



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 11, 2001

Mark Burak
Burak Civil Engineering Consulting
1512 Sagebrush Trail SE
Albuquerque, New Mexico 87123

**RE: Grading and Drainage Report for Paradise Vista Subdivision (B11-D2A) Received
February 14, 2001**

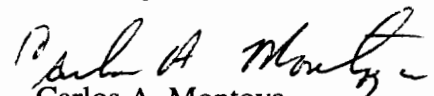
Dear Mr. Burak:

The above referenced plan dated January 10, 2001 is approved for Preliminary Plat, and Site Development Plan for Subdivision actions at DRB.

Prior to Building Permit release the Engineer will certify the proposed subdivision.

If you have any questions please contact me at 924-3982.

Sincerely,


Carlos A. Montoya
City/County Floodplain Adm.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 21, 2001

Mark Burak
Burak Civil Engineering Consulting
1512 Sagebrush Trail SE
Albuquerque, New Mexico 87123

**RE: Grading and Drainage Report for Paradise Vista Subdivision (B11-D2A) Received
February 14, 2001**

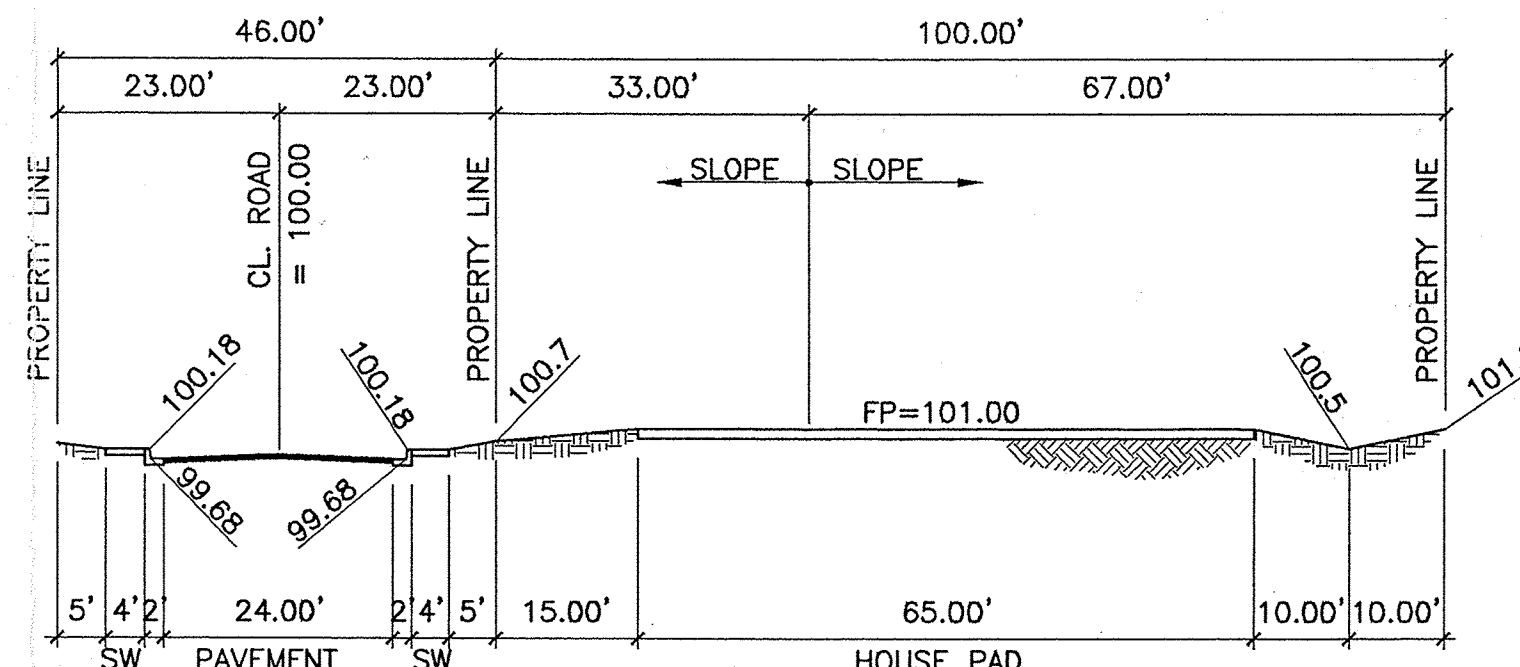
Dear Mr. Burak:

I had previously approved the referenced drainage plan. I visited the site last week and noticed the low drive pads on the east side of Justin Drive. These drive pads have a minimum water block to the private property. Please address this situation. I realize that runoff from the subdivision would start on the west side of Justin until it spills over the street crown. However, at this point would we have public water going into private property? I would appreciate your earliest response to this question.

If you have any questions please contact me at 924-3982.

Sincerely,

Carlos A. Montoya
City Floodplain Adm.



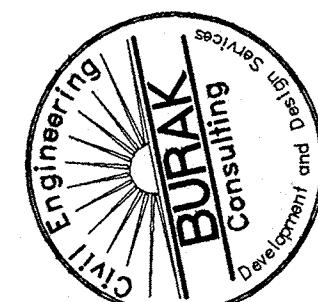
SECTION

City Hydrology Division February 14, 2007

SCALE: 1" = 50'

1 OF 2

CHECKED BY:



Mark H. Burak, P.E.
1512 Sagebrush Trail SE
Albuquerque, New Mexico, 87123
(505) 296-0461

On December 7th, 1996 I, Mark H. Burak, P.E. conducted an onsite field inspection of this property. Since this time, no grading has occurred. Due to the nature of my contract with AMAFCA, I will not participate in the review process concerning this project.

Signed Mark Burak
Mark H. Burak, P.E. No. 10987

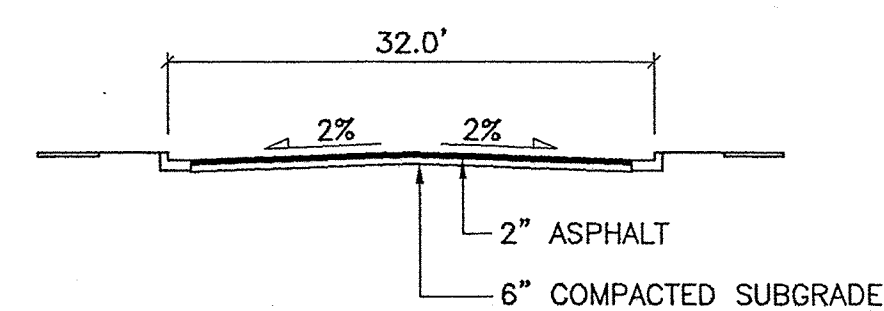
PARADISE HILLS INVESTMENT PROPERTIES
UNIT 1

SEE COA STD. DETAIL
DWG. 2236 FOR (4)
2" SIDEWALK CULVERTS

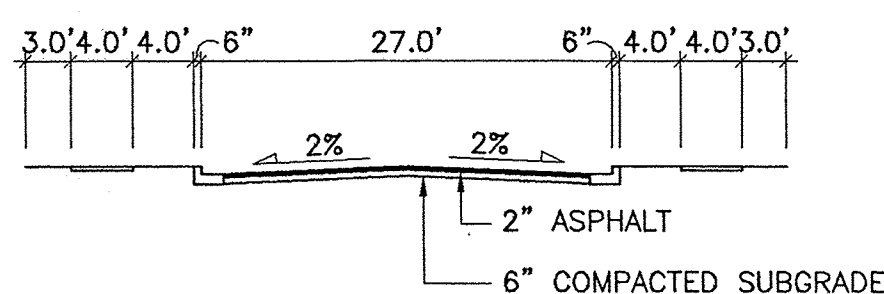
AREA B 18 cfs
FULLY DEVELOPED

SEE COA STD. DETAIL
DWG. 2236 FOR (4)
2" SIDEWALK CULVERTS

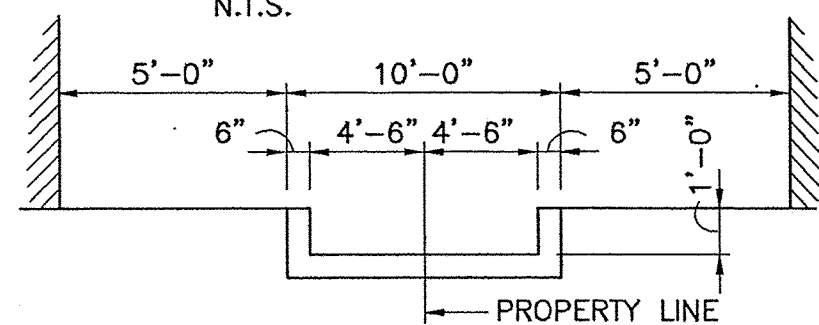
AREA C 19 cfs
FULLY DEVELOPED



BUGLO AVE. STREET SECTION
N.T.S.

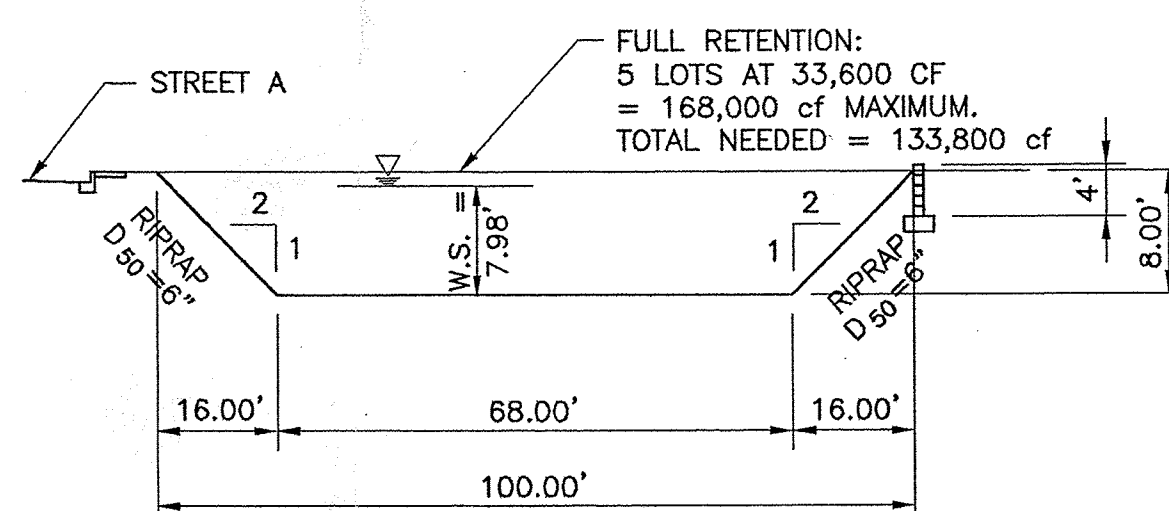


STREET A & B SECTION
N.T.S.

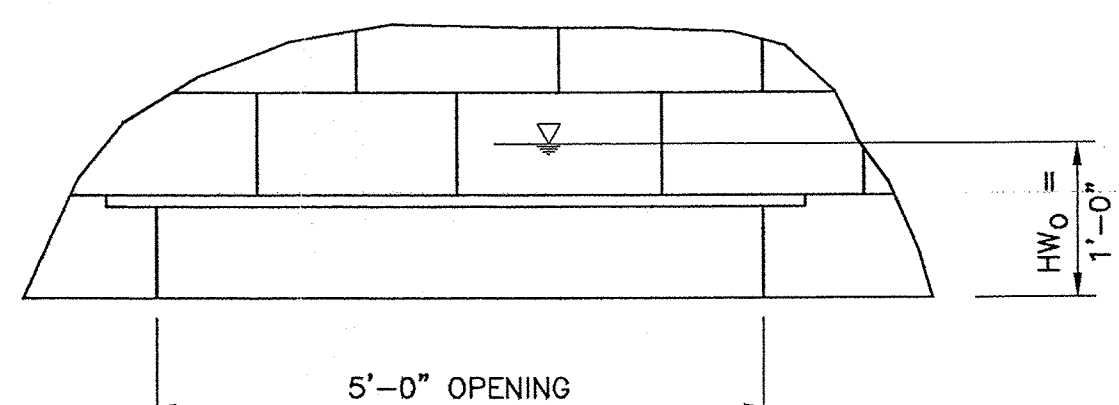


C.O.A. STD. DET. DWG. 2260

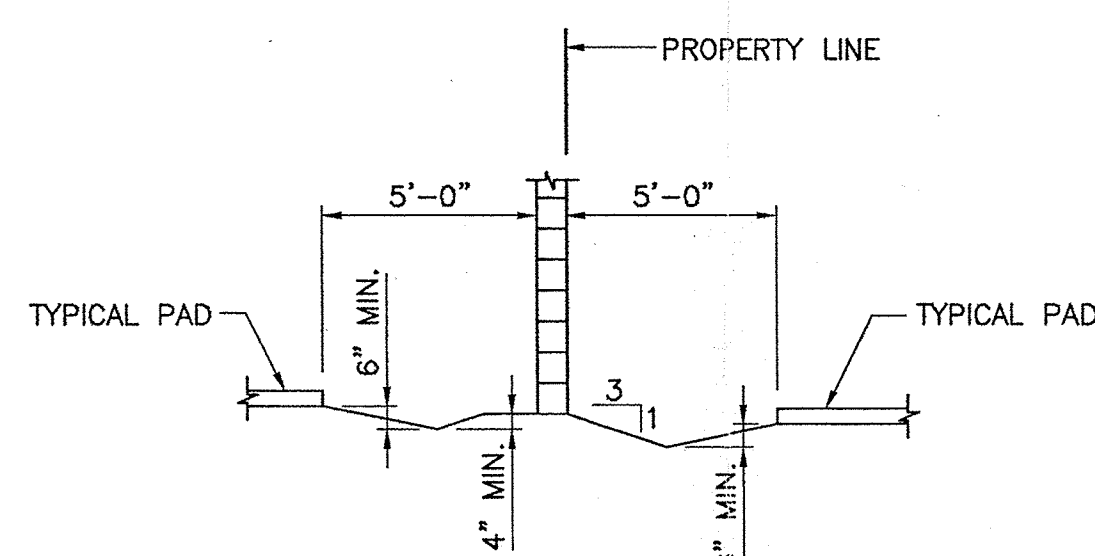
Basin B & C Public Easement
N.T.S.



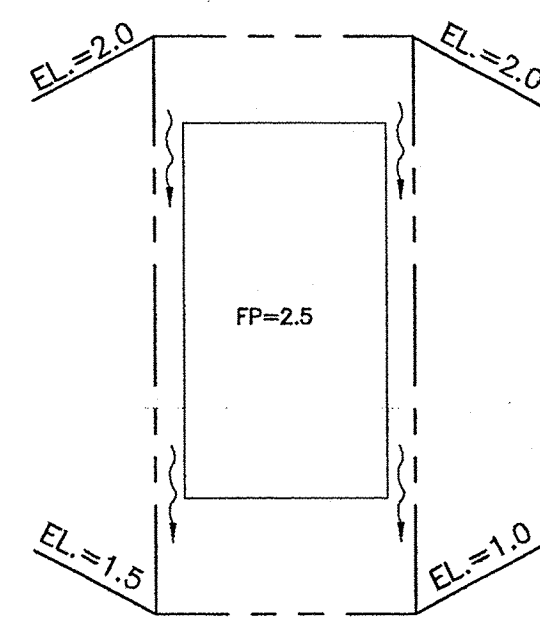
TEMPORARY POND SECTION
N.T.S.



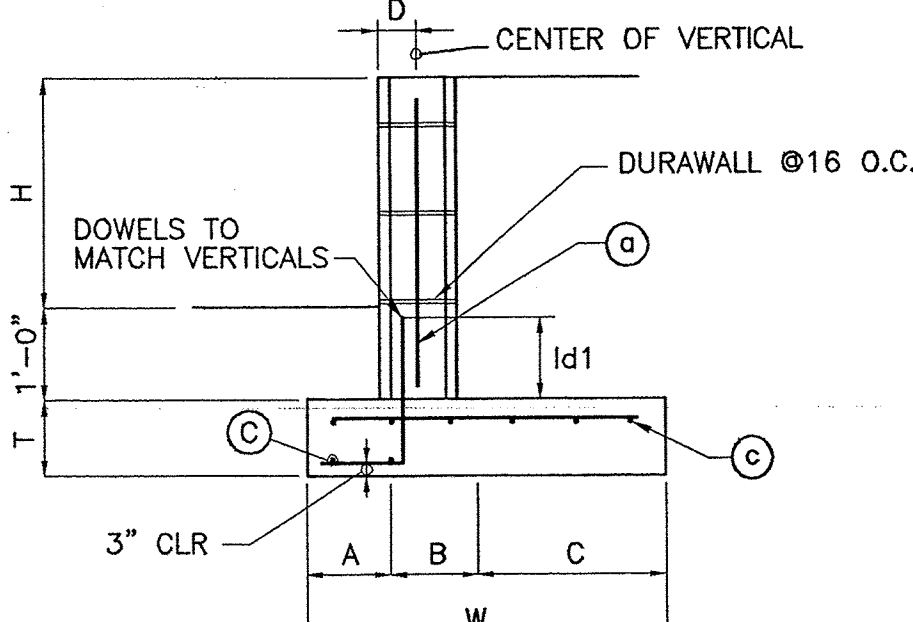
Basin B & C Wall Opening Detail
N.T.S.



SIDE LOT SWALE DETAIL
N.T.S.



TYPICAL LOT DRAINAGE LAYOUT
N.T.S.



TYPICAL RETAINING WALL OVER 18'
N.T.S.

RETAINING WALL DIMENSIONS & REINFORCEMENT										
MIN. DIMENSIONS							STEEL REINFORCEMENT			
H	T	A	B	C	D	W	a	b	c	ld1
2'	1'-0"	0'-6"	0'-8"	0'-10"	5 1/4"	2'-0"	#5@24" o.c.	#5@16"	#4@16"	1'-6"
3'	1'-0"	0'-6"	0'-8"	1'-3"	5 1/4"	2'-5"	#5@16" o.c.	#5@16"	#4@16"	1'-6"
4'	1'-0"	1'-0"	0'-8"	1'-2"	6 1/4"	2'-10"	#5@16" o.c.	#5@16"	#4@16"	1'-6"
5'	1'-0"	1'-0"	0'-8"	1'-9"	6 1/4"	3'-5"	#5@8" o.c.	#5@16"	#4@16"	1'-6"
6'	1'-0"	1'-0"	0'-8"	2'-6"	6 1/4"	4'-2"	#5@8" o.c.	#5@16"	#4@16"	1'-6"

PARADISE VISTA SUBDIVISION

DRAINAGE PLAN

DRAWING NUMBER

C2

2 OF 2

DESIGNED BY: M.H.B.
DRAWN BY: T.D.S.
CHECKED BY:

Mark H. Burak, P.E.
1512 Sagebrush Trail SE
Albuquerque, New Mexico, 87123
(505) 296-0461

PARADISE VISTA SUBDIVISION

DRAINAGE PLAN

DRAWING NUMBER

C2

2 OF 2