

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 14, 2005

George R. Rainhart, Registered Architect
2325 San Pedro NE, Ste. 2-B
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Blake's Lotaburger at Ventana, [B-10 / D8A]
6550 Paradise Blvd NW
Architect's Stamp Dated 07/13/05

Dear Mr. Rainhart:

P.O. Box 1293

The TCL / Letter of Certification submitted on July 14, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

TRAFFIC CERTIFICATION

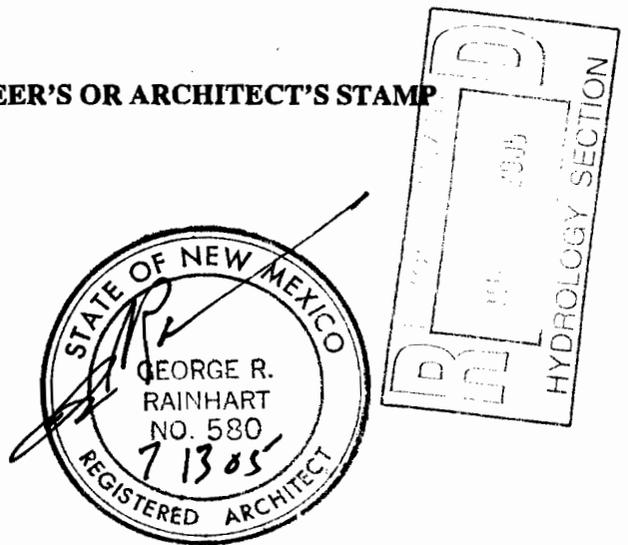
I, ~~GEORGE RAINHART~~ GEORGE RAINHART # 580, NMPE OR NMRA, OF THE FIRM GEORGE RAINHART # 580 HEREBY CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7.9.04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY _____ OF THE FIRM _____. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 6-24-05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of occupancy.

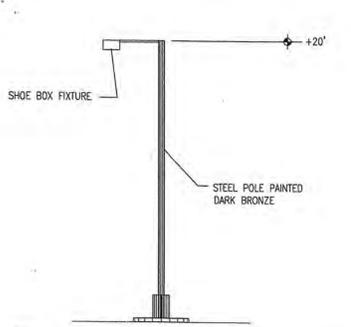
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

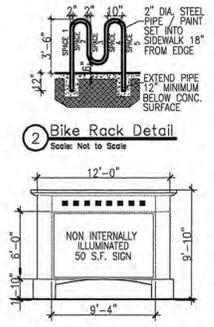
ENGINEER'S OR ARCHITECT'S STAMP

7 13 05
Date

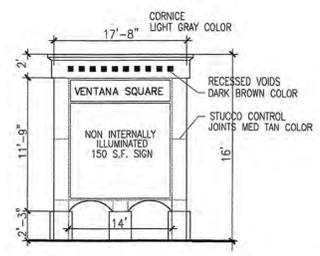




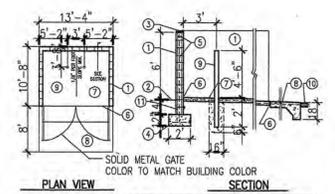
1 Site Lighting Detail
Scale: Not to Scale



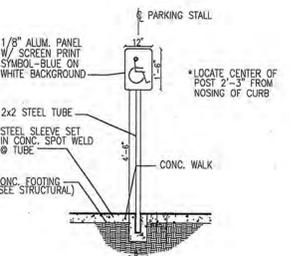
2 Bike Rack Detail
Scale: Not to Scale



3 Monument Sign Detail
Scale: Not to Scale

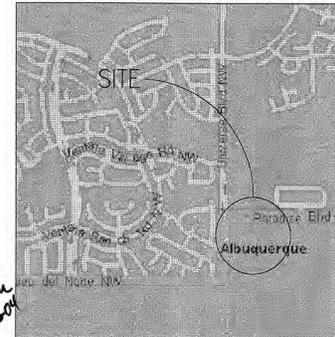


5 Refuse Enclosure
Scale: Not to Scale



6 Handicap Sign
Scale: Not to Scale

PROJECT NUMBER: 1000390
APPLICATION NUMBER: 04-01011
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.
Is an Infrastructure List required? () YES (X) NO
If yes, then a set of approved DDC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
SITE DEVELOPMENT PLAN
Traffic Engineer, Transportation Division: 8-17-04
City Engineer, Engineering Division / AMFCA: 7-14-04
City Engineer, Engineering Division / AMFCA: 7-14-04
Environmental Health Department (conditional): 6-25-04
Solid Waste Management: 8-16-04
URS Corporation, Planning Department: 8-16-04
* Environmental Health, if necessary

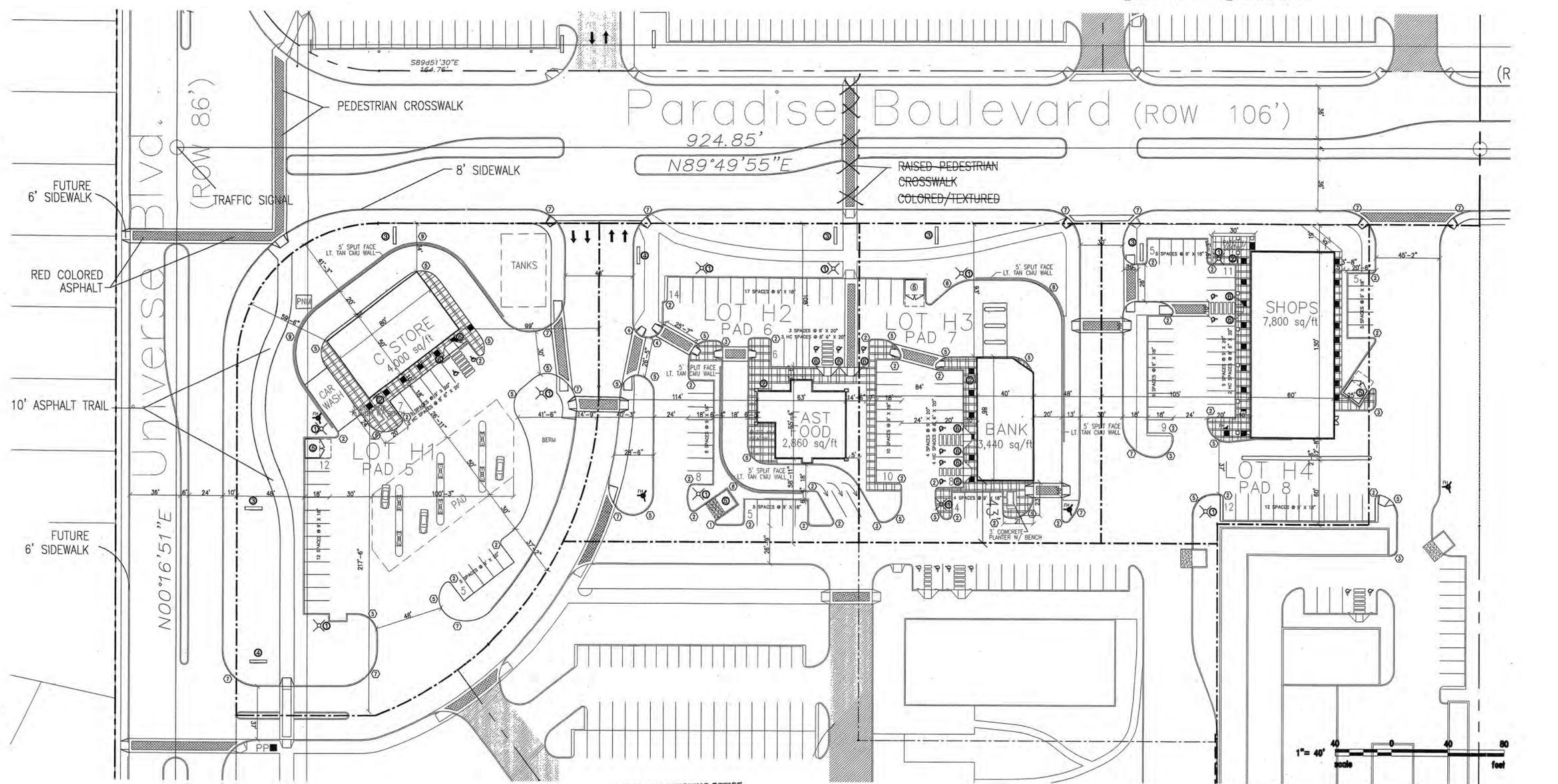


7 VICINITY MAP
Scale: Not to Scale

RADIUS INFORMATION:

1 RADIUS = 2'-0"	7 RADIUS = 25'-0"
2 RADIUS = 3'-0"	8 RADIUS = 30'-0"
3 RADIUS = 5'-0"	9 RADIUS = 40'-0"
4 RADIUS = 10'-0"	10 RADIUS = 50'-0"
5 RADIUS = 15'-0"	11 RADIUS = 60'-0"
6 RADIUS = 20'-0"	12 RADIUS = 100'-0"

NOTE: Public Easements to be granted as requirement for Certificate of Occupancy.



AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
FID 6-25-04
SIGNATURE & DATE
2860 SQFT/IN COST.

SITEPLAN
SCALE: 1" = 40'-0"

BUILDING AREA & PARKING CALCULATIONS:

LOT 1 C-STORE	4,000 SF. BUILDING	LOT SIZE=75,511.26 SQ/FT OR 1.73 AC
PARKING:	20 SPACES	
SPACES PROVIDED:	25 SPACES	
BIKE SPACE:	1 SPACE	
LOT 2 BICYCLES	2,350 SF. BUILDING	LOT SIZE=41,904.72 SQ/FT OR .96 AC
PARKING:	20 SPACES	
SPACES PROVIDED:	33 SPACES	
BIKE SPACE:	1 SPACE	
LOT 3 BANK	3,300 SF. BUILDING	LOT SIZE=38,193.40 SQ/FT OR .87 AC
PARKING:	16 SPACES	
SPACES PROVIDED:	28 SPACES	
BIKE SPACE:	1 SPACE	
LOT 4 SHOPS	7,800 SF. BUILDING	LOT SIZE=40,802.85 SQ/FT OR .93 AC
PARKING:	38 SPACES	
SPACES PROVIDED:	43 SPACES	
BIKE SPACE:	2 SPACES	

PARKING NOTES:

TYPICAL STANDARD SPACES ARE 9'-0" x 18'-0"
TYPICAL SMALL CAR SPACES ARE 7'-0" x 15'-0"
TYPICAL HANDICAP SPACES ARE 8'-0" x 20'-0"
WITH A 6' WIDE ACCESS AISLE

* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

TOTAL STANDARD PARKING SPACES PROVIDED	114 SPACES
TOTAL HC PARKING SPACES PROVIDED	13 SPACES
TOTAL PROVIDED	127 SPACES
TOTAL REQUIRED SPACES	87 SPACES
TOTAL PROVIDED SPACES	127 SPACES

LEGAL DESCRIPTION

TRACT H AT VENTANA SQUARE: LOTS 1-4
CURRENT ZONING
SU-1 FOR RESTRICTED C-2 USES
TOTAL ACREAGE
4.49 ACRES(TOTAL GROSS)

GENERAL ARCHITECTURAL DESIGN REQUIREMENTS

GENERAL ARCHITECTURAL
General architectural character for pod structures is to follow the general design concept depicted on elevations of major stores and shops. Pod buildings will be constructed with a consistent or split face concrete finish. The main building walls must be colored to match color finish floor that area. Pod walls may be colored with color matching paint or a predominantly flat-colored however perforated building areas such as parking or small extensions of building structures adjacent to the main building may have sloped roofs. These roofs are to be shed type situated above the parapet wall top and must fit the main building roofline at the top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and must fit the main building roofline at the top of the main building parapet. Building heights are limited to 25' parapet height for major building walls and 22' parapet height for pod building walls. Mission 15' pod roofs may extend above this height to accent and articulate the building mass. The approval of the site plan for each site will be delegated to the city of Albuquerque planning staff.

PAD ARCHITECTURAL DESIGN STANDARDS
Shed indicates the following elements to provide uniform standards for all pods. Each pod to follow these standards:
-The lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch split face area or smooth, color #2.
-Four or eight inch split face or smooth, color #1.
-Full concrete to be consistent finish color #1.
-Pods to be entirely finished to match of full concrete (max 50% concrete).
-Each pod development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.

MECHANICAL EQUIPMENT SCREENING
All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that a mechanical unit can be observed from the residential area, horizontal screening per the attached conceptual plan is required.

COLOR PALETTE
color #1 light tan Benjamin Moore #1032
color #2 medium dark tan dodo band base wall color
& accent Benjamin Moore #851
color #3 cement glow concrete like roofing and trim

SPECIAL BUFFERING
Pods up pick up windows to be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

BUILDING SIGNAGE
Signage on pod structures shall be internally illuminated individual letters not to exceed 6 percent of the wall area of each building elevation. Pod signs shall not exceed 20' in height. Main parking area lighting not to exceed 35' in height. Exposed, i.e. unshielded light fixtures are prohibited. All signs must be shielded above box type fixtures. Maximum light level under full copolux to be 50ft candles, from totally recessed lighting.

LANDSCAPING
Landscaping of the pods will be from the same landscaping palette and concept as provided on the master landscaping plan.

AWNINGS
Awnings are permitted above window areas. Awnings with painted or embossed concrete logos or graphics are permitted provided the area when added to other wall signage does not exceed 6 percent of the area building wall. Illumination of awnings must be from pendant mounted fixtures located in the ceiling. Awning colors are to be consistent with the general color palette and samples of the proposed awning colors are to be provided with each schematic.

GLAZING
Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.

SERVICE AREAS
Service areas such as refuse locations and composters are to be totally screened from the view of the adjacent residential area, public right-of-way and the adjacent monument area. Free-standing composter and composter locations are to be gated. Screening material to match building wall color and material.

LIGHTING
Site lighting for pod structures is to match the site lighting provided for the main parking area. Pod site lighting not to exceed 20' in height. Main parking area lighting not to exceed 35' in height. Exposed, i.e. unshielded light fixtures are prohibited. All signs must be shielded above box type fixtures. Maximum light level under full copolux to be 50ft candles, from totally recessed lighting.

FREE STANDING SIGNAGE
Five 150" x 16" tall architecturally coordinated signs are permitted, one each at the parapet level, entry to each one of the podium entry to it and one on the parapet level. Each pod building or group of pod buildings to have one (1) of maximum sign.

TRAFFIC REQUIREMENTS
All traffic requirements have been met per May 31, 1998 agreement between the city and Las Ventanas limited partnership.

PARKING
The allowed parking shall be equal to the required parking plus 10% maximum ADA requirements shall be located adjacent to building entries.

RESTRICTED USE
1. Restaurant fast food with drive up.
a. Not permitted on pods 2, 3, 4, 5 & 6-4
b. Drive up windows must be located only adjacent to Paseo Del Norte and Paradise Boulevard or on east elevation.
2. Auto repair, tire, battery, accessories, parts and detailing
a. Not permitted on pods 2, 3, 4, 5 & 6-4
b. Service areas to face internal to site
3. Retail sales of alcoholic drinks for consumption off premises within 500 feet of any residential zone
a. Limited to Major 1, 2, 3 and 4; Pod 1, 2, 3, 5, 6, 7 and 8; Shops 1 and 2

ALTERNATE USE
Concept: If one of the approved schematic alternate use plans is selected for development in lieu of the approved Site Plan for Building Permit, a complete Site Plan for Building Permit purposes will be prepared and submitted to the DSD for review and approval. (EPC review not required unless the plan for development does not match one of the alternate schematic plans). Any use that does not conform to the approved site plan or alternate use plans will require a new schematic to EPC.

REVISION

REV	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			

PROJECT TITLE
VENTANA SQ. LOTSH 1-4
SEC UNVERSE BLVD. & PARADISE BLVD.
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
MIKE SAFRANY

JOB NO.
MPS

DRAWN
MPS

DATE
6-21-04

SCALE
AS NOTED

SHEET TITLE
SITE PLAN - BLDG PERMIT

sheet
A1
of

PHONE (505) 884-9110
FAX (505) 837-8777

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110