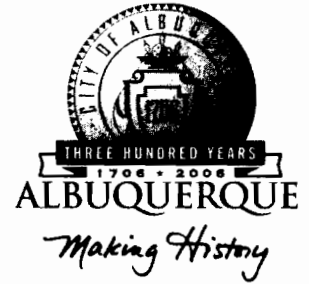


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 18, 2005

Jorge De La Torre, Registered Architect
2400 Louisiana, Bldg 3, Ste. 110
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Ventana Ranch Apt (bldg 10-13 and Entire Project) All Bldgs, [B-10 / D5]
10400 Universe Street NW
Architect's Stamp Dated 04/18/05

Dear Mr. De La Torre:

P.O. Box 1293

The TCL / Letter of Certification submitted on April 18, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

April 18, 2005

City of Albuquerque
Transportation Division

Re: Ventana Ranch Apartments – 10400 Universe Street all Buildings on Project

Zone Map: B-10-Z
UPC #: 101-006-506-046-520-201
Legal Description: Tract A-1-C Ventana Ranch, Situated within section 10, Township II
North, Range 2 East NMPM, City of Albuquerque, Bernalillo County, NM


To Whom It May Concern:

I, Jorge de la Torre, P.A. AIA, licensed under the laws of the State of New Mexico, do hereby certify that this project was constructed in accordance with the approved Traffic Circulation Layout (or Site Plan for Building Permit DRB) with no changes made in the field. I am requesting a Permanent Certificate of Occupancy for the buildings indicated above.

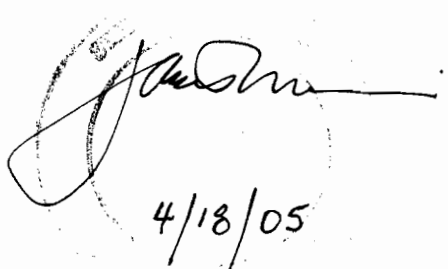
After inspection, we find the project to be in substantial compliance and has no safety concerns or issues for the buildings indicated above, as well as the required parking and landscape areas for these buildings.

If you have any questions or comments, please feel free to contact me.

Thanks,



Jorge de la Torre
de la Torre Architects



4/18/05

2400 Louisiana N.E. building 3, suite 110 Albuquerque NM 87106
505-883-7918 fax 505-883-5975

April 11, 2005

City of Albuquerque
Transportation Division

Re: Ventana Ranch Apartments – 10400 Universe Street (Buildings 10, 11, 12 & 13) Entire Project

Zone Map: B-10-Z
UPC #: 101-006-506-046-520-201
Legal Description: Tract A-1-C Ventana Ranch, Situated within section 10, Township II
North, Range 2 East NMPM, City of Albuquerque, Bernalillo County, NM


To Whom It May Concern:

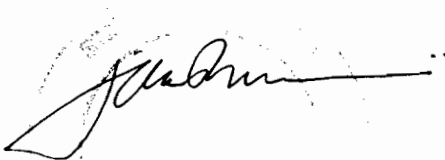
I, Jorge de la Torre, P.A. AIA, licensed under the laws of the State of New Mexico, do hereby certify that this project was constructed in accordance with the approved Traffic Circulation Layout (or Site Plan for Building Permit DRB) with no changes made in the field. I am requesting a temporary Certificate of Occupancy for the buildings indicated above.

After inspection, we find no safety concerns or issues for the buildings indicated above, as well as the required parking and landscape areas for these buildings.

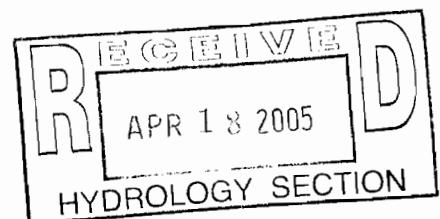
If you have any questions or comments, please feel free to contact me.

Thanks,

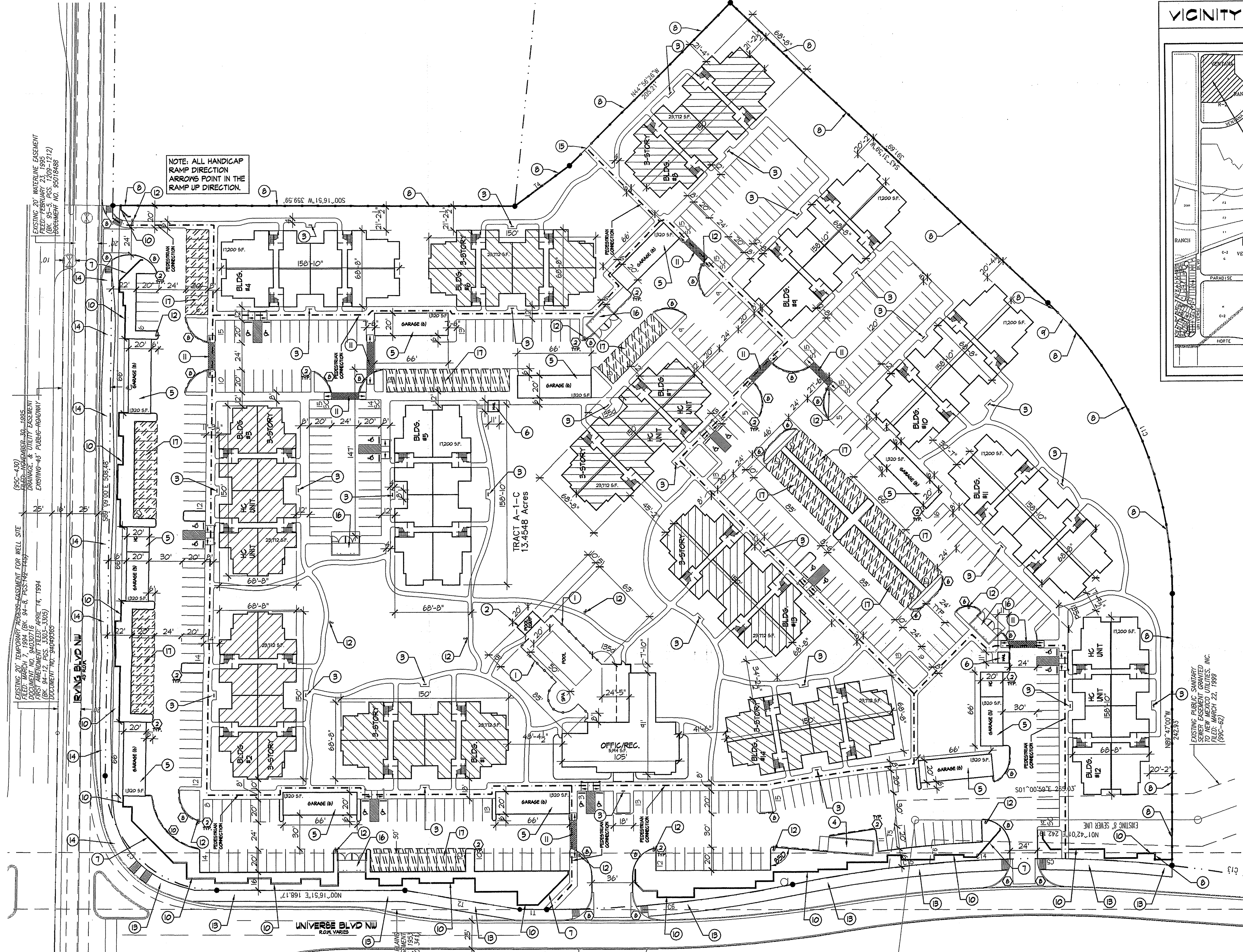

Jorge de la Torre
de la Torre Architects



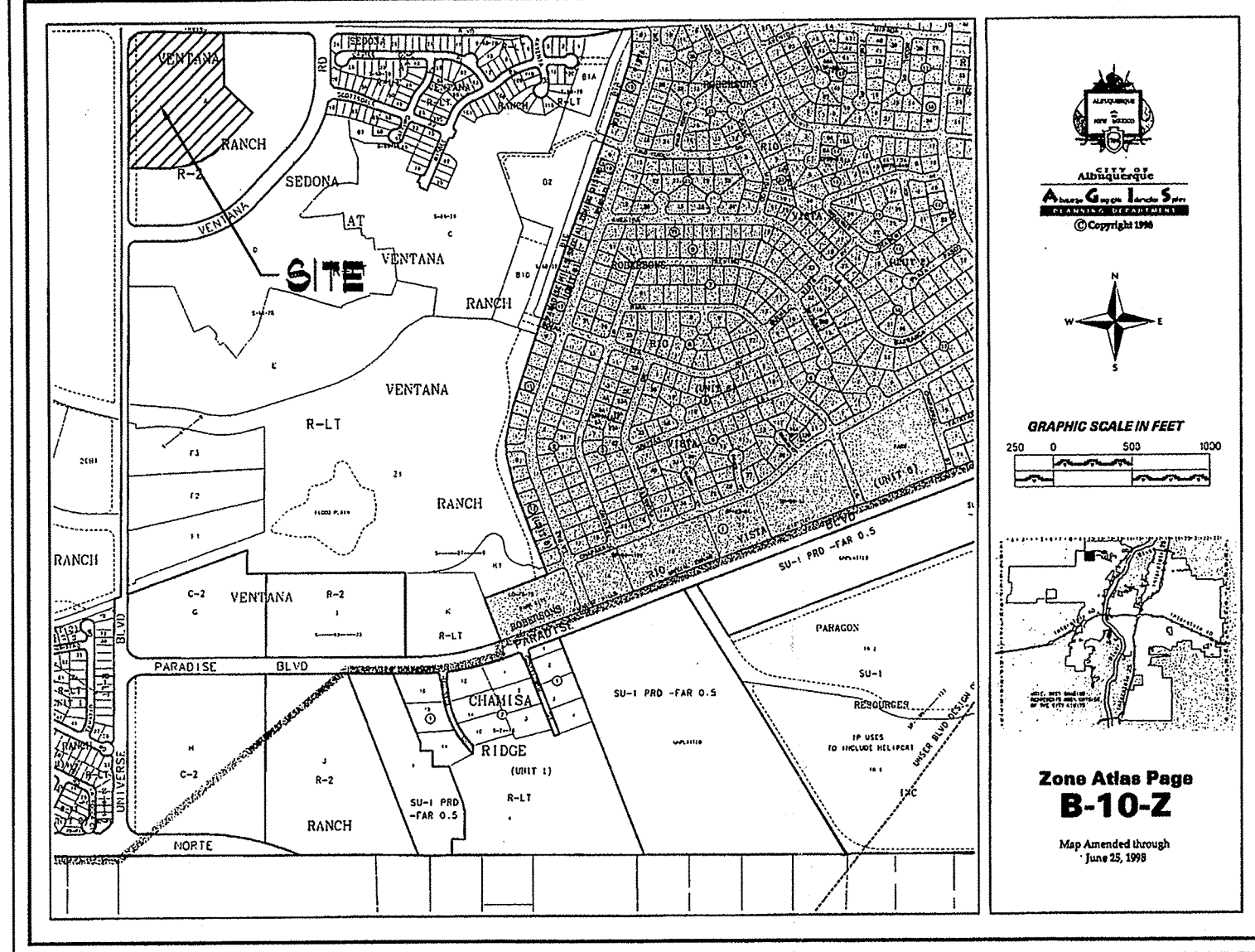
4/11/05



2400 Louisiana n.e. building 3, suite 110 albuquerque n.m. 87102
505-883-7918 fax 505-883-5975



VICINITY MAP

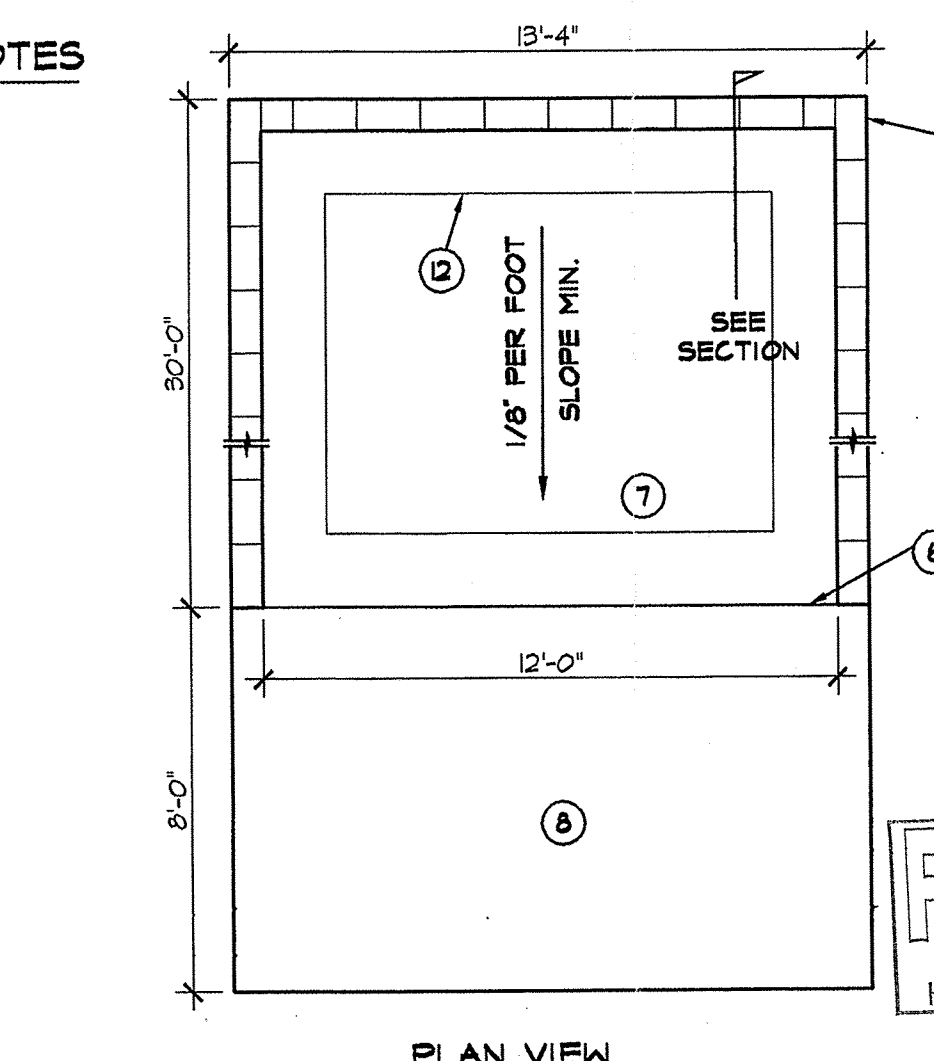
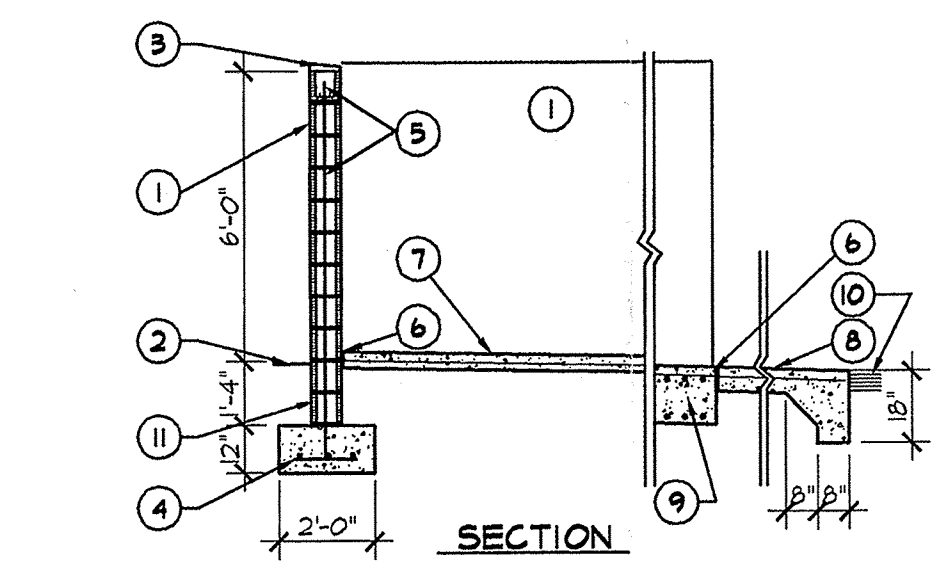


ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	31°34'04"	176.67	344.35	625.00	340.01	S27°44'57"W
C2	46°41'01"	269.71	509.24	625.00	496.27	S66°52'30"W
C3	95°51'04"	55.39	83.65	625.00	44.23	N41°51'28"W
C4	05°53'32"	55.07	110.04	107.00	108.89	N09°00'50"E
C5	23°17'04"	227.67	449.05	1105.00	445.98	N00°19'05"E
C6	11°36'18"	111.27	221.79	1095.00	221.41	N05°31'18"W
C7	90°34'09"	101.00	158.07	100.00	142.12	N45°33'55"E
C8	28°59'40"	150.02	294.46	625.00	291.75	S25°27'45"W
C9	239°33'59"	---	188.15	45.00	78.11	N89°45'49"W
C10	73°05'47"	18.63	31.89	25.00	29.77	S05°09'05"W
C11	46°41'01"	153.19	289.25	355.00	281.31	N66°52'30"E
C12	04°34'24"	24.96	49.89	625.00	49.87	S41°14'48"W
C13	05°34'38"	53.82	107.56	1105.00	107.52	N09°10'18"E
C14	17°42'25"	72.12	341.50	1105.00	340.14	N02°28'14"W
C15	01°34'08"	18.35	36.89	1105.00	36.89	N05°51'20"W
C16	01°35'01"	8.64	17.28	625.00	17.28	S44°19'31"W
	(01°35'01")	(8.64)	(17.28)	(625.00)		

ID	BEARING	DISTANCE
T1	N00°16'51"E	23.98'
T2	N09°37'57"E	104.62'
T3	S43°31'53"W	2.08'
T4	N38°08'10"W	60.78'
T5	S82°05'55"E	60.50'
T6	N83°08'04"W	21.19'

FIXTURE TO BE FULLY SHIELDED, CUT-OFF FIXTURE

POLE LIGHT DETAIL



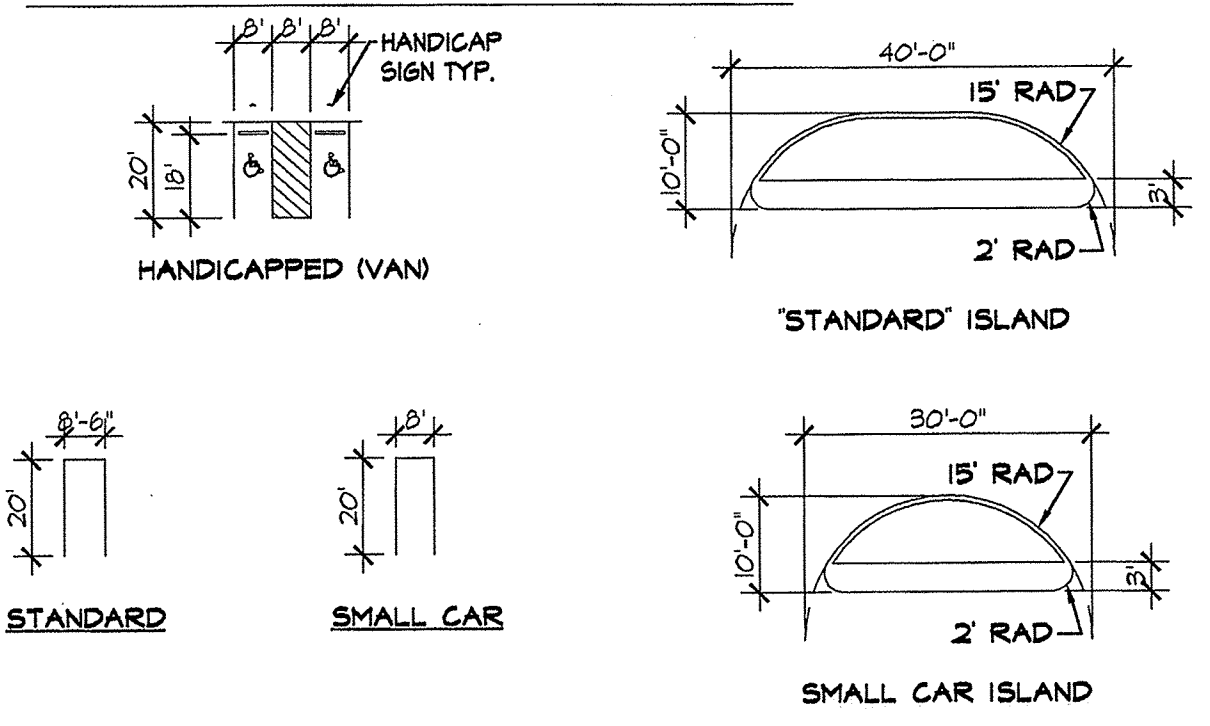
TRASH COMPACTOR KEYED NOTES

- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER, COLOR BY ARCHITECT.
- FINISH GRADE.
- SLOPE STUCCO CAP.
- 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
- 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS #5 BARS @ 32" O.C. VERTICAL, GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
- 1/2" EXPANSION JOINT MATERIAL
- 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 IRON.
- 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 IRON W/ TURNDOWN EDGE.
- 24X14" DEEP THICKENED SLAB W/ 3 #4 TOP & BOTTOM CONT.
- ASPHALT PAVING
- GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.
- ANGLE IRON GUIDES, STOPS BY COMPACTOR INSTALLER. SLAB W/ CONC. FILL AS PER MANUFACTURER REQ'S.

TRASH COMPACTOR

SCALE: 1/4"=1'-0"

PARKING TYPES & ISLAND DETAILS



LEGEND:

- METAL FENCE
- CHAIN LINK FENCE
- SANITARY SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- OVERHEAD ELECTRIC LINE
- STREET LIGHT
- POWER POLE
- ANCHOR
- EXISTING LOT LIGHT
- TRAFFIC LIGHT
- TRAFFIC SIGNAL OR PULLBOX
- NEW POLE LIGHT
- GAS VALVE
- WATERLINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- LIGHT POLE

BICYCLE RACK

SCALE: 3/4"=1'-0"

KEYED NOTES

- 6" HIGH WROUGHT IRON FENCE AROUND POOL
- 10'X20' POOL EQUIPMENT ROOM TYPICAL. (200 S.F.)
- BICYCLE RACK - SEE DETAIL (1 SPACE PER 2 DWELLING UNITS PROVIDED)
- TRASH COMPACTOR ENCLOSURE.
- GARAGE ENCLOSURE 20' DEEP X 66' WIDE (11) TYPICAL. (1320 S.F. EA.)
- 11X11 MAILBOX ENCLOSURE, TYPICAL OF (2), (121 S.F. EA.)
- MONUMENT SIGN MOUNTED ON SITE WALL.
- SITE WALL TYPE "A" SEE ELEVATIONS, BROWN SPLIT FACE CMU
- SITE WALL TYPE "B" SEE ELEVATIONS, BROWN SPLIT FACE CMU
- 3" TALL CMU SITE WALL, BROWN SPLIT FACE CMU
- PEDESTRIAN CROSSINGS SHALL BE 6' WIDE WITH RAISED TEXTURED CONCRETE WITH WHITE STRIPING TYPICAL.
- LIGHT POLES, TYPICAL OF 15.
- NEW 10'-0" WIDE ASPHALT TRAIL ON UNIVERSE PER CITY STANDARDS.
- NEW 10'-0" WIDE ASPHALT TRAIL ON IRVING PER CITY STANDARDS
- PEDESTRIAN CONNECTION TO FUTURE PARK WITH GATE.
- REFUSE CART STORAGE, TYPICAL OF 4 LOCATIONS.
- INDICATES COVERED PARKING STALLS, UNIT TO BE METAL PAINTED WHITE.

GENERAL NOTES

- ALL SIDEWALKS IN FRONT OF PARKING STALLS TO BE 6' WIDE TYPICAL. ALL PEDESTRIAN CONNECTIONS SHALL BE 6' WIDE TYPICAL. ALL OTHER SIDEWALKS SHALL BE 4' WIDE TYPICAL. ALL SIDEWALKS IN PUBLIC R.O.W. TO BE 6' WIDE TYPICAL, UNO.
- THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALLS.

PROJECT INFORMATION

LOCATION:	SE CORNER OF IRVING NW AND UNIVERSE NW
DEVELOPER:	BSL PROPERTIES INC.
LEGAL DESCRIPTION:	TRACT A-1-C VENTANA RANCH WITHIN SECTION 10 TOWNSHIP 1 NORTH, RANGE 2 EAST N4PM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
CURRENT ZONING:	SU-1 FOR R-2
PROPOSED:	SAME
TOTAL ACREAGE:	13.45 ACRES
ZONING ATLAS PAGE:	B-10-Z
URC #:	101006506248420201
OFFICE/REC PARKING REQ'D:	6194 S.F. OFFICE/REC BUILDING(S)
APARTMENT PARKING REQ'D:	1440 1 BDR, 984 2 BDR, 1481 3 BDR
PARKING REQUIRED (TOTAL) (16 H.C. REQUIRED)	530
OPEN PARKING	365
COVERED PARKING	101
GARAGE PARKING	64
TOTAL PROVIDED (INC. 16 H.C.)	530
TOTAL SMALL CAR SPACES	108

BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES)
3 STORY PER FLOOR 7924 PER BUILDING (B) = 190176 S.F.
2 STORY PER FLOOR 8660 PER BUILDING (B) = 103200 S.F.
TOTAL = 293376 S.F.

BICYCLE PARKING (1 PER 2 DUS = 144)

145 PROVIDED

GENERAL NOTES - CITY REQUIRED

- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK; AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- ALL SIDEWALKS AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- CONSTRUCT CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. 14246
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT BEFORE C.O. IS RELEASED.

RADIUS LEGEND

- | | | | |
|-------------|--------------|--------------|---------------|
| ① 1' RADIUS | ④ 5' RADIUS | ⑦ 20' RADIUS | ⑩ 50' RADIUS |
| ② 2' RADIUS | ⑤ 10' RADIUS | ⑧ 25' RADIUS | ⑪ 100' RADIUS |
| ③ 3' RADIUS | ⑥ 15' RADIUS | ⑨ 35' RADIUS | ⑫ 150' RADIUS |

SITE DEVELOPMENT PLAN Project #: 1002250

CASE NUMBER: EPC-0480; 02PDS-01891

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON November 21, 2002 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

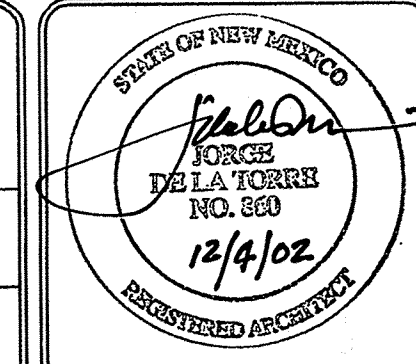
Michael Holten
SOLID WASTE DEPARTMENT will have compactor & storage area located
DATE 12-13-02
1-08-03
DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION
Christina Sandoral
DATE 1/8/03
1-8-03
DATE
Parks & Recreation Department
Raga & Raga
DATE 3/19/03
3/19/03
DATE
Bryell L. Bile
CITY ENGINEER, ENGINEERING DIVISION/ AMAFCA
CITY PLANNER, ALBUQUERQUE
DATE 1/8/2003
1/8/2003
DATE

APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

Sharon Mahon
CITY PLANNER, ALBUQUERQUE

revisions 12/4/02

job title
VENTANA RANCH APTS.
UNIVERSE NW
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
NICK PIRKL
job no
22025
date
9/25/02
sheet title
SITE PLAN FOR BUILDING PERMIT
by
NAP



de la tome architects, p.a. d/b

2400 louisiana blvd n.e.
building 3 - suite 110
albuquerque n.m. 87110 / 505.883.7918

sheet- 1

of- 7