

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 10, 2008

George R. Rainhart, Registered Architect,
George Rainhart, Architect & Associates P.C.
2325 San Pedro NE, Ste. 2-B
Albuquerque, NM 87110

Re: Approval of Permanent Certificate of Occupancy (C.O.) for
Grady Rentals (Tract G-2-A), [B-10 / D007]
6521 Paradise Blvd NW
Architect's Stamp Dated 04/10/08

Dear Mr. Rainhart:

Based on the information provided in your submittal received April 10, 2008, the above referenced certification is approved for release of Permanent Certification of Occupancy.

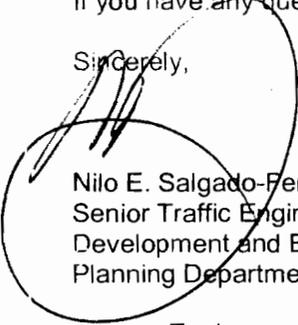
PO Box 1293

If you have any questions, please call me at 924-3630.

Sincerely,

Albuquerque

NM 87103


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

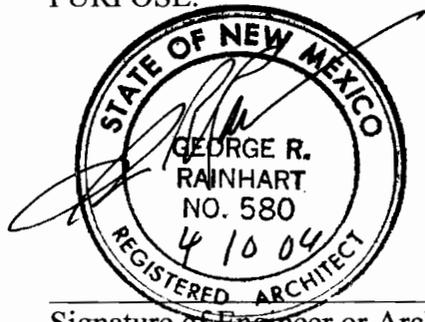
www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

TRAFFIC CERTIFICATION

I, GEORGE RAINHART, NMPE OR NMRA # 580, OF THE FIRM GEORGE RAINHART & ASSOC., HEREBY CERTIFY THAT THIS PROJECT HAS IS IN DESIGN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12.14.05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILLIAM SMITH OF THE FIRM GEORGE RAINHART & ASSOC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4.9.08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Permanent C.O.

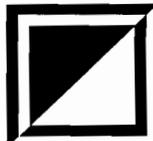
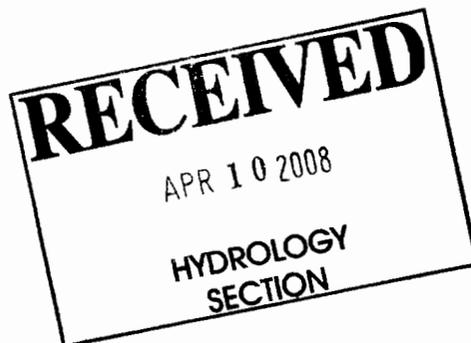
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

4/10/08
Date



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

FUTURE CITY COMMUNITY PARK

TRACT F-I
Zoning R-LT

TRACT Z
AMAFCA
DRAINAGE
FACILITY

Natural Basalt and Soil Cement Drainage Conveyance

EXISTING COUNTRYHILLS SUBDIVISION
ZONING R-LT TRACT 7A

UNIVERSE BOULEVARD
(ROW 86) (TRAFFIC COUNT 9,000)

PARADISE BOULEVARD
(ROW 108) (TRAFFIC COUNT 10,800)

ZONING SU-1 FOR R-2 TRACT 1

BUILDING AREA & PARKING CALCULATIONS:
 MAJOR 1: 41,450 SF. BUILDING.
 LOT SIZE = 234,301 SF OR 5.38 AC.
 41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST 15,000 SF OF NET LEASABLE AREA; 75 CARS.
 1 SPACE PER 250 SF FOR THE NEXT 26,450 SF OF NET LEASABLE AREA; 106 CARS
 = 181 CARS
 SPACES PROVIDED 181 SPACES.
 FAR = .17
 OCCUPANT LOAD: 41,450 / 30 = 1,382
 SHOPS 1: 11,600 SF. BUILDING.
 LOT SIZE = 48,127 SF OR 1.10 AC.
 11,600 SF / 200 = 58 SPACES.
 SPACES PROVIDED 58 SPACES.
 FAR = .24
 OCCUPANT LOAD: 11,600 / 30 = 387
 PAD 1: 2,005 SF. BUILDING.
 LOT SIZE = 31,286 SF OR .718 AC.
 1 CAR PER 4 PROVIDED SEATS
 48 SEATS / 4 = 12 REQ. CARS.
 SPACES PROVIDED 31 SPACES.
 FAR = .06
 OCCUPANT LOAD: 2,005 / 15 = 134
 PAD 2: 2,763 SF. BUILDING.
 LOT SIZE = 38,457 SF OR .88 AC.
 1 CAR PER 4 PROVIDED SEATS
 80 SEATS / 4 = 20 REQ. CARS.
 SPACES PROVIDED 42 SPACES.
 FAR = .07
 OCCUPANT LOAD: 2,763 / 15 = 185
 SHOPS 2: 10,500 SF. BUILDING.
 LOT SIZE = 47,748 SF OR 1.05 AC.
 10,500 SF / 200 = 53 SPACES.
 SPACES PROVIDED 57 SPACES.
 FAR = .22
 OCCUPANT LOAD: 10,500 / 30 = 350
FLOOR AREA RATIO
 BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT WITH C.O.A.
 TOTAL BUILDING AREA = 68,318 SQ/FT
 TOTAL LOT AREA = 397,932 SQ/FT
 TOTAL FAR = .17
PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 8'-6" X 20' SMALL CARS. SPACES ARE 8'-0" X 18'-0"
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *
 25 BICYCLE SPACES.
 10 MOTORCYCLE SPACES.
 TOTAL STANDARD PARKING SPACES PROVIDED 319 SPACES
 TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES
 TOTAL HC PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES) 27 SPACES
 TOTAL PROVIDED 369 SPACES
 TOTAL REQUIRED SPACES = 324 SPACES
 TOTAL PROVIDED SPACES = 347 SPACES

LEGAL DESCRIPTION
 TRACTS G AT VENTANA SQUARE
 CURRENT ZONING
 C-2 TO SU-1 FOR C-2
 TOTAL ACRES
 9.13 ACRES G1,G2,G4,G5,G6,
 WALGREENS 3.55
 TOTAL GROSS 12.88 AC.
GENERAL ARCHITECTURAL DESIGN REQUIREMENTS
GENERAL ARCHITECTURAL
 General architecture character for pad structures is to follow the general design concept depicted on elevations of major stores and shops. pad buildings will be cementitious finish with a cementitious or split face cmu dado band. the main building walls must be colored to match color benjamin moore (#2) bm951 and (#1) bm1032. If the building extends below finish floor that area will also be covered with color #2. structures are to be predominately flat-roofed however partial building areas such as porches or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type mission tile clad and the high point of the roof must tie the main building wall below the top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and area to relate to the entry format of the main buildings. Building heights are limited to 35' parapet heights for major building walls, and 26' parapet heights for pad building walls mission tile clad entry roofs may extend above this height to accent and articulate the building mass.

PAD ARCHITECTURAL DESIGN STANDARDS
 Shall include the following elements to provide uniform standards for all pads. each pad to follow building elevations provided. --the lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch split face cmu or stucco. color #2. --four or eight inch split face or accent block. color #1 --fuel canopies to be cementitious finish color #1 lighting to be entirely recessed in soffit of fuel canopies.(max 50ft candles) --each pad development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.
MECHANICAL EQUIPMENT SCREENING
 All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit can be observed from the residential area horizontal screening per the attached conceptual sketch is required.
COLOR PALETTE
 color #1 light tan benjamin moore #1032
 color #2 medium dark tan dado band base wall color #951
 color #3 marbled terra cotta concrete tile roofing, trim & accents (med red/brown). (MONIER BARCELONA CLIFFSIDE, RED).

SPECIAL BUFFERING
 Drive up pick up windows to be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.
BUILDING SIGNAGE
 Except as noted under awnings all signage will be internally illuminated individual type lettering not to exceed 6 percent of the wall area of each building elevation or ten percent of the wall area of the shop building. Letters are to be back lit. No exposed neon. Neon must be within solid opaque faced metal channel lettering can type signs are prohibited. All special logos associated with a specific tenant are to be provided in a non-illuminated fashion for specific approval.
LANDSCAPING
 Landscaping of the pads will be from the same landscaping pallet and concept as provided on the master landscaping plan.

AWNINGS
 Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed 6 percent of the area of building wall. Illumination of awnings must be from pendant mounted fixtures located above the awning. accent colors on awnings are to be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.
GLAZING
 Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.
SERVICE AREAS
 Service areas such as refuse locations and compactors are to be totally screened from the view of the adjacent residential area, public rights-of-way and the adjacent monument area. Free-standing dumpster and compactor locations are to be gated. Screening material to match building wall color and material.REFER TO CONDITION P. OF 2000 DRB.

LIGHTING
 Site lighting for pad structures is to match the site lighting provided for the main parking area. pad site lighting not to exceed 20' to fixture. Main parking area lighting not to exceed 20' to fixture. Exposed, i.e. unshielded light fixtures are prohibited. All lamps must be shielded shoe box type fixtures. Maximum light level under fuel canopies to be 50ft candles, from totally recessed lighting.
FREE STANDING SIGNAGE
 280 sq x 16" tall architecturally coordinated signs are permitted, one each at the paradise Blvd. entry to G, and one on Paseo del Norte frontage. Each pad building or group of pad buildings to have one 50 sf monument sign.

TRAFFIC REQUIREMENTS:
 All traffic requirements have been met per May 31, 1998 agreement between the city and Las Ventanas limited partnership.
PARKING
 The allowed parking shall be equal to the required parking plus 10% maximum ADA requirements shall be located adjacent to building entries
ALTERNATE USE
 Concept: If one of the approved schematic alternate use plans is selected for development in lieu of the approved Site Plan for Building Permit, a complete Site Plan for Building Permit purposes will be prepared and submitted to the DRB for review and approval. (EPC review not required unless the plan for development does not match one of the alternate schematic plans).
RADIUS INFORMATION:
 Albuquerque Building & Safety
 JUL 18 2007
 I.B.C.
 APR 10 2008
 FILE: PROJECT# 1002346
 OSEPC-01264 EPC SITE DEVELOPMENT PLAN BUILDING PERMIT.
 OSEPC-01263 EPC AMENDED SITE DEVELOPMENT PLAN-SUBDIVISION, HYDROLOGY
 LEGAL DESCRIPTION: FOR ALL OR A PORTION OF TRACTS OF C-2,G4, VENTANA SQUARE AT VENTANA RANCH, ZONED SU-1 FOR RESIDENTIAL C-2 USES, LOCATED AT THE NORTHEAST CORNER OF UNIVERSE BLVD. NW AND PARADISE BLVD. NW, APPROXIMATELY 9.13 ACRES. (B-10 CARMEN MARRONE, STAFF PLANNER.

REVISION

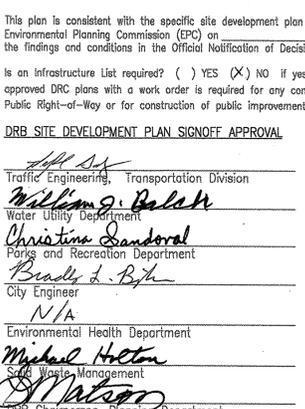
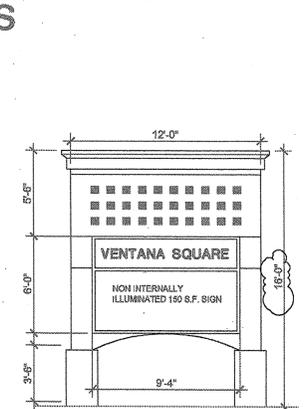
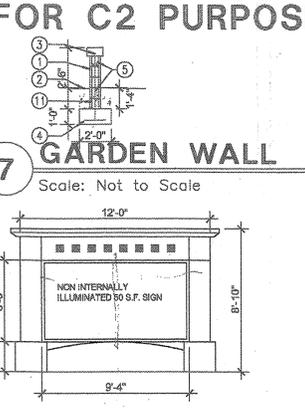
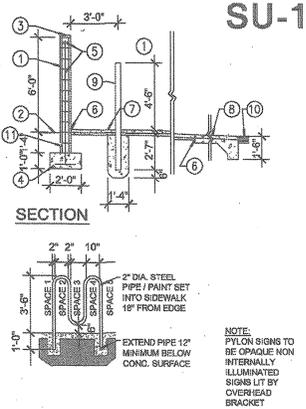
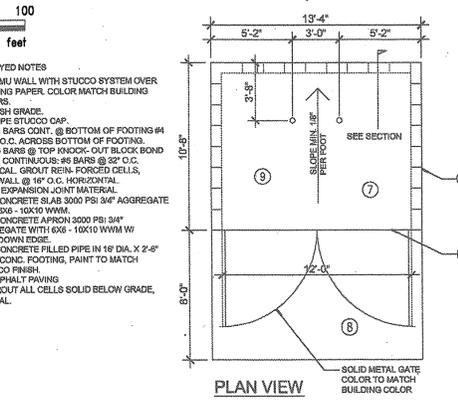
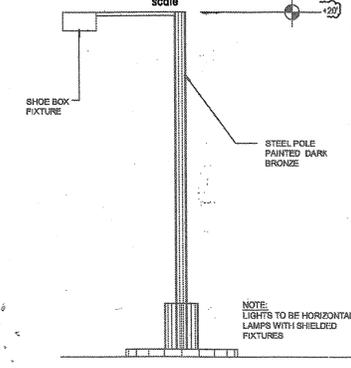
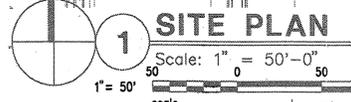
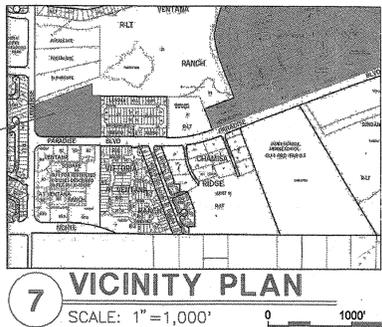
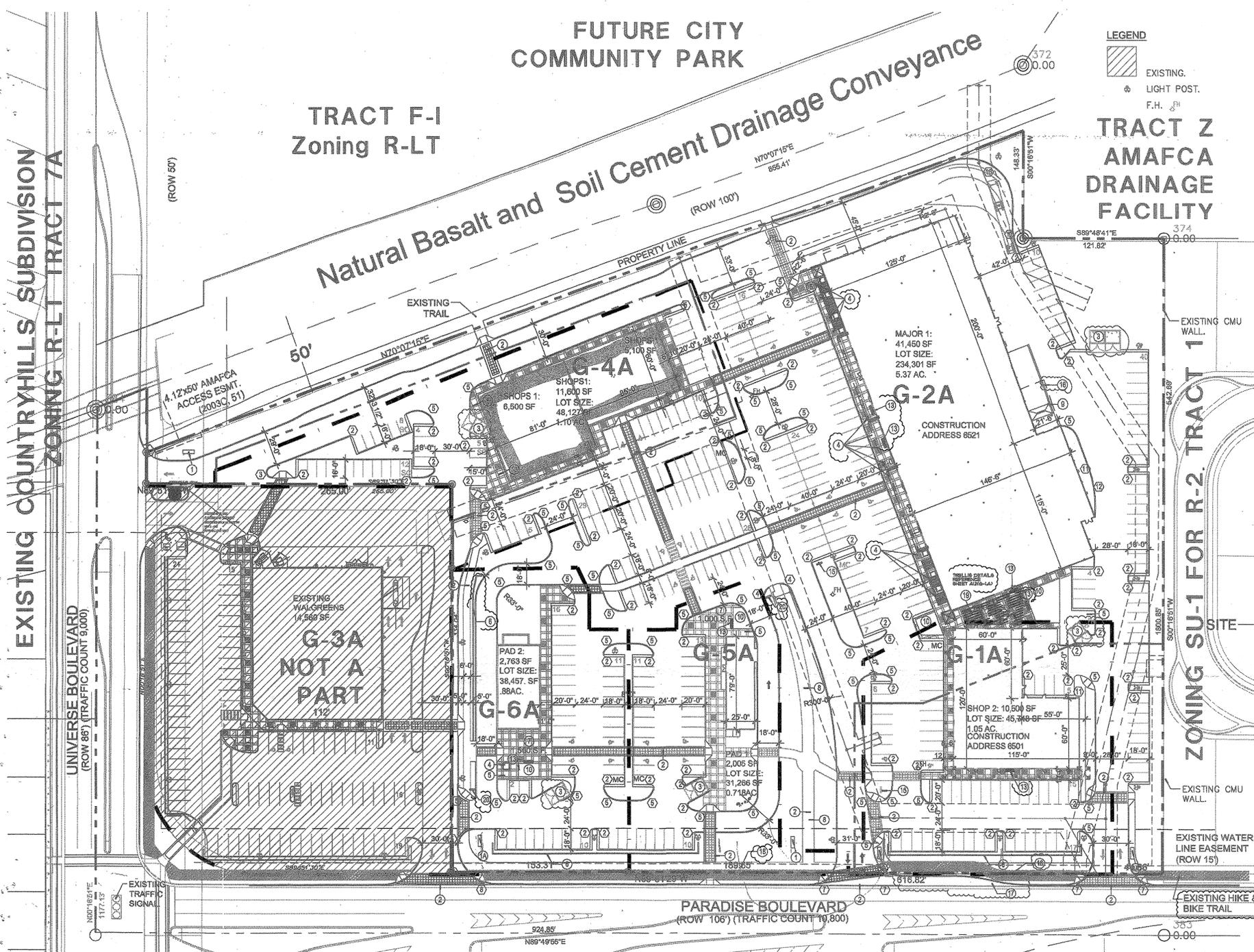
REV	DATE	BY
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2		
3		
4		
5		
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2925 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

STATE OF NEW MEXICO
 GEORGE R. RAINHART
 No. 580
 REGISTERED ARCHITECT

PROJECT TITLE: VENTANA SQUARE (NEO UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO)
 DRAWN BY: APZ
 JOB NO.: 802
 PROJECT MANAGER: GEORGE RAINHART
 SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

DATE: 11/15/2005
 SCALE: 1"=50'
 sheet: A1.1
 of: G-1A & G-2A



SU-1 FOR C2 PURPOSES

PROJECT NUMBER: 1002346
 APPLICATION NUMBER: 05DRB-01794

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [Date] and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES (X) NO If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

William J. Balch Traffic Engineering, Transportation Division Date: 12/20/05	Christine Sandoral Parks and Recreation Department Date: 12/20/05	Becky L. Bih City Engineer Date: 12/20/05	N/A Environmental Health Department Date: 12/20/05	Michael Hotten Solid Waste Management Date: 12/20/05	DRB Chairperson, Planning Department Date: 12/20/05
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* Environmental Health, if necessary

DATE: 11/15/2005
 SCALE: 1"=50'
 sheet: A1.1
 of: G-1A & G-2A