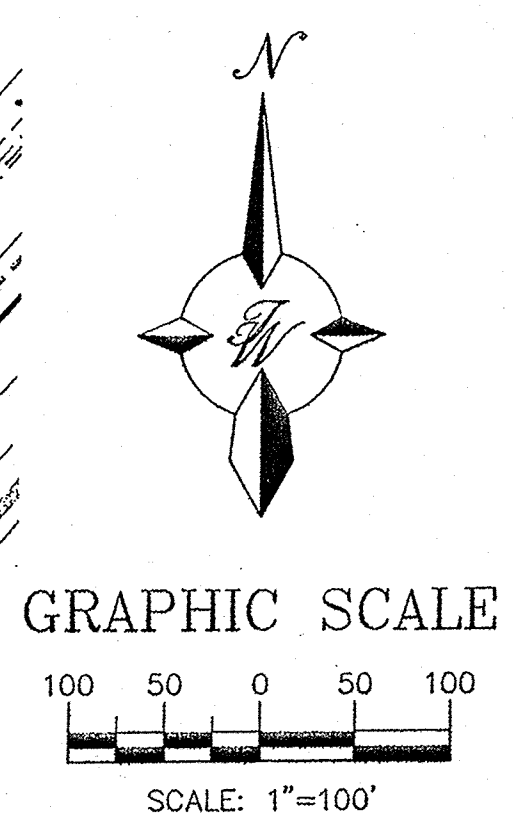
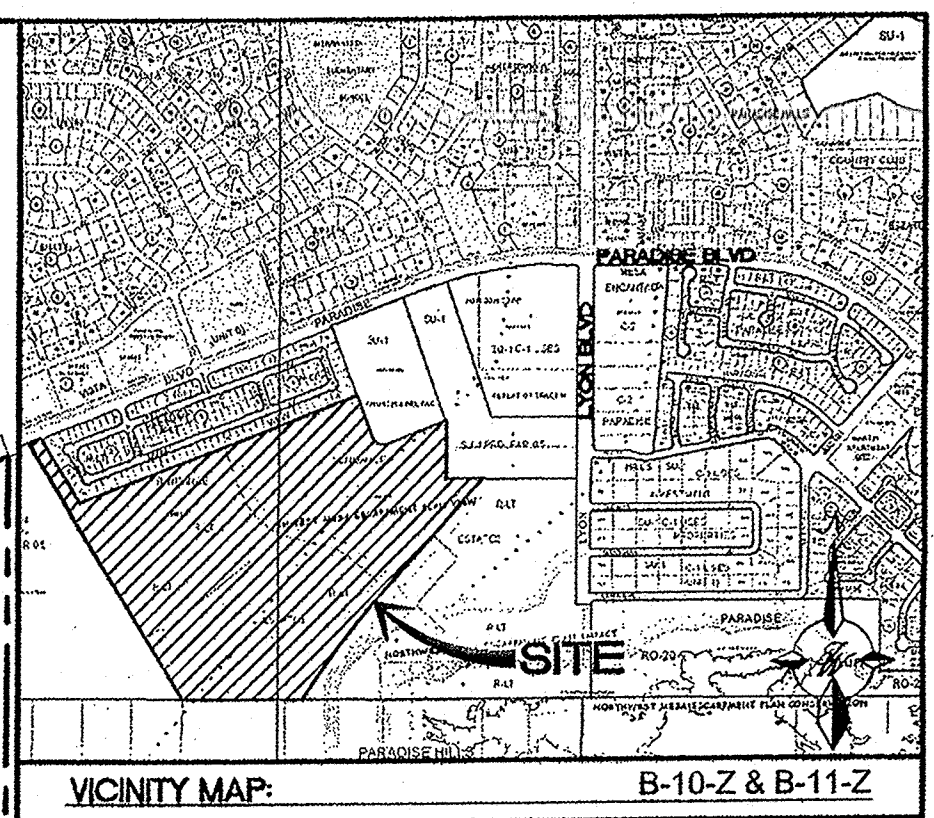
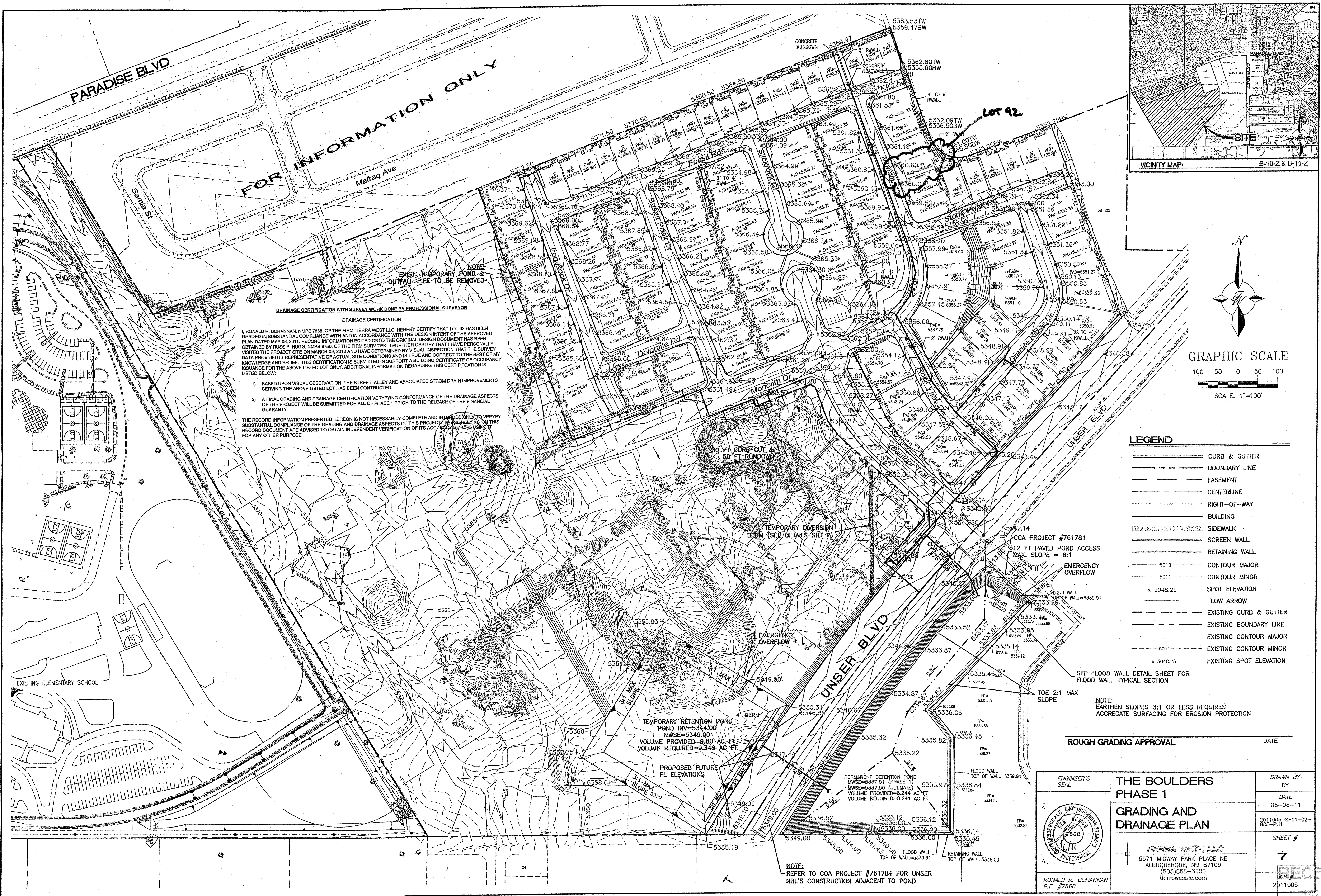




FOR INFORMATION ONLY

EXISTING TEMPORARY POND & OUTFALL PIPE TO BE REMOVED

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NMPE 7888, OF THE FIRM TIERRA WEST LLC, HEREBY CERTIFY THAT LOT 92 HAS BEEN GRADED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MAY 08, 2011. RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS P. HUGO, NMPS 8760, OF THE FIRM SURVEX, I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON MARCH 09, 2012 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A BUILDING CERTIFICATE OF OCCUPANCY ISSUANCE FOR THE ABOVE LISTED LOT ONLY. ADDITIONAL INFORMATION REGARDING THIS CERTIFICATION IS LISTED BELOW:

- 1) BASED UPON VISUAL OBSERVATION, THE STREET, ALLEY AND ASSOCIATED STORM DRAIN IMPROVEMENTS SERVING THE ABOVE LISTED LOT HAS BEEN CONSTRUCTED.
- 2) A FINAL GRADING AND DRAINAGE CERTIFICATION VERIFYING CONFORMANCE OF THE DRAINAGE ASPECTS OF THE PROJECT WILL BE SUBMITTED FOR ALL OF PHASE 1 PRIOR TO THE RELEASE OF THE FINANCIAL GUARANTEE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. BEFORE USING THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - SCREEN WALL
 - RETAINING WALL
 - 5010 — CONTOUR MAJOR
 - 5011 — CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATION

SEE FLOOD WALL DETAIL SHEET FOR FLOOD WALL TYPICAL SECTION

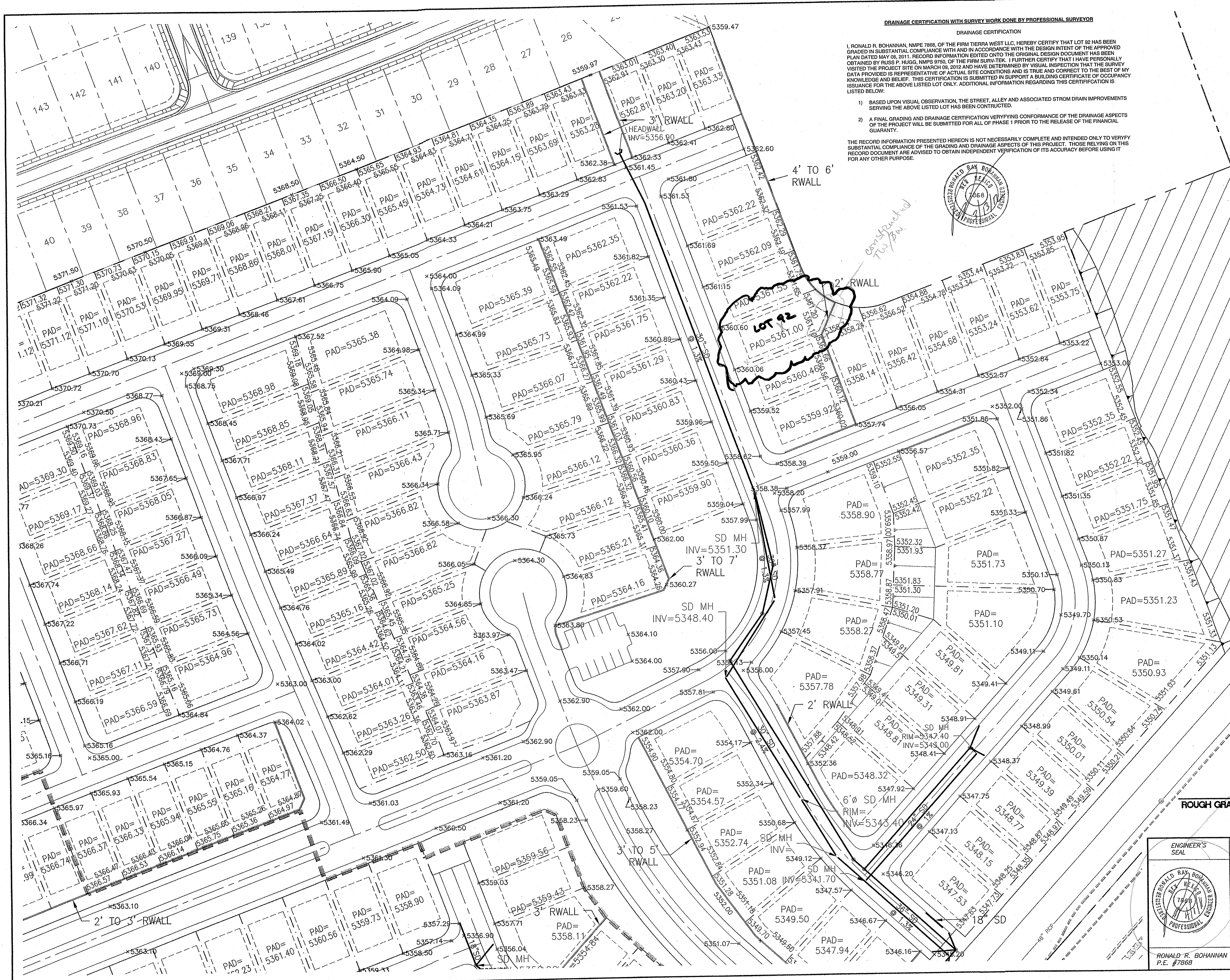
NOTE: EARTHEN SLOPES 3:1 OR LESS REQUIRES AGGREGATE SURFACING FOR EROSION PROTECTION

ROUGH GRADING APPROVAL _____ **DATE** _____

	THE BOULDERS PHASE 1 GRADING AND DRAINAGE PLAN	DRAWN BY DY
		DATE 05-06-11
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)856-3100 tierrawestllc.com	2011005-SH01-02- GRE-PH1
		SHEET # 7 JUN 14 2012

RECEIVED

HYDROLOGY SECTION



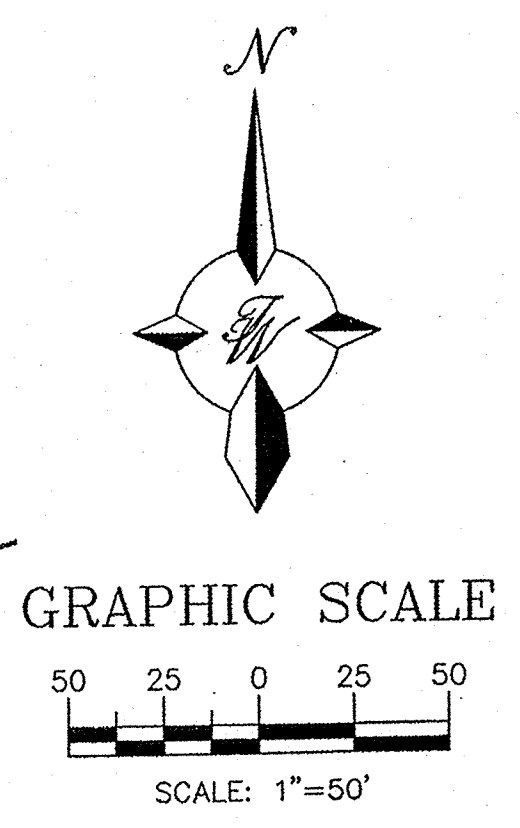
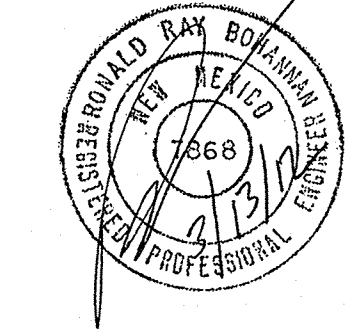
DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NMPE 7868, OF THE FIRM TIERRA WEST LLC, HEREBY CERTIFY THAT LOT 92 HAS BEEN GRADED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MAY 06, 2011. I FURTHER CERTIFY THAT I HAVE PERSONALLY OBTAINED BY RUSS P. HUGG, NMPS 9760, OF THE FIRM SURV-TEK, I FURTHER CERTIFY THAT THE SURVEY VISITED THE PROJECT SITE ON MARCH 09, 2012 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT A BUILDING CERTIFICATE OF OCCUPANCY ISSUANCE FOR THE ABOVE LISTED LOT ONLY. ADDITIONAL INFORMATION REGARDING THIS CERTIFICATION IS LISTED BELOW:

- 1) BASED UPON VISUAL OBSERVATION, THE STREET, ALLEY AND ASSOCIATED STORM DRAIN IMPROVEMENTS SERVING THE ABOVE LISTED LOT HAS BEEN CONSTRUCTED.
- 2) A FINAL GRADING AND DRAINAGE CERTIFICATION VERIFYING CONFORMANCE OF THE DRAINAGE ASPECTS OF THE PROJECT WILL BE SUBMITTED FOR ALL OF PHASE 1 PRIOR TO THE RELEASE OF THE FINANCIAL GUARANTEE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

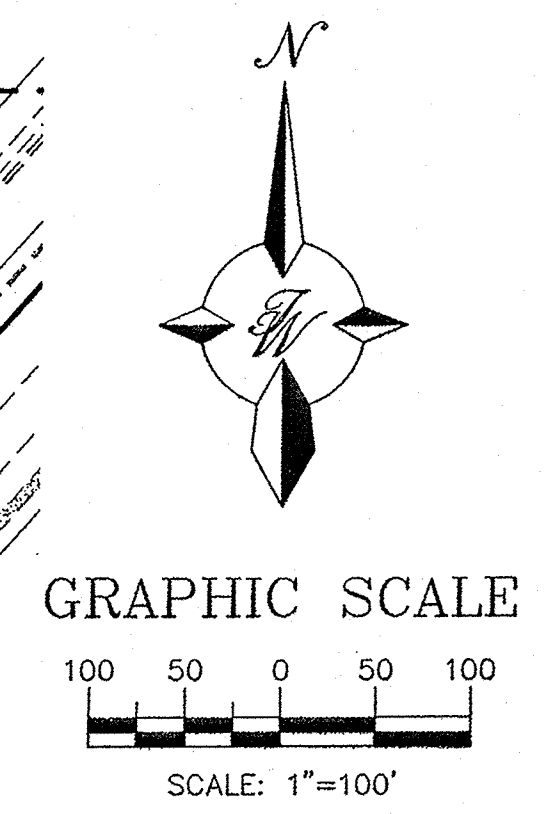
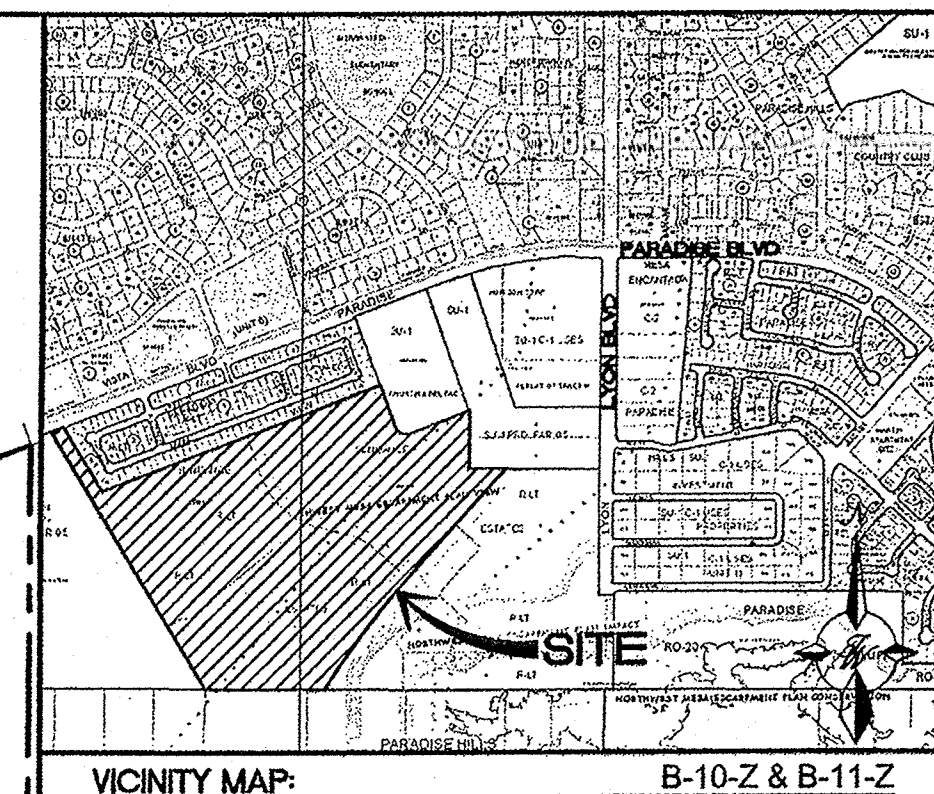
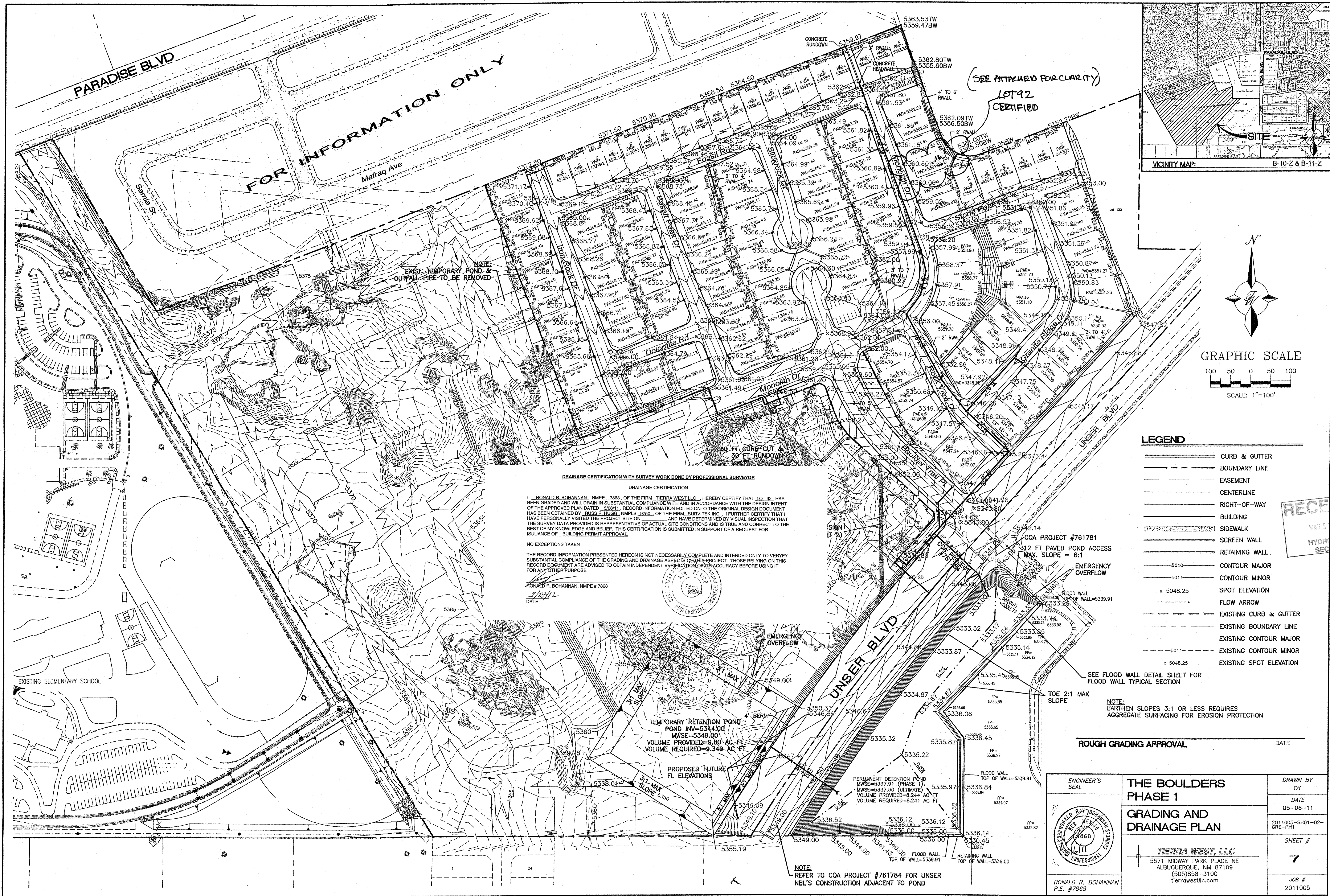


- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - SCREEN WALL
 - RETAINING WALL
 - 5010 — CONTOUR MAJOR
 - 5011 — CONTOUR MINOR
 - × 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - 5010 — EXISTING CONTOUR MAJOR
 - 5011 — EXISTING CONTOUR MINOR
 - × 5048.25 EXISTING SPOT ELEVATION

ROUGH GRADING APPROVAL

DATE

 RONALD R. BOHANNAN P.E. #7868	THE BOULDERS PHASE 1 GRADING AND DRAINAGE PLAN	DRAWN BY DY
		DATE 03-11-11
		2011005-GRE-PH1
		SHEET # 2
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com		JOB # 2011005
		HYDROLOGY SECTION



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SCREEN WALL
 - RETAINING WALL
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 - CONTOUR MINOR
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 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATION

RECEIVED
MAR 27 2012
HYDROLOGY
SECTION

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, N.M.P.E. #7868, OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT LOT 92, HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/08/11. RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS P. HUGG, N.M.P.S. #7850, OF THE FIRM, SURVITEK, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON [DATE] AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ISSUANCE OF A BUILDING PERMIT APPROVAL.

NO EXCEPTIONS TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RONALD R. BOHANNAN, N.M.P.E. #7868
3/12/12
DATE

	THE BOULDERS PHASE 1 GRADING AND DRAINAGE PLAN		DRAWN BY DY
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com		DATE 05-06-11
			2011005-SH01-02- GRE-PH1
			SHEET # 7

NOTE:
REFER TO COA PROJECT #761784 FOR UNSER
NBL'S CONSTRUCTION ADJACENT TO POND

ROUGH GRADING APPROVAL _____ **DATE** _____

NOTE:
EARTHEN SLOPES 3:1 OR LESS REQUIRES
AGGREGATE SURFACING FOR EROSION PROTECTION

COA PROJECT #761781
12 FT PAVED POND ACCESS
MAX. SLOPE = 6:1

**EMERGENCY
OVERFLOW**

**SEE FLOOD WALL DETAIL SHEET FOR
FLOOD WALL TYPICAL SECTION**

**TOE 2:1 MAX
SLOPE**

PERMANENT DETENTION POND
MUSE=5337.91 (PHASE 1)
MUSE=5337.50 (ULTIMATE)
VOLUME PROVIDED=8,244 AC FT
VOLUME REQUIRED=8,241 AC FT

TEMPORARY RETENTION POND
POND INV=5344.00
MUSE=5349.00
VOLUME PROVIDED=9,80 AC FT
VOLUME REQUIRED=9,349 AC FT

**EMERGENCY
OVERFLOW**

**50 FT CURB CUT &
30 FT RUNDOWN**

**50 FT CURB CUT &
30 FT RUNDOWN**

**50 FT CURB CUT &
30 FT RUNDOWN**

**50 FT CURB CUT &
30 FT RUNDOWN**

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30 FT RUNDOWN**

**50 FT CURB CUT &
30 FT RUNDOWN**

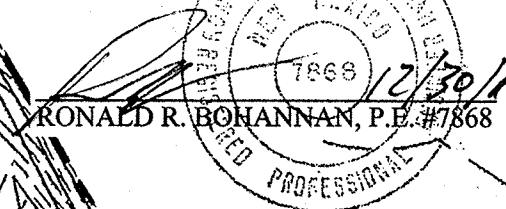
**50 FT CURB CUT &
30 FT RUNDOWN**

I, RONALD R. BOHANNAN, NMPE 5808 OF THE FIRM TIERRA WEST LLC HEREBY CERTIFY THAT THE PADS FOR LOTS 70, 71, 74 & 75 OF THE BOULDERS SUBDIVISION, HAVE BEEN GRADED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MAY 06, 2011. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS P. HUGG, NMPS 9750, OF SURVEX, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 29, 2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF THE ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF BUILDING PERMIT ISSUANCE FOR THE ABOVE LISTED MODEL LOTS ONLY. ADDITIONAL INFORMATION REGARDING THIS CERTIFICATION IS LISTED BELOW:

1. BASED UPON VISUAL OBSERVATION, THE STREETS, ALLEYS, AND ASSOCIATED STORM DRAIN IMPROVEMENTS SERVING THE ABOVE LISTED LOTS HAVE BEEN CONSTRUCTED.

2. A FINAL GRADING AND DRAINAGE CERTIFICATION VERIFYING PERFORMANCE OF THE DRAINAGE ASPECTS OF THE PROJECT WILL BE SUBMITTED FOR ALL OF PHASE 1 PRIOR TO RELEASE OF THE FINANCIAL GUARANTEE, AND PRIOR TO THE ISSUANCE OF THE REMAINING LOTS' BUILDING PERMITS.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



FORMATION ONLY

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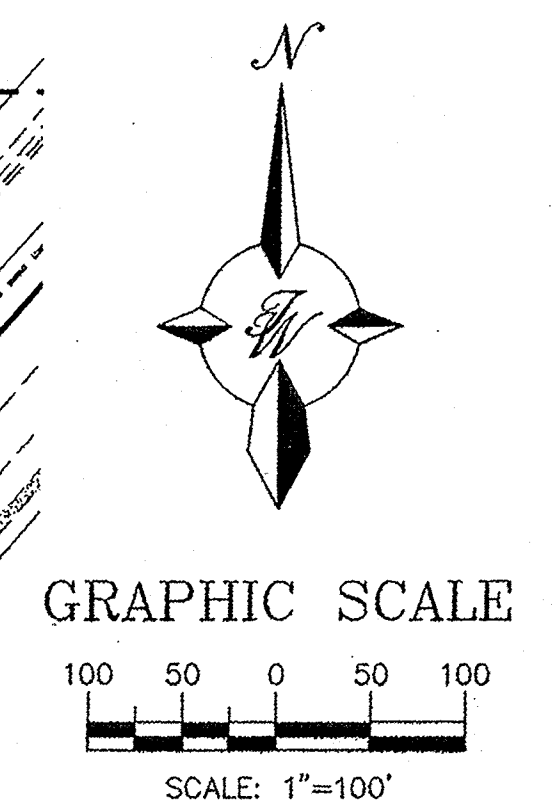
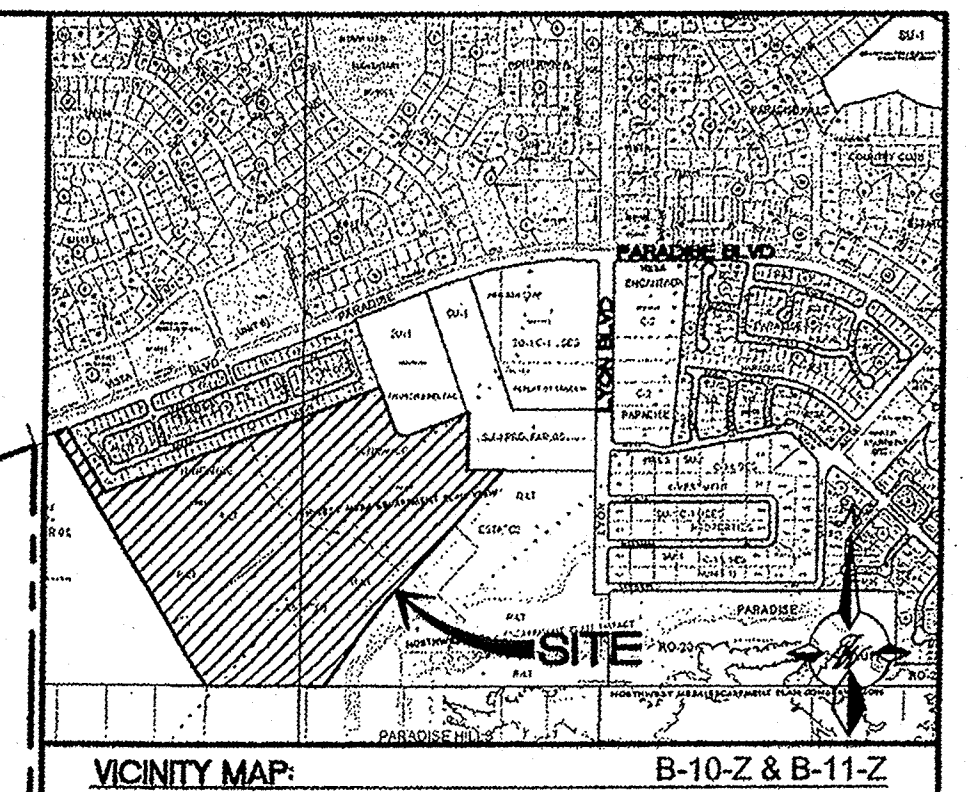
NOTE:
EXIST. TEMPORARY POND &
OUTFALL PIPE TO BE REMOVED

EXISTING ELEMENTARY SCHOOL

TEMPORARY RETENTION POND
POND INV=5344.00
MWSE=5349.00
VOLUME PROVIDED=9.80 AC FT
VOLUME REQUIRED=9.349 AC FT

PROPOSED FUTURE
FL ELEVATIONS

NOTE:
REFER TO COA PROJECT #761784 FOR UNSER
NBL'S CONSTRUCTION ADJACENT TO POND



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION

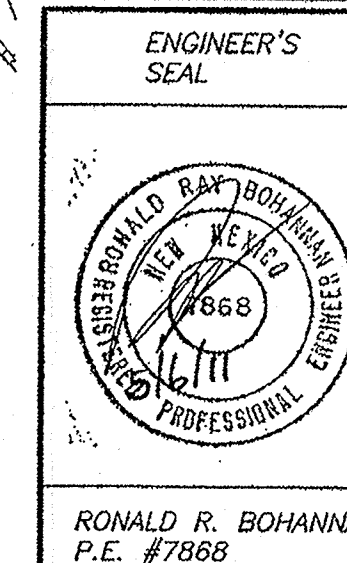
SEE FLOOD WALL DETAIL SHEET FOR
FLOOD WALL TYPICAL SECTION

NOTE:
EARTHEN SLOPES 3:1 OR LESS REQUIRES
AGGREGATE SURFACING FOR EROSION PROTECTION

ROUGH GRADING APPROVAL

DATE

FOR INFORMATION ONLY

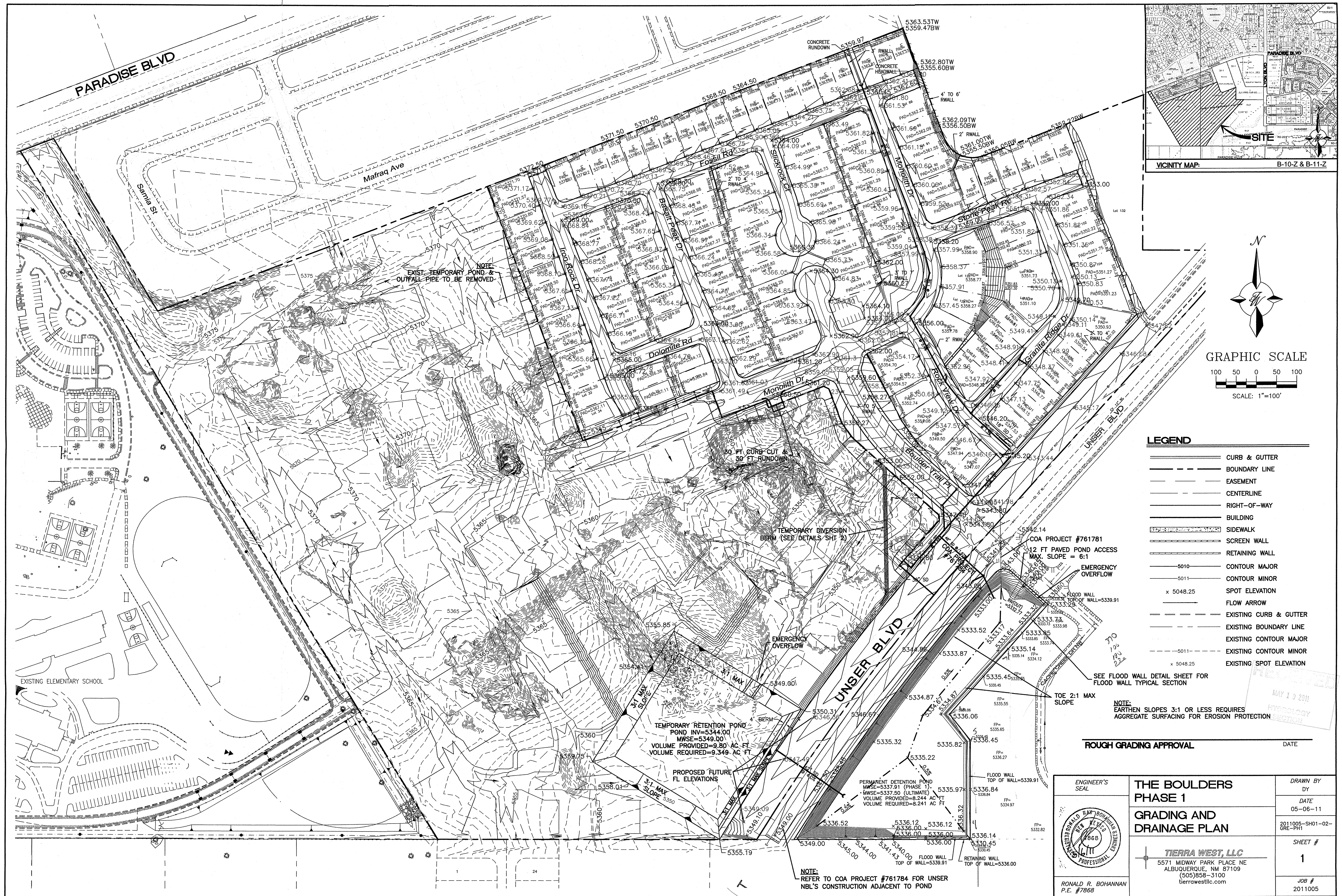


THE BOULDERS
PHASE 1
GRADING AND
DRAINAGE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
tierrawestllc.com

DRAWN BY
DY
DATE
05-06-11
2011005-SH01-02-
GRE-PH1
SHEET #
7
JOB #
2011005

RECEIVED
JAN - 9 2012
HYDROLOGY
SECTION



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - SCREEN WALL
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 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATION

ROUGH GRADING APPROVAL

NOTE:
EARTHEN SLOPES 3:1 OR LESS REQUIRES
AGGREGATE SURFACING FOR EROSION PROTECTION

SEE FLOOD WALL DETAIL SHEET FOR
FLOOD WALL TYPICAL SECTION

TOE 2:1 MAX
SLOPE

EMERGENCY OVERFLOW

12 FT PAVED POND ACCESS
MAX. SLOPE = 6:1

COA PROJECT #761781

TEMPORARY DIVERSION
BERM (SEE DETAILS SHEET 2)

50 FT CURB CUT &
50 FT RUNDOWN

EXIST. TEMPORARY POND &
OUTFALL PIPE TO BE REMOVED

PROPOSED FUTURE
FL ELEVATIONS

TEMPORARY RETENTION POND
POND INV=5344.00
MWSE=5349.00
VOLUME PROVIDED=9.80 AC-FT
VOLUME REQUIRED=9.349 AC-FT

PERMANENT DETENTION POND
MWSE=5337.91 (PHASE 1)
MWSE=5337.50 (ULTIMATE)
VOLUME PROVIDED=8.244 AC-FT
VOLUME REQUIRED=8.241 AC-FT

DATE

DRAWN BY
DY

DATE
05-06-11

2011005-SH01-02-
GRE-PH1

SHEET #
1

JOB #
2011005

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
tierrawestllc.com

RONALD R. BOHANNAN
P.E. #7868

ENGINEER'S
SEAL

THE BOULDERS
PHASE 1
GRADING AND
DRAINAGE PLAN

DATE

DRAWN BY

DATE

2011005-SH01-02-
GRE-PH1

SHEET #

JOB #

2011005

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ALBUQUERQUE, NM 87109
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tierrawestllc.com

RONALD R. BOHANNAN
P.E. #7868

ENGINEER'S
SEAL