

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

July 14, 2022

David Ferrette  
Jeff Hatch  
200 W 36<sup>TH</sup> St.  
Boise, Idaho, NM 83714

**Re: Luxelocker Albuquerque  
San Digo Ave, NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp XX-XX-XX (B18-D031)**

Dear Mr. Ferrette,

Based upon the information provided in your submittal received 07-14-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
3. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
4. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
5. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. ADA curb ramps must be updated to current standards and have truncated domes installed.
7. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
8. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
9. Details sheet is missing.
10. List radii for all curves shown; for passenger vehicles. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
11. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.

PO Box 1293

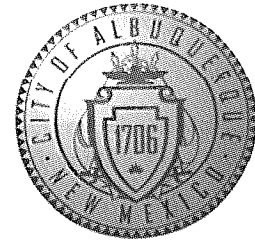
Albuquerque

NM 87103

www.cabq.gov

# CITY OF ALBUQUERQUE

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12. Define the ADA pathway from the ADA aisle, is this pathway flush all the way to the building entrance? Or are there any ramps? Please address this concern.
13. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
14. All sidewalks along streets should be placed at the property line.
15. Keynote 15: call out COA std dwg 2430 for the proposed sidewalk.
16. Provide the width for each lane for the proposed driveway access at the south side of the site.
17. Provide design details for both proposed driveway access. Curb Return access is recommended commercial site (COA std dwg 2426)
18. Provide parking barriers details.
19. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
20. Provide a copy of Fire Marshal approval.
21. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
22. Please provide a sight distance exhibit
23. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
24. Please specify the City Standard Drawing Number when applicable.
25. Provide notes showing what work is included and on the work order and the private work on site.
26. Work within the public right of way requires a work order with DRC approved plans.
27. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
28. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
29. Please provide a letter of response for all comments given.
30. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).

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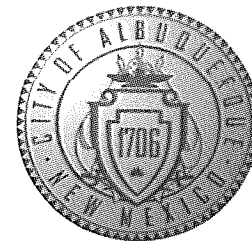
Albuquerque

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# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

PO Box 1293

ma via: email  
C: CO Clerk, File

Albuquerque

NM 87103

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# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

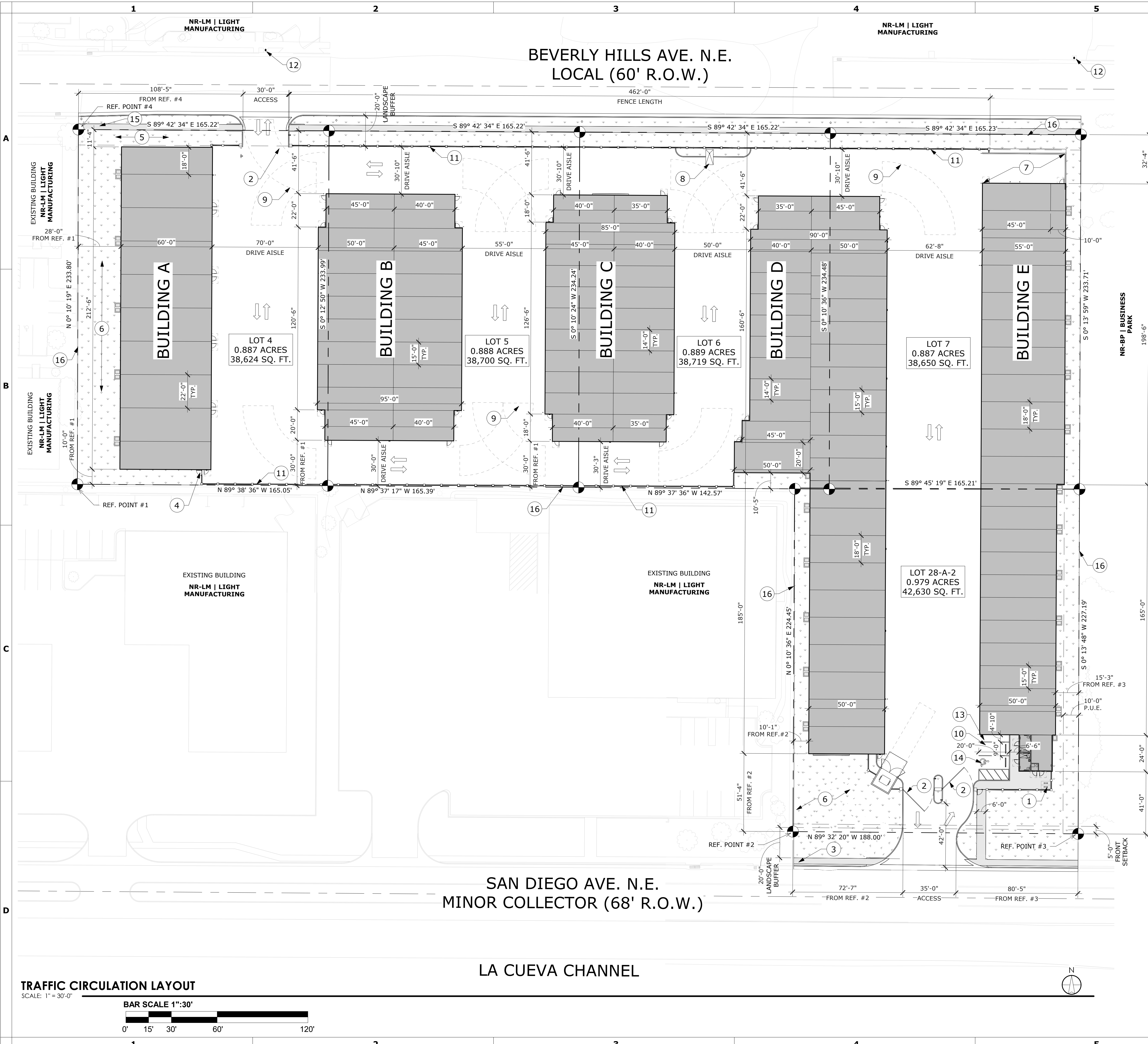
- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



### SITE RECAP

**ZONING:**  
NR-LM | LIGHT MANUFACTURING

**TOTAL PROJECT SITE:**

LOT 4	0.887 acres	38,624 SF
LOT 5	0.888 acres	38,700 SF
LOT 6	0.889 acres	38,719 SF
LOT 7	0.887 acres	38,650 SF
LOT 28-A-2	0.979 acres	42,630 SF
<b>TOTAL PROJECT SITE</b>	<b>4.530 acres</b>	<b>197,324 SF</b>

**PROPOSED BUILDING FOOTPRINT:**

BUILDING A (STORAGE)	12,750 SF
BUILDING B (STORAGE)	15,018 SF
BUILDING C (STORAGE)	13,453 SF
BUILDING D (STORAGE)	25,730 SF
BUILDING E (STORAGE)	19,696 SF
<b>TOTAL</b>	<b>86,646 SF</b>

**NET LOT COVERAGE:**

IMPERVIOUS SURFACE		
PROPOSED	84,727 SF	76.6%
LANDSCAPE AREA		
PROPOSED	25,950 SF	23.4%
<b>TOTAL NET LOT AREA</b>	<b>100.0%</b>	

**SETBACKS:**  
 FRONT - 5'-0"  
 REAR - 0'-0"  
 SIDE - 0'-0"

**PARKING:**

REQUIRED: 1 SPACE PER 3,000 SF  
 85,691 SF / 3,000 SF = 29 SPACES

HC ACCESSIBLE - 1 SPACE	
MOTORCYCLE - 1 SPACE	
BICYCLE - 3 SPACES	

PROVIDED: HC ACCESSIBLE	1 SPACES
MOTORCYCLE	1 SPACES
STANDARD	1 SPACES
IN-GARAGE	28 SPACES
<b>TOTAL</b>	<b>31 SPACES</b>
BICYCLE	4 SPACES

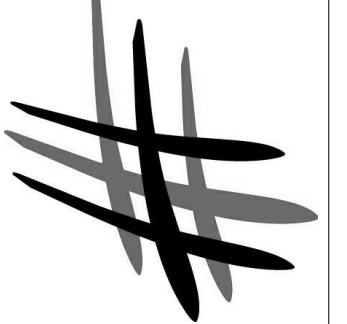
### # KEYNOTES

#	COMMENT
1	BICYCLE PARKING, SEE DETAIL 7/A-1.1.
2	ACCESS GATE W/ SIGNAGE, SEE SHEET A-1.3.
3	EXISTING 5' CONCRETE SIDEWALK, SEE CIVIL DRAWINGS.
4	FIRE DEPARTMENT ACCESS MAN GATE, SEE DETAIL 3/A-1.3.
5	PROPOSED LANDSCAPING, SEE LANDSCAPE DRAWINGS.
6	PROPOSED RETENTION POND AREA, SEE CIVIL DRAWINGS.
7	WASH BAY, SEE CIVIL DRAWINGS.
8	DUMP STATION, SEE DETAIL 7/A-1.1.
9	FIRE ENGINE CLEARANCE W/28' RADIUS.
10	STANDARD PARKING STALL, 9' x 20'
11	7'-6" TALL IRON FENCE. SEE DETAILS ON A-1.3.
12	EXISTING FIRE HYDRANT, SEE CIVIL DRAWINGS.
13	MOTORCYCLE PARKING STALL, 4' 10" x 20'
14	ADA PARKING STALL, 9' x 20'
15	PROPOSED 5' CONCRETE SIDEWALK TO MATCH EXISTING, SEE CIVIL DRAWINGS.
16	PROPERTY LINES

### GENERAL NOTES

- SEE CIVIL DRAWINGS FOR PARKING SLOPES.
- NO ON STREET PARKING PROPOSED.
- SEE SYMBOL LEGEND ON COVER SHEET.
- SEE VICINITY MAP ON COVER SHEET.
- SEE CIVIL DRAWINGS FOR UTILITY LOCATIONS.

**JEFF HATCH**  
 200 W. 36TH ST.  
 BOISE, IDAHO 83714  
 OFFICE: (208) 475-3204  
 FAX: (208) 475-3205  
 CDP# 170817 2022  
 CDP# 170817 2022  
 CDP# 170817 2022



THIS PLAN AND/OR DESIGN ARE NOT TO BE CHANGED OR COPIED IN ANY FORM, NOR ARE THE DOCUMENTS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE USER OF THIS PLAN SHALL BE RESPONSIBLE TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY THE DESIGNER. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE PLANS FROM UNAUTHORIZED REPRODUCTION. CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF ANY INTELLECTUAL PROPERTY RIGHTS AND SHALL RETAIN ALL COPYRIGHTS AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

NEW CONSTRUCTION FOR:  
**LUXELCKER ALBUQUERQUE**  
 SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

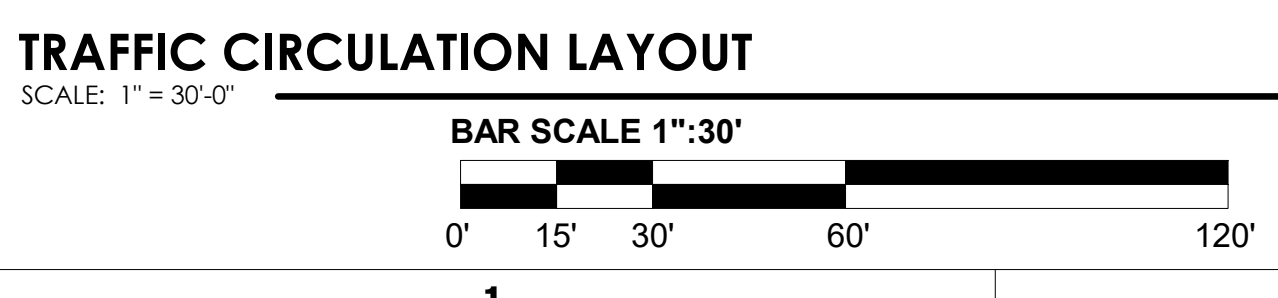
DATE	DESCRIPTION	COMMENTS

DATE: JUNE 2022  
 DRAWN BY: NL  
 CHECKED BY: JLH  
 JOB NUMBER: MKT 22

TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER  
**A-1.9**

6/21/2022 5:37:43 PM



SYMBOLS	DESCRIPTIONS
+	AERIAL PANELS
N 80000	GRID TEXT
+	GRID TICK
x	SPOT ELEVATION
☐	CACTUS
☐	PALM TREE
○	SINGLE TREE
☐	FLAG
☐	GATE
H	SIGNS
☐	BILLBOARD
☐	OVERHEAD SIGNS
+	STREET SIGN
☐	POST / BOLLARD
☐	FIRE HYDRANT
☐	METER / UTILITY
☐	MANHOLE
☐	VALVE
☐	CATCH BASIN
☐	CULVERT
☐	UTILITY POLE
☐	TRANSMISSION
☐	TV DISH
☐	LIGHT POLE
☐	TRAFFIC SIGNAL
☐	PEDESTRIAN SIGNAL
☐	STREET LIGHT
☐	STRAIGHT ARROWS
☐	DIRECTIONAL ARROWS
☐	MINE
☐	BIKE LANE
☐	HANDICAP
☐	TRAFFIC PAINT
☐	TRAFFIC PAINT
☐	BUILDING
☐	SWIMMING POOL
☐	BRIDGE
☐	CANOPY
☐	ROCKS
☐	TRAFFIC LANE PAINT
☐	PARKING STRIPES
☐	ROAD / PAVEMENT
☐	DIRT ROAD / TRAIL
☐	CURB / GUTTER
☐	CONCRETE
☐	RAILROAD
☐	FENCE
☐	RETAINING WALL
☐	GUARD RAIL
☐	INDEX CONTOUR / TEXT
☐	INTER CONTOUR
☐	INDEX DEPRESSION / TEXT
☐	INTER DEPRESSION
☐	WASH / WATER
☐	VEGETATION LINE
☐	GOLF FAIRWAY
☐	GOLF GREEN / TEE
☐	GOLF SANDTRAP
☐	FIELD / GRASS

**Project:**  
 Beverly Hills Avenue  
 (Albuquerque, NM)

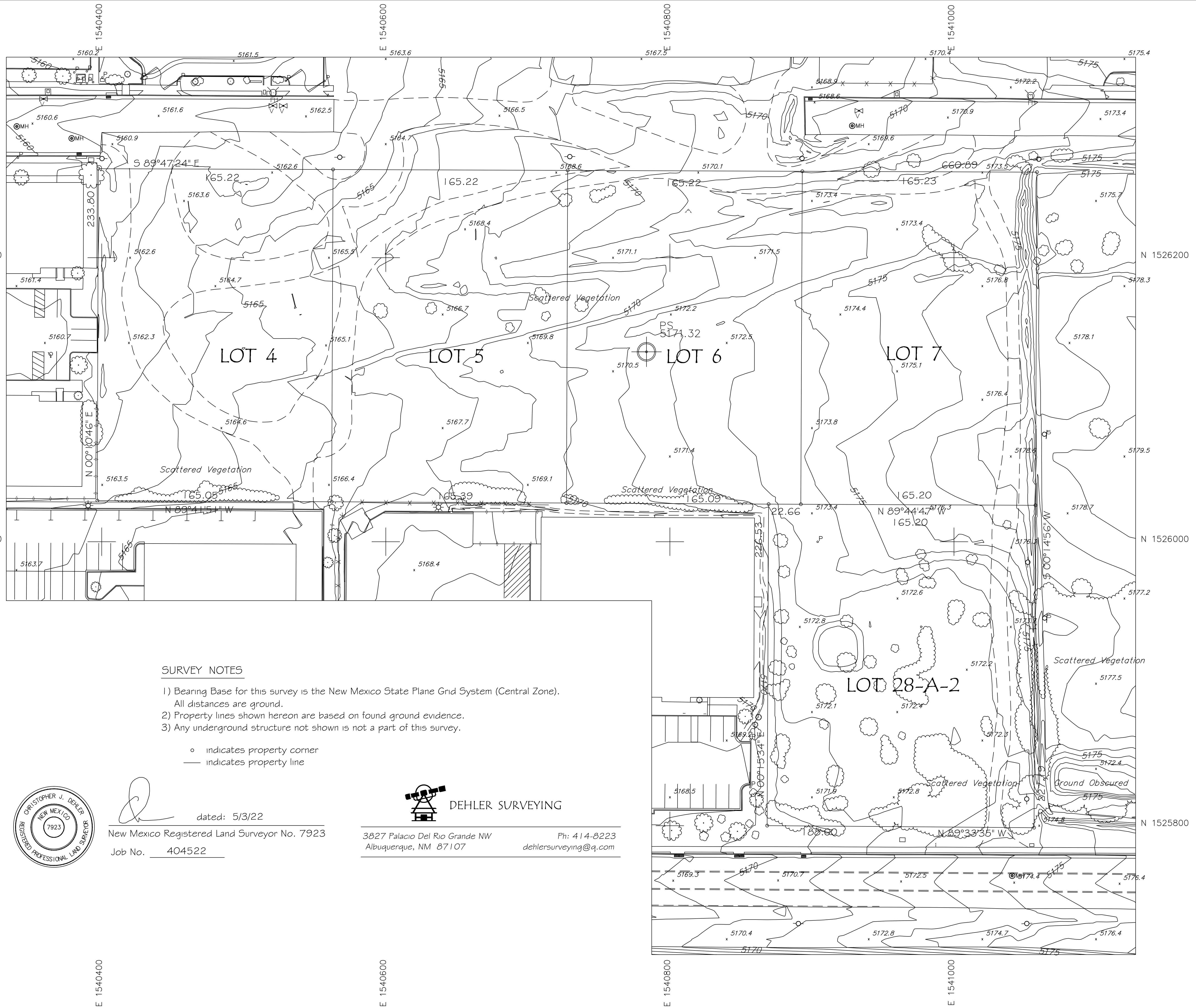
**Client:**  
 Dehler Surveying, LLC

**Flight Date:**  
 April 8, 2022  
**Photo Scale:**  
 5cm Digital

**ATM #**NM0422-014  
**Contour Interval:** 1 Foot



**Map Scale** 1" = 50'  
**Plot Scale** 1" = 40'



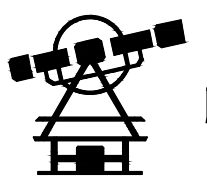
**SURVEY NOTES**

- Bearing Base for this survey is the New Mexico State Plane Grid System (Central Zone). All distances are ground.
- Property lines shown hereon are based on found ground evidence.
- Any underground structure not shown is not a part of this survey.

○ indicates property corner  
 — indicates property line



*[Signature]* dated: 5/3/22  
 New Mexico Registered Land Surveyor No. 7923  
 Job No. 404522



**DEHLER SURVEYING**

3827 Palacio Del Rio Grande NW  
 Albuquerque, NM 87107  
 Ph: 414-8223  
 dehlersurveying@q.com


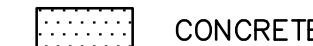
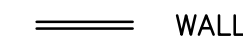





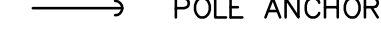
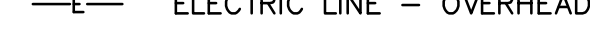



E 1540400

E 1540600

E 1540800

E 1541000

**"ALTA/NSPS LAND TITLE SURVEY FOR"**  
**LOTS 4, 5, 6 & 7,**  
**BLOCK 5,**  
**TRACT A, UNIT B,**  
**NORTH ALBUQUERQUE ACRES**  
 WITHIN THE  
**ELENA GALLEGOS GRANT**  
**PROJECTED SECTION 13**  
**TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.**  
**BERNALILLO COUNTY, NEW MEXICO**  
**APRIL, 2021**

- LEGEND**
-  CURB AND GUTTER
  -  CONCRETE
  -  WALL
  -  STORM DRAIN
  -  SIGN
  -  SANITARY SEWER MANHOLE
  -  GAS VALVE/VENT
  -  POLE W/ UG CONDUIT
  -  POLE ANCHOR
  -  ELECTRIC LINE - OVERHEAD
  -  WATER VALVE
  -  FIRE HYDRANT
  -  TELEPHONE PEDESTAL/PULL BOX

**DESCRIPTION - LOTS 4-7 - UNITED GENERAL TITLE INSURANCE COMPANY**

Lots numbered Four (4), Five (5), Six (6) and Seven (7), in Block numbered Five (5) of TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, Bernalillo County, New Mexico, as the same is shown and designated on the plot of said subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Folio 130.

**DESCRIPTION - LOTS 4 & 5 - OLD REPUBLIC NATIONAL TITLE**

Lots numbered Four (4) and Five (5) in Block numbered Five (5) of Tract "A", Unit "B" of NORTH ALBUQUERQUE ACRES, Bernalillo County, New Mexico, as the same are shown and designated on the Plat of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936.

**NOTES**


1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats and documents of record entitled:  
 PLAT OF "TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES", (04-24-1936, D-130)  
 PLAT OF "LANDS OF LEON E. & LENA MAE VINYARD" (04-07-1998, 98S-042)  
 PLAT OF "LOTS 1-A, 2-A & 3-A, BLOCK 5, TRACTS A, UNIT B, NORTH ALBUQUERQUE ACRES", (09-29-2003, 2003C-294)  
 PLAT OF "LOTS 28-A-1 AND 28-A-2, BLOCK 5, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES", (03-21-2011, 2011C-027)  
 PLAT OF "LOID'S COLLISION CENTER", (02-15-2017, 2017C-019)  
 all being records of Valencia County, New Mexico.
5. Field Survey completed April 2, 2021.
6. Title Commitment:  
 Title Company: United General Title Insurance Company  
 Underwriter: First American Title Insurance Company  
 Policy No.: 24448093 (Policy Date: March 3, 2003)  
 Land Description: Lots 4 thru 7, Block 5, Tract A, Unit B, North Albuquerque Acres  
 Title Company: Old Republic Title  
 Underwriter: Old Republic National Title Insurance Company  
 Commitment No.: 2000722 (Commitment Date: January 30, 2020)  
 Land Description: Lots 4 & 5, Block 5 Tract A, Unit B, North Albuquerque Acres
7. Address of Property: Beverly Hills Avenue NE, Albuquerque, NM 87113
8. City of Albuquerque, New Mexico IDO Zone: NR-LM
9. 100 Year Flood Zone Designation: ZONE X, as shown on Panel 129 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated August 16, 2012. This property does not lie within the 100 Year Flood Plain.
10. Encroachments: None apparent.

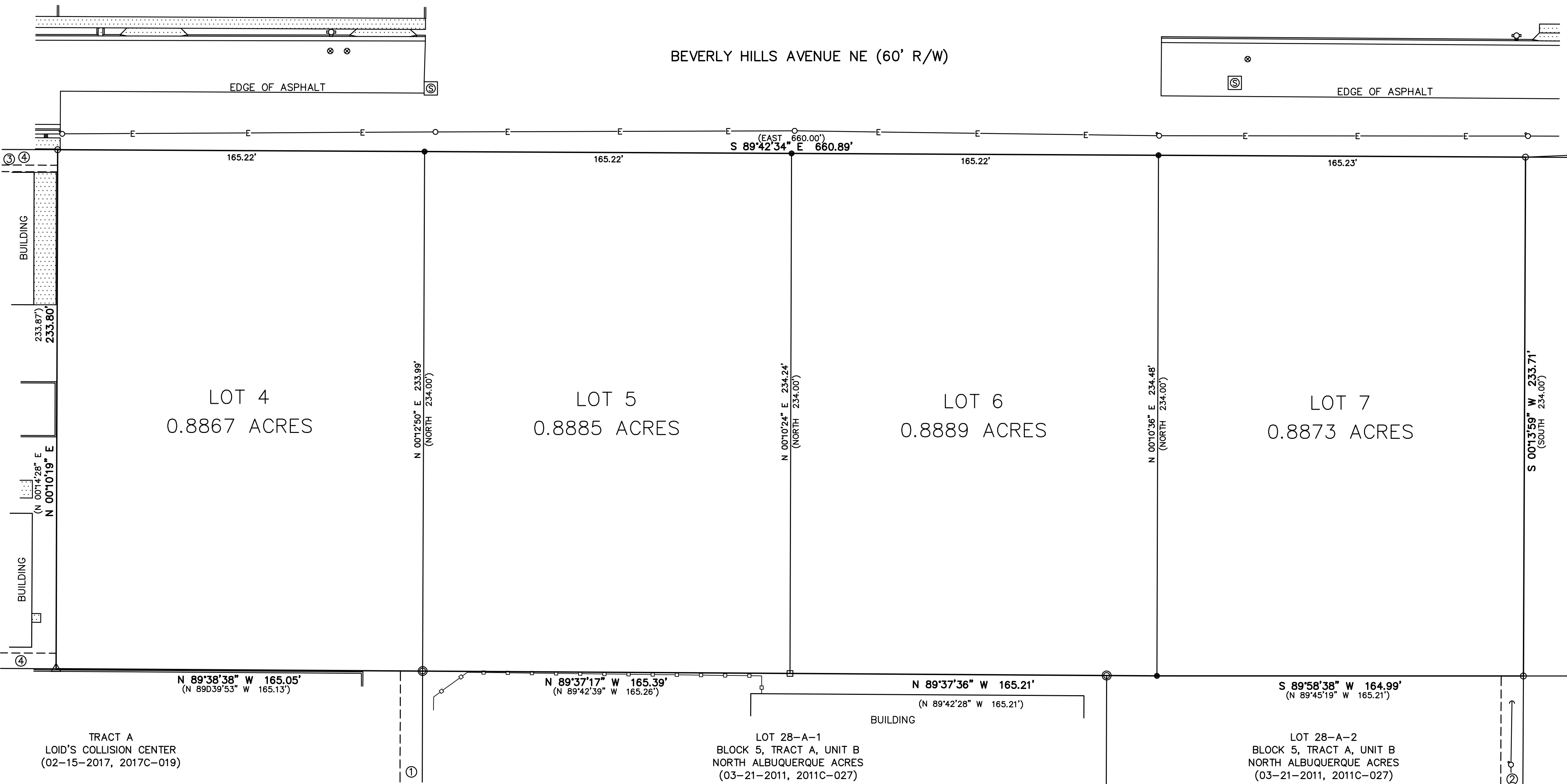
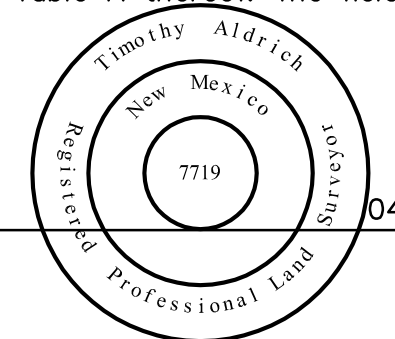
**CLIENT:** Bravo Land Investors, LLC, an Alaska limited liability company  
 Christopher M. Pacheco

**TITLE CO.:** United General Title Insurance Company  
 First American Title Insurance Company  
 Old Republic National Title Insurance Company

**SURVEYOR'S CERTIFICATION**

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 7(a), 8, 9 and 11 of Table A thereof. The field work was completed on April 2, 2021.

  
 Timothy Aldrich, NMPLS NO. 7719  
 Date 04-05-2021

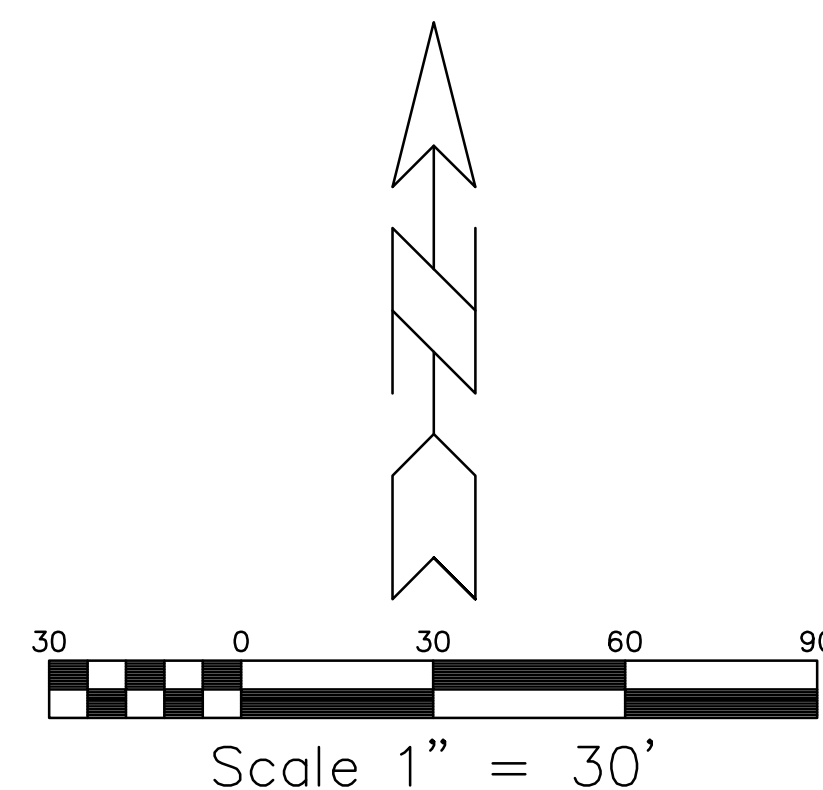


**EXISTING EASEMENTS**

- ① EXISTING 10' PNM & QWEST EASEMENT (09-26-2003, 200317168)
- ② EXISTING 10' PNM & US WEST EASEMENT (12-11-1997, 1997130574)
- ③ EXISTING 10' NMCCO EASEMENT (10-08-2004, 2004142279)
- ④ EXISTING 7' QWEST EASEMENT (04-07-2005, 2005047785)

**PROPERTY CORNERS**

- SET 1/2" REBAR WITH CAP "LS 7719"
- FOUND 1/2" REBAR WITH CAP "LS 11463"
- FOUND 5/8" REBAR WITH CAP "LS 11463"
- ⊙ FOUND 5/8" REBAR WITH CAP "LS 9750"
- ⊚ FOUND 5/8" REBAR WITH CAP "LS 11184"



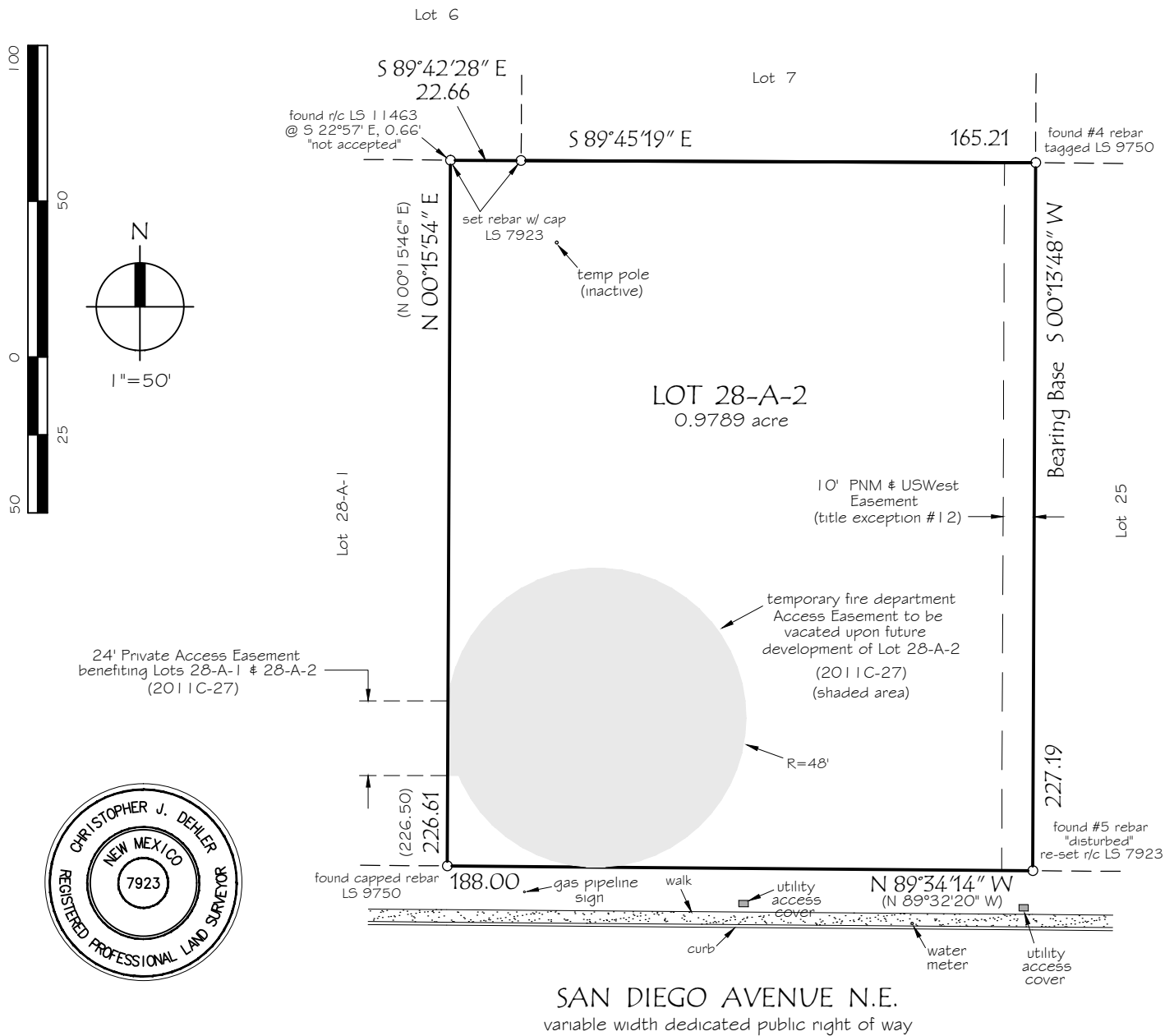
Drawn By:	TA	Date:	04-05-21
Checked By:	TA	Drawing Name:	21055ALT.DWG
Job No.:	21-055	Sheet:	1 of 1

**ALDRICH LAND SURVEYING**  
 P.O. BOX 30701, ALBU., N.M. 87190  
 505-884-1990

# BOUNDARY SURVEY

## LEGAL DESCRIPTION

Lot numbered Twenty-eight-A-2 (28-A-2), Plat of Lots 28-A-1 & 28-A-2, Block 5, Tract A, Unit B, NORTH ALBUQUERQUE ACRES, (Being a Replat of Lot 28-A, Block 5, Tract A, Unit B, North Albuquerque Acres), City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on March 21, 2011 in Plat Book 2011C, Page 27 as Document No. 2011027503.



## NOTES

- 1) Bearing Base for this survey is the east boundary of Lot 28-A-2 recorded as S 00°13'48" W (2011C-27). All distances shown are ground. Measured values that vary from record are shown in parenthesis.
- 2) Property corners are monumented as indicated.
- 3) Any underground structure not shown is not a part of this survey.
- 4) This property is subject to pertinent easements, matters of zoning, covenants, restrictions and reservations of record.
- 5) This survey shows only those easements apparent on the ground and those disclosed in the Title Binder prepared for this property by ORT Commitment # 2103390. No title search was performed by the surveyor.

## SURVEYOR'S CERTIFICATION

I, Christopher J. Dehler, New Mexico Registered Land Surveyor No. 7923, hereby certify that this Plat of Survey was prepared by me from notes of an actual field survey; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Land Surveyors and that the same is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this instrument is a Boundary Survey of an existing tract of land.

dated: May 7, 2021

New Mexico Registered Land Surveyor No. 7923

Job No. 390421



**CHRISTOPHER J. DEHLER P.L.S.**

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**FORM P: PRE-APPROVALS/SIGNATURES**

*Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.*

**Legal Description & Location:** 101806505819430722 101806507519530721 101806509219430720  
101806510819530719 101806510717230707

**Job Description:** Luxelocker - Luxury RV and Boat Storage

**Hydrology:**

- Grading and Drainage Plan  Approved  NA
- AMAFCA  Approved  NA
- Bernalillo County  Approved  NA
- NMDOT  Approved  NA
- MRGCD  Approved  NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

**Transportation:**

- Traffic Circulations Layout (TCL)  Approved  NA
- Traffic Impact Study (TIS)  Approved  NA
- Neighborhood Impact Analysis (NIA)  Approved  NA
- Bernalillo County  Approved  NA
- MRCOG  Approved  NA
- NMDOT  Approved  NA
- MRGCD  Approved  NA

\_\_\_\_\_  
Transportation Department

\_\_\_\_\_  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Water/Sewer Availability Statement/Serviceability Letter  Approved  NA
- ABCWUA Development Agreement  Approved  NA
- ABCWUA Service Connection Agreement  Approved  NA

\_\_\_\_\_  
ABCWUA

\_\_\_\_\_  
Date

- Infrastructure Improvements Agreement (IIA\*)  Approved  NA
- Solid Waste Department Signature on the plan  Approved  NA
- Fire Marshall Signature on the plan  Approved  NA

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)



# City of Albuquerque



## Legend

- Bernalillo County Parcels
- Municipal Limits**
  - Corrales
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED

## Notes

