13 2008
HYDROLOGY SECTION

Bohannan Histon
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DATE October 19, 2007
PROJECT 66601
DRAWN BY JLM
CHECKED BY JLM
APPROVED BY VAN H. GILBERT ARCHITECT PC

1 GRADING PLAN
1" = 10'-0"

[illegible]

NOTE:
SEE SHEET C-101 FOR CONSTRUCTION KEYED NOTES

- ## ○ KEVED NOTES
1. INSTALL DOUBLE 24" SIDEWALK CULKERY PER COA. STD DWG 2236
 2. INSTALL WALL CULKER PER DETAIL 1, SHEET C01.
 3. INSTALL CONCRETE RANDOM PER DETAIL 2, SHEET C01. SEE PER PLANS.
 4. INSTALL SLO PIPE, HANG 14"X10" OR APPROX. EQUAL, SECS PER PLAN.
 5. INSTALL CONCRETE HANDWALL PER DETAIL 4, SHEET C01.
 6. INSTALL CORR OPENING PER DETAIL 5, SHEET C01.
 7. INSTALL SMOKE 24" SIDEWALK CULKERY PER COA. STD DWG 2236
 8. INSTALL PER RAY/BSALT BLANKET PER DETAIL 5, SHEET C01. SEE PER PLANS.
 9. INSTALL PER RAY/BSALT SMOKE PER DETAIL 6, SHEET C01. SEE PER PLANS.
 10. INSTALL ROOF DRAIN AND/OR CONCRETE RANDOM PER ARCHITECTURAL PLANS
 11. MATCH EXISTING.
 12. INSTALL 24" STORM DRAIN INLET (NYLOPLAST OR APPROVED EQUAL) W/ PEDESTAL RATED GRADE. SEE DETAIL 7, SHEET C-10.
 13. INSTALL ROOF OPENINGS EVERY 20' O.C. IN LANDSCAPE ISLAND CURBS PER DRAINAGE GRADE. SHALL BE STANDARD (4"-25' RANDOM).
 14. INSTALL 24" NYLOPLAST (OR APPROVED EQUAL) STORM BASIN INLET STRUCTURE. GRADE SHALL BE STANDARD (4"-25' RANDOM).
 15. INSTALL PAVE AND SECTION CONCRETE (OR APPROVED EQUAL) SEE PLANS FOR SIZES.
 16. INSTALL DOUBLE 24" NYLOPLAST (OR APPROVED EQUAL) STORM BASIN INLET STRUCTURE. GRADE SHALL BE STANDARD (4"-25' RANDOM)
 17. INSTALL PREPARED/PAVED DRAINAGE FITTING.
 18. INSTALL 5" CORR OPENING (FOR PLCA AREA ASSEMBLY). SEE ARCH PLANS FOR DETAILS.
 19. INSTALL STORMDRAIN TO WITHIN 5' OF THE BUILDING. SEE MECHANICAL PLANS FOR CONTINUATION.
 20. DAYLIGHT STORMDRAIN THROUGH WALL INTO CONCRETE RANDOM.
 21. DAYLIGHT STORM DRAIN INTO CONCRETE CASB.
 22. INSTALL WATERPROOF PREPARED/PAVED DRAINAGE FITTING.

NOTE: FOR EXISTING TOPOGRAPHIC INFORMATION,
PLEASE REFER TO ROUGH GRADING SHEETS
CR-101 THROUGH CR-105.

NOTE
HOPE PIPE, MANHOLES, WATER STOP GASKETS, GRATES/ COLLARS, AND INLETS SHALL BE INSTALLED AND BACK FILLED PER MANUFACTURER'S SPECIFICATIONS.

LEGENDA

- 301
 X 530.15
 64.3
 PROPOSED SLOPE ELEVATION
 THE TYPE OF WALL, DIRECTION OF WALL
 EXISTING, IN-TO-OR GRADE (FOR
 GROUND) AND SITE (FOR FINISHED GROUND)
 SEE
 PROPOSED DIRECTION OF FLOW
 WATER BLOCK
 PROPOSED INTER CONTOURS
 PROPOSED CURB & GUTTER
 EASEMENT
 PROPOSED STORM DRAIN INLET
 EXISTING MONUMENT
 PROPOSED CLEARING WALL
 PROPOSED DRAIN OPENING

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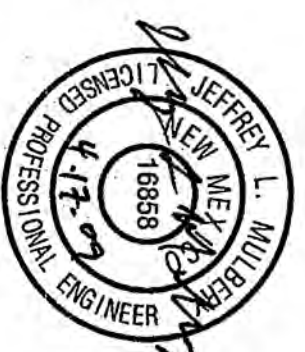
VHCA

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CONSULTANTS

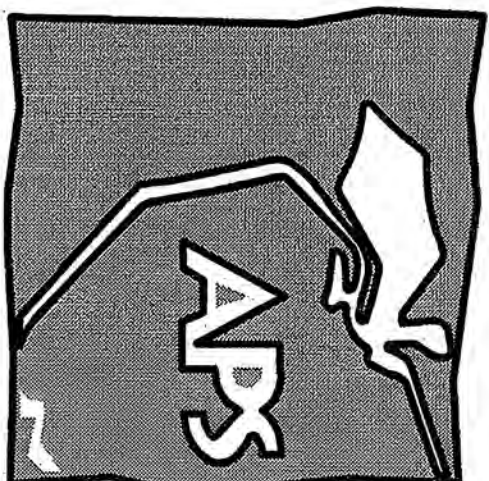
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**MECHANICAL ELECTRICAL
Bridgers & Paxton Engineering**
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ALBUQUERQUE
PUBLIC SCHOOLS

**Prototype Elementary
School Bid Lot No. 2**

6100 PARADISE
BLVD. NW
Albuquerque, NM

CONSTRUCTION
ISSUE

Δ	11/15/07	AGGENDUM
Δ	3/5/08	REVISIONS PER COA COMMENTS
Δ	2/24/09	MISCELLANEOUS SITE REVISIONS
Δ	4/14/09	REVISED DUE TO FIELD CONDITIONS

Mark	Date	Description
Date	October 19, 2007	
Project Number	549.01	
Project File		
Drawn By	RM/B	
Checked By	JLM	

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SHEET TITLE

GRADING & DRAINAGE PLAN

C-102

HYDROLOGY
SECTION

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