

CITY OF ALBUQUERQUE



July 3, 2007

David Soule, P.E.
Rio Grande Engineering
1606 Central Ave. SE, Suite 201
Albuquerque, NM 87106

**Re: Villa de la Chamisa Subdivision Phase 2,
SIA/Financial Guarantee Release
Engineer's Stamp dated 5-07-04 (B10-D9)
Certification dated 7-02-07**

Dear Mr. Soule,

P.O. Box 1293

Based upon the information provided in your submittal received 7-02-07, the above referenced certification is approved for release of SIA and Financial Guarantee.

Albuquerque

If you have any questions, you can contact me at 924-3981.

New Mexico 87103

Sincerely,

A handwritten signature in black ink, appearing to read "K. D. Metro".

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: Marilyn Maldonado, COA# 741982
File



**Rio Grande
Engineering
Land Development and Civil Engineering Services**

June 27, 2007

Mr. Jeremy Hoover
Senior Engineer-Hydrology Section
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Villa De La Chamisa unit 2 (B10-D9)
Grading and drainage Plan certification
Albuquerque, New Mexico**

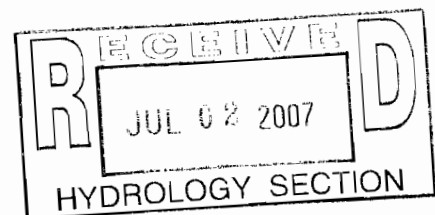
Dear Mr. Hoover:

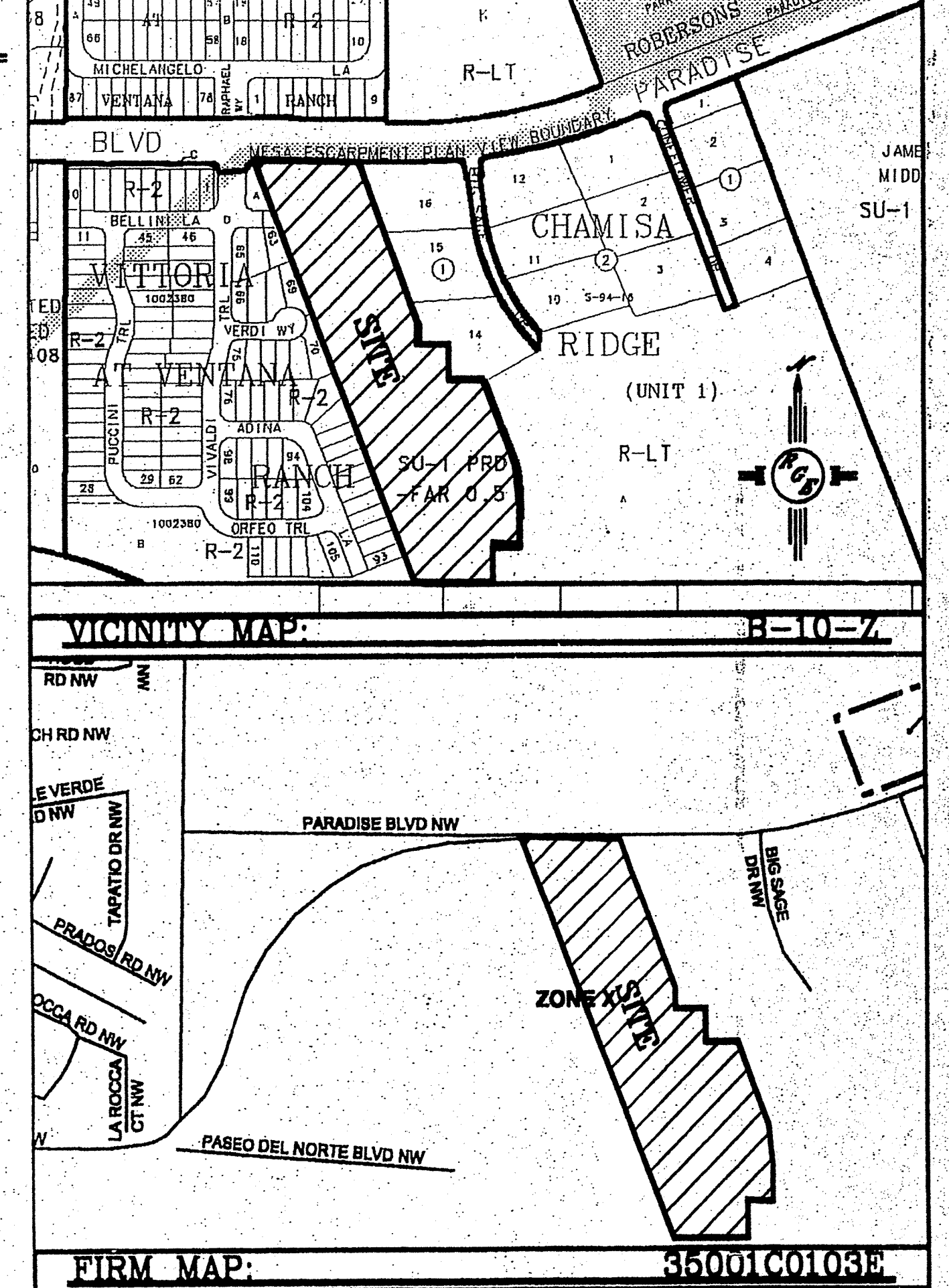
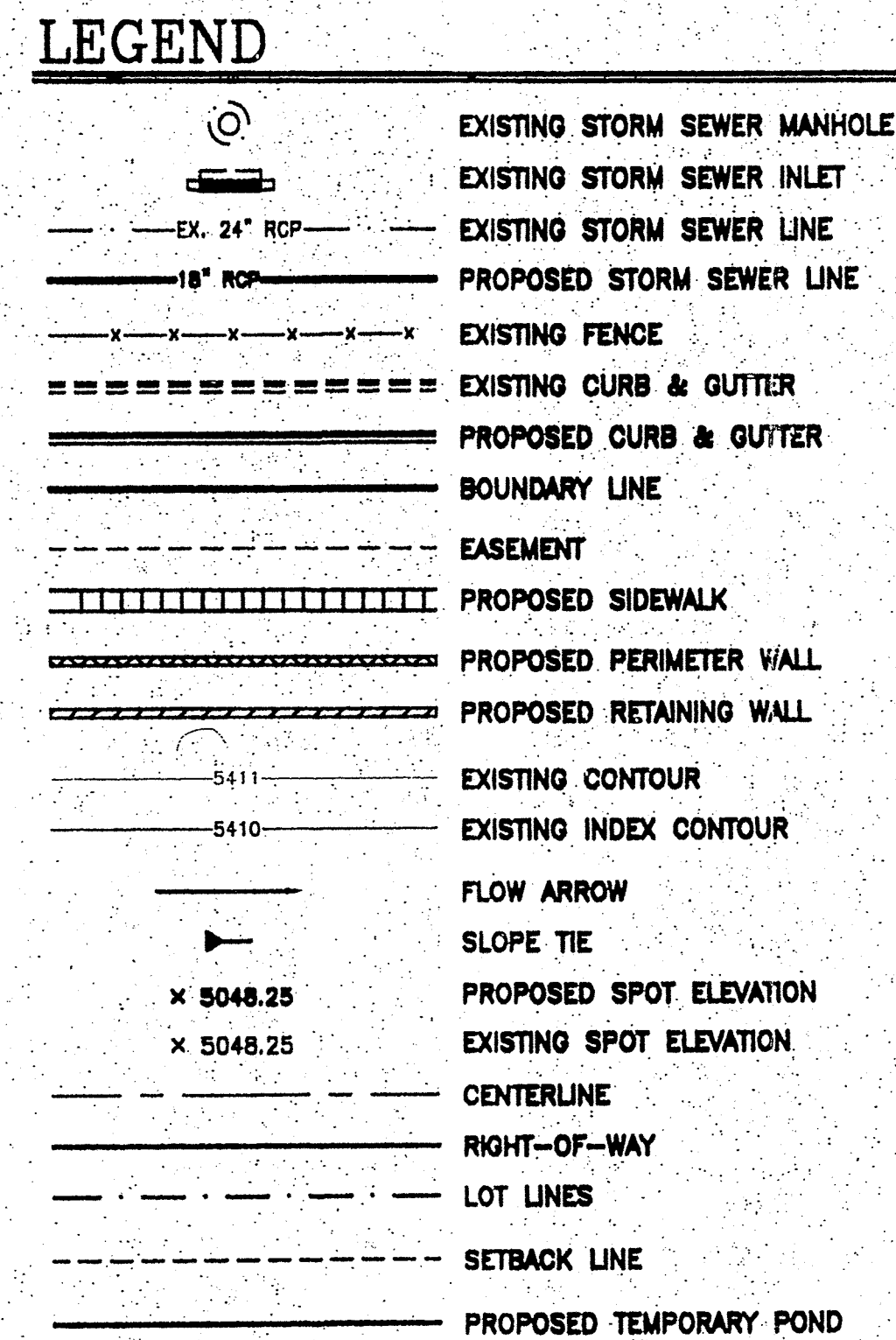
The purpose of this letter is to accompany the enclosed grading and drainage plan certification. The site has been completed for quite sometime. I forgot to submit the certification sooner. Therefore I humbly ask for you to review this submittal soon and inform Pamela upstairs that it has been done.

Sincerely,

David Soule, PE
RIO GRANDE ENGINEERING
1606 CENTRAL SE, SUITE 201
ALBUQUERQUE, NM 87106

Enclosures





LEGAL DESCRIPTION:
TRACT 1, LANDS OF MARIN

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO BE STANDARD PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
3. ALL INTERIOR REAR YARD SCREEN WALLS (WHERE THE WALL IS INSIDE OF RETAINING WALL) SHALL HAVE EVERY FOURTH BLOCK TURNED FOR DRAINAGE.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

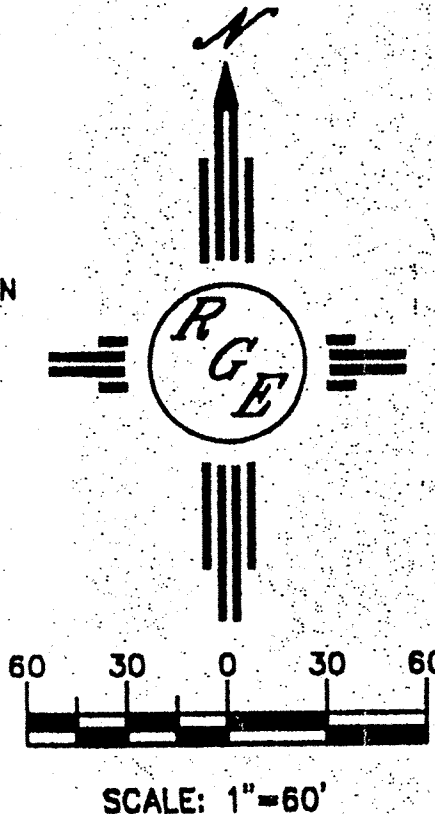
— 5 TEMPORARY DRAINAGE
EASEMENT (8-28-85, 5
1 David Soule, NPMPS #14322, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intended of the approved plan dated 5/7/04. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as built survey was provided by Russ Hugg NPMPS 9750. The certification is submitted in support of a request for Release of Financial Guarantee. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



TEMPORARY RETENTION POND
TOP OF POND=PROPOSED SPOT ELEVATIONS
BOTTOM OF POND=5388.50
TEMPORARY RETENTION POND
WILL BE ELIMINATED WITH
CONSTRUCTION OF PERMANENT
STORM DRAIN TO SOUTH
POND VOLUME=1.17 AC FT
VOLUME (100 YEAR-10 DAY)=1.013 AC FT
OVERFLOW TO STREET

END TEMPORARY 18" RCP W/FLARED
END SECTION
LEAN FILL PIPE AND ABANDON PIPE
W/COMPLETION OF PERMANENT STORM DRAIN
TO THE SOUTH
INV OUT=5396.50V

BUILD 2-TYPE A INLETS
PER COA STD DWG 2201,2202
GRATE=5396.00 99.94
TEMPORARY INV OUT=5397.00 96.88
FUTURE INV OUT=5396.50
LEAN FILL TEMPORARY 18" RCP INLET
W/COMPLETION OF PERMANENT STORM DRAIN
TO THE SOUTH



ROUGH GRADING APPROVAL DATE 7/22/04

ENGINEER'S SEAL	VILLA DE LA CHAMISA	DRAWN BY: WCMJ
	GRADING AND DRAINAGE PLAN	DATE 4-26-04
		2300-CRB-4-21-04X
DAVID SOULE P.E. #14522	<i>Rio Grande Engineering</i> 3300 CAMACHE ROAD NE BUILDING E SUITE 3 ALBUQUERQUE, NM 87117 (505) 874-0089	SHEET # 4 OF 13
		JOB # 2300