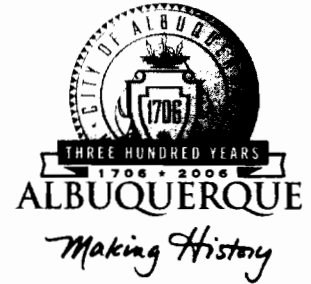


CITY OF ALBUQUERQUE



June 16, 2005

Mr. Scott McGee, P.E.
ISAACSON & ARFMAN, PA
128 Monroe St. NE
Albuquerque, NM 87108

Re: BLAKE'S @ VENTANA SQUARE LOT H-2
6550 Paradise Blvd. NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 11/30/2004 (B-10/D8A)
Certification dated 06/02/2005

P.O. Box 1293

Dear Scott:

Albuquerque

Based upon the information provided in your submittal received 06/16/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

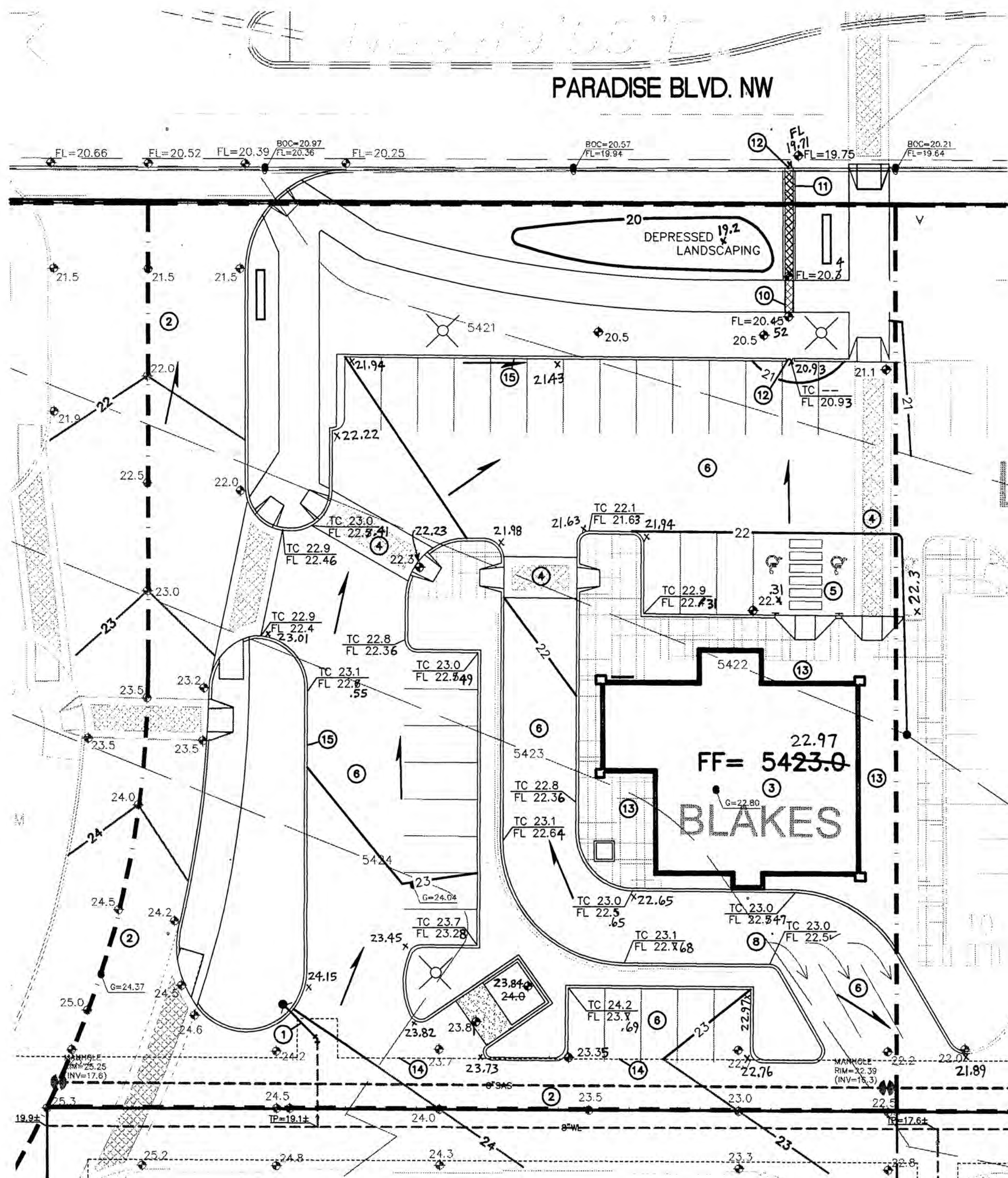
C: Phyllis Villanueva
File

ENGINEER'S CERTIFICATION
I, SCOTT M. MCGEE, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN (CITY APPROVAL LETTER DATED 01/05/05). AS-BUILT GRADES WERE FIELD VERIFIED BY HALL SURVEYING COMPANY, NMLS NO. 10042 ON 05/05/05 IN ACCORDANCE WITH THE "NEW MEXICO ENGINEERING AND SURVEYING ACT" SECTION 61-23-1 THROUGH 61-23-32 NMSD (1978).

6/2/05
DATE



Scott M. McGee
SCOTT M. MCGEE, NMPE NO. 10519



SCALE:
1"=20'

SCOPE:

THE PROPOSED IMPROVEMENTS INCLUDE APPROXIMATELY 2,880 SF (APPROX. FOOTPRINT) COMMERCIAL BUILDING WITH ADJACENT CONCRETE WALKS AND ASPHALT PAVED PARKING AREAS, LANDSCAPED AREAS, GENERAL SITE WORK AND SITE REGRADING.

THE PRESENT SITE IS BEING DEVELOPED AS A PART OF AN OVERALL COMMERCIAL DEVELOPMENT. THE PROPERTY SLOPES TO THE NORTHEAST AT APPROXIMATELY 2.5%. THE PROPERTY IS BOUNDED BY PARADISE BLVD. NW TO THE NORTH, UNDEVELOPED COMMERCIAL PROPERTY TO THE WEST, SOUTH AND EAST.

THE INTENT OF THIS PLAN IS TO SHOW:

1. GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
2. THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
3. THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
4. THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.

DRAINAGE PLAN CONCEPT:

THE DRAINAGE CONCEPT ESTABLISHED FOR THIS PROPERTY (B10/D8 BY ISAACSON & ARFMAN, P.A.) IS TO DISCHARGE ALL DEVELOPED FLOW TO THE EXISTING STORM DRAIN SYSTEM. NO ON-SITE DETENTION PONDING IS REQUIRED (ASSUMING MAXIMUM DISCHARGE FROM TRACTS H1-H4 DO NOT EXCEED THE MASTER PLANNED TOTAL RUNOFF OF 21.3 CFS).

FLOWS FROM THIS PORTION ARE TO BE ROUTED TO PARADISE BLVD. FOR COLLECTION INTO THE EXISTING MASTER STORM SEWER (SS) SYSTEM WITH EXISTING INLETS AT THE NORTHEAST CORNER OF THE SITE.

OFF-SITE FLOWS: PER THE APPROVED CONCEPTUAL GRADING PLAN, APPROX. 0.8 ACRES OF OFF-SITE FLOW WILL CONTINUE TO PASS THROUGH THIS PROPERTY.

GENERAL NOTES:

LEGAL: LOT H2, VENTANA SQUARE AT VENTANA RANCH, ALBUQ., NM.

SURVEYOR: HARRIS SURVEYING, INC. - ANTHONY L. HARRIS - N.M.P.S. 11463

B.M.: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "2-B10", HAVING AN ELEVATION OF 5429.35.

FLOOD HAZARD: THE SITE IS LOCATED IN ZONE "X" (OUTSIDE OF THE 500 YR. FLOOD PLAIN BOUNDARY) AS SHOWN ON FIRM PANEL 35001C0103 DATED SEPT. 20, 1996

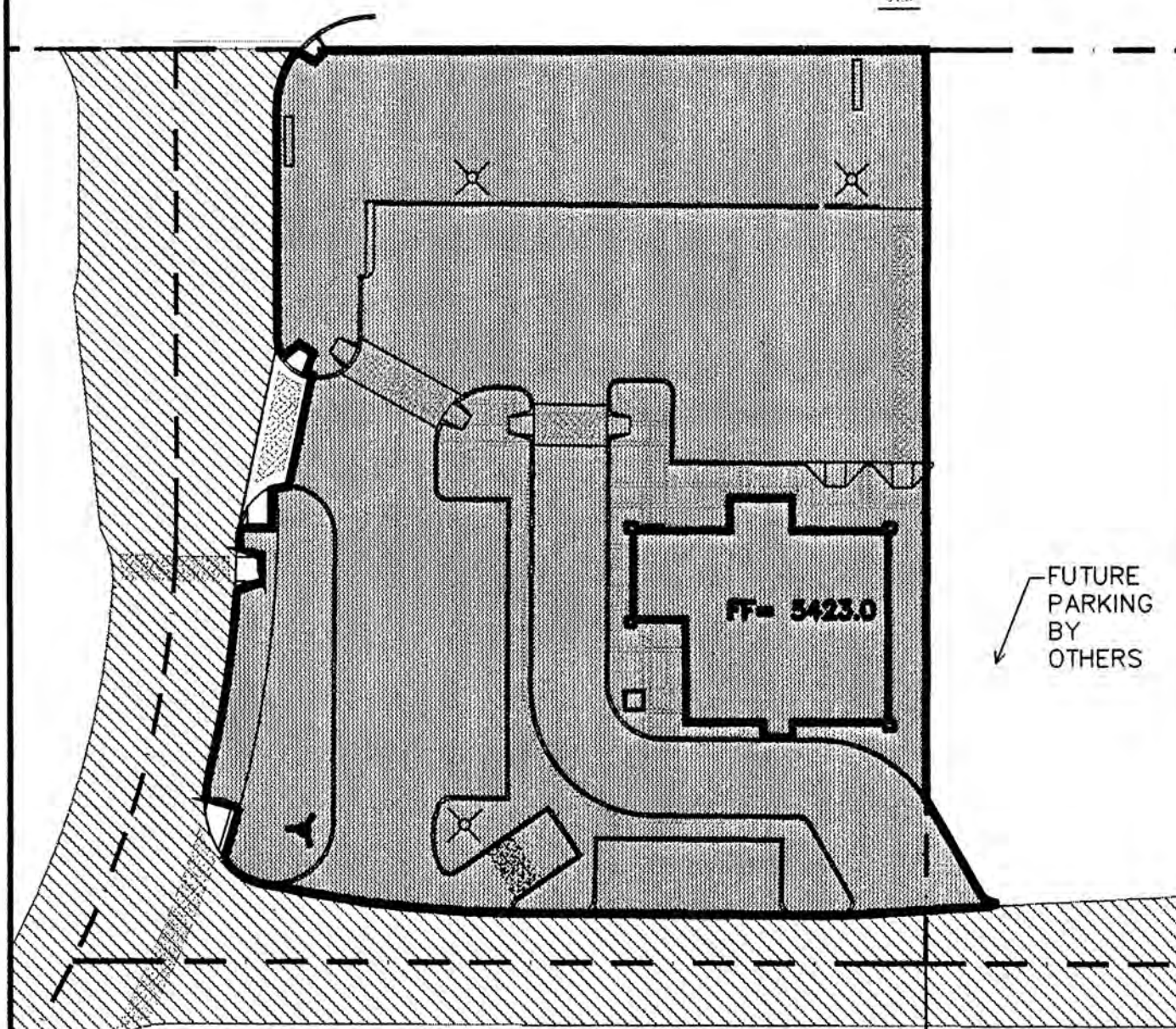
EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ON THE WEST PROPERTY LINE.

LEGEND

— 5200 —	EXISTING CONTOUR
— 52 —	PROPOSED CONTOUR
◆ 78.3	PROPOSED SPOT ELEVATION
→	FLOW ARROW
FF=5423.0	FINISH FLOOR ELEVATION
—	SIDEWALK CULVERT
TC=81.95 FL=81.45	TOP OF CURB ELEVATION FLOWLINE
INV=72.5	INVERT ELEVATION
X 23.73	AS-BUILT ELEVATION

PROJECT EXTENTS

NOTE: COMMON ACCESS DRIVES BEING CONSTRUCTED BY OTHERS
(NOT A PART OF THIS CONTRACT)



DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXCAVATION PERMIT FOR SIDEWALK CULVERT/DRAIN.
8. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.).

INSPECTION APPROVAL:

CONSTRUCTION SECTION

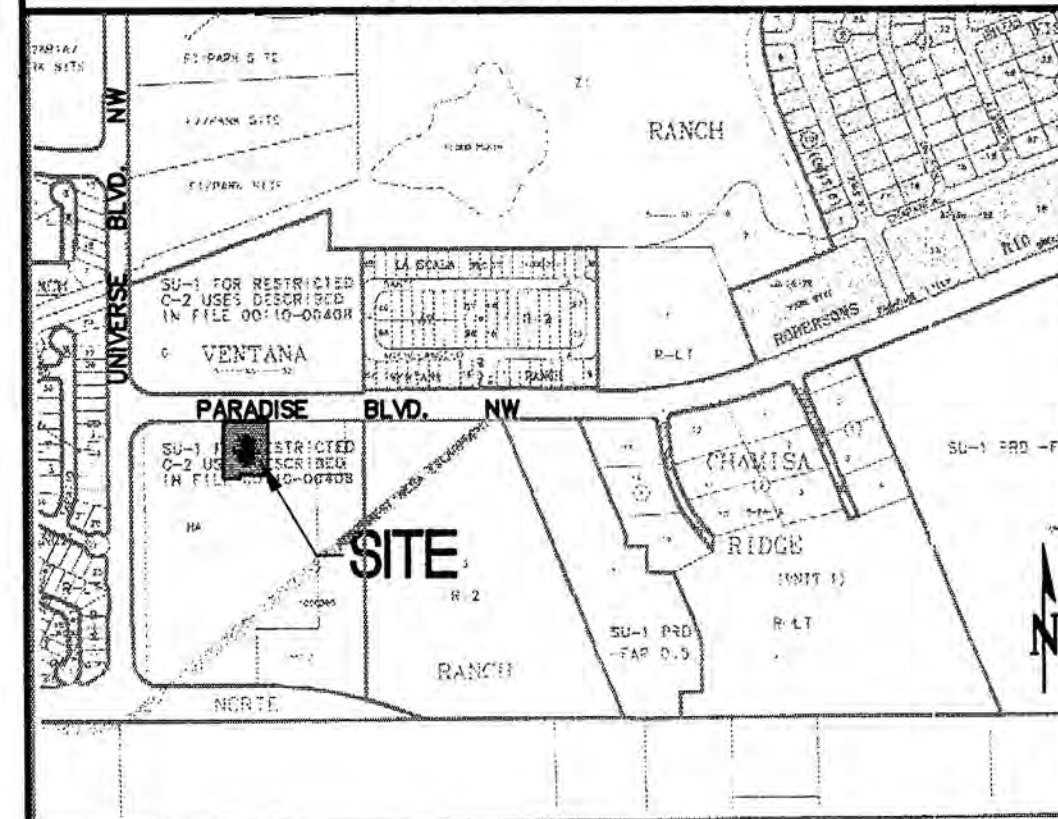
DATE

CALCULATIONS: LOT H-2, VENTANA SQUARE AT VENTANA RANCH : 9-03-04

Calculations are based on the Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

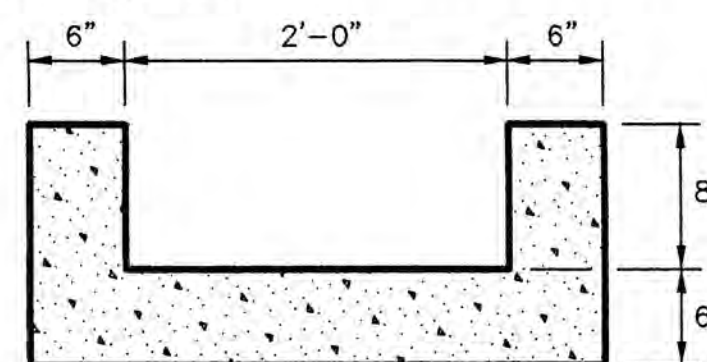
ON-SITE	
AREA OF SITE	41860 SF = 0.96 Ac.
HISTORIC FLOWS:	
On-Site Historic Land Condition	Area a = 0 SF Area b = 0 SF Area c = 41860 SF Area d = 0 SF Total Area = 41860 SF
DEVELOPED FLOWS:	
On-Site Developed Land Condition	Area a = 0 SF Area b = 2300 SF Area c = 5900 SF Area d = 33660 SF Total Area = 41860 SF
EXCESS PRECIPITATION:	
Precip. Zone 1	Ea = 0.44 Eb = 0.67 Ec = 0.99 Ed = 1.97
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	
Weighted E =	$\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$
Historic E =	0.99 in.
Developed E =	1.76 in.
On-Site Volume of Runoff: V360 = $\frac{E^*A}{12}$	
Historic V360 =	3453 CF
Developed V360 =	6141 CF
On-Site Peak Discharge Rate: $Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560$	
For Precipitation Zone 1	Qpa = 1.29 Qpb = 2.03 Qpc = 2.87 Qpd = 4.37
Historic Qp =	2.8 CFS
Developed Qp =	3.9 CFS
Per approved Master Plan, the total discharge from developed Lots H1, H2, H3, and H4 shall not exceed 18.12 cfs (note: 18.12 cfs + 3.2 cfs (offsite flow passing through Tract H) = 21.3 cfs = total runoff per Master Drainage report). This amounts to 4.0 cfs per acre. Lot H2 = 0.96 acres which is allowed 3.9 cfs free discharge.	

VICINITY MAP B-10



KEYED NOTES

1. INSTALL 6" 45° BEND, 12LF 6" WATERLINE, & 4' BURY FIRE HYDRANT PER NMU REQUIREMENTS.
2. PERIMETER ACCESS ROADS, WALKS AND CURB & GUTTER TO BE CONSTRUCTED UNDER SEPARATE CONTRACT (CONCURRENTLY) AS PART OF VENTANA RANCH TRACTS H-1 THRU H-4 OVERALL ACCESS ROAD DEVELOPMENT. SEE INSERT THIS SHEET FOR PROJECT EXTENTS.
3. ROOF FLOWS TO DRAIN IN DIRECTIONS INDICATED. ALL ROOF FLOWS TO BE RELEASED BY SCUPPER DIRECTLY ONTO PAVED WALKWAY OR PARKING LOT. SEE ARCHITECTURAL FOR SPECIFIC ROOF DRAIN LOCATIONS.
4. CONSTRUCT CONCRETE WALK (WITH TURNED DOWN EDGE ADJACENT TO ASPHALT PAVED AREAS) THIS AREA. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION. MAX. SLOPE = 5%.
5. HANDICAP PARKING AREA TO BE CONSTRUCTED WITH MAX. 2% SLOPE IN ANY DIRECTION.
6. PROPOSED ASPHALT PAVING. CONSTRUCT AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, PAVING SECTION, ETC. PAVING SLOPE VARIES WITH 0.0100' /' MINIMUM AND 0.0800' /' MAXIMUM.
7. GENERAL NOTE: ALL SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT TOP OF PAVING UNLESS NOTED. ADD 0.5" TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS.
8. HIGH POINT IN PAVEMENT THIS AREA.
9. NOT USED
10. CONSTRUCT 2' WIDE (BOTTOM WIDTH) SIDEWALK CULVERT PER COA STD. DWG. #2238. MATCH EXISTING STREET FLOWLINE AND TOP OF WALK (COORDINATE WITH CONSTRUCTION OF CONCURRENT ACCESS DRIVE PROJECT). MIN. SLOPE = 0.0010' /' TO ALLOW FLOWS TO PASS TO PARADISE BLVD.
11. CONSTRUCT 2' WIDE 'U' SHAPED CONCRETE CHANNEL, PER DETAIL BELOW.
12. PROVIDE 2' WIDE OPENING IN CURB TO PASS FLOW TO 'U' SHAPED CONCRETE CHANNEL.
13. PROVIDE POSITIVE DRAINAGE AWAY FROM PROPOSED STRUCTURES THIS AREA.
14. COORDINATE WITH CONSTRUCTION OF CONCURRENT ACCESS DRIVE PROJECT TO ADJUST EXISTING GRADES THIS AREA TO ELEVATIONS SHOWN.
15. CONSTRUCT MEDIAN CURB AND GUTTER PER COA STD. DWG. 2415B. TYPICAL THROUGHOUT.

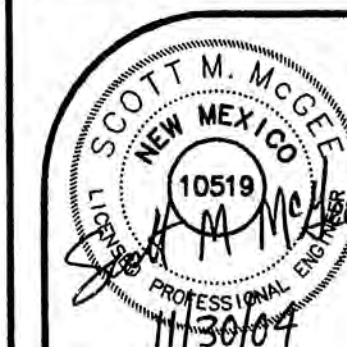


GENERAL NOTES

1. PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

'U' SHAPED CONC. CHANNEL

N.T.S.



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

128 Monroe Street N.E.

Albuquerque, New Mexico 87108

Ph: 505-268-8828 Fax: 505-268-2632

1385GRD.DWG.rth

11/30/04

Revisions

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VENTANA SQUARE AT VENTANA RANCH LOT H-2

American Southwest Development Co.

Scale: 1" = 20' Drawn By: thor Checked By: FCA Job Number: 1385 Date: SEPT 3, 2004

Drainage and
Grading Plan

C-1
81 OF