



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 27, 2004

Genevieve Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Paradise Ridge Subdivision, SIA/Financial Guarantee Release
Engineer's Stamp dated 7-31-02 (B11-D5)
Certification dated 5-26-04**

Dear Ms. Donart,

Based upon the information provided in your submittal received 5-26-04, the above referenced certification is approved for release of SIA and Financial Guarantee.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Marilyn Maldonado, COA# 690881
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

B-11/D5

PROJECT TITLE: Paradise Ridge Subdivision
DRB #: EPC #:

ZONE MAP / DRG. FILE #: WORK ORDER #: 690881

LEGAL DESCRIPTION: Paradise Ridge Subdivision
CITY ADDRESS:

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe St. NE
CITY, STATE: Albuquerque, NM

CONTACT: Genny Donart
PHONE: 268-8828
ZIP CODE: 87108

OWNER: Argus Development
ADDRESS: 6300 Riverside Plaza Ln NW Ste #200
CITY, STATE: Albuquerque, NM

CONTACT: Mike Pattengale
PHONE: 889-3061
ZIP CODE: 87120

ARCHITECT:
ADDRESS:
CITY, STATE: Albuquerque, New Mexico

CONTACT:
PHONE:
ZIP CODE:

SURVEYOR: Surv-Tek
ADDRESS:
CITY, STATE: Albuquerque, New Mexico

CONTACT: Joe Orloski
PHONE: 897-3366
ZIP CODE:

CONTRACTOR:
ADDRESS:
CITY, STATE:

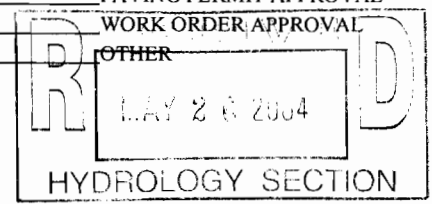
CONTACT:
PHONE:
ZIP CODE:

Engineer Stamp -> 7/31/02
Certification Date -> 5/26/04

- CHECK TYPE OF SUBMITTAL:
DRAINAGE REPORT
DRAINAGE PLAN 1ST REQUIRES TCL or equal
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL GRADING & DRAINAGE PLAN
GRADING PLAN
EROSION CONTROL PLAN
ENGINEER'S CERTIFICATION (HYDROLOGY)
CLOMR / LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ENGINEER'S CERTIFICATION (TCL)
ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
X SIA / FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
S. DEV. PLAN FOR BLDG. PERMIT APPR.
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY (PERM)
CERTIFICATE OF OCCUPANCY (TEMP)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:
YES
NO
COPY PROVIDED

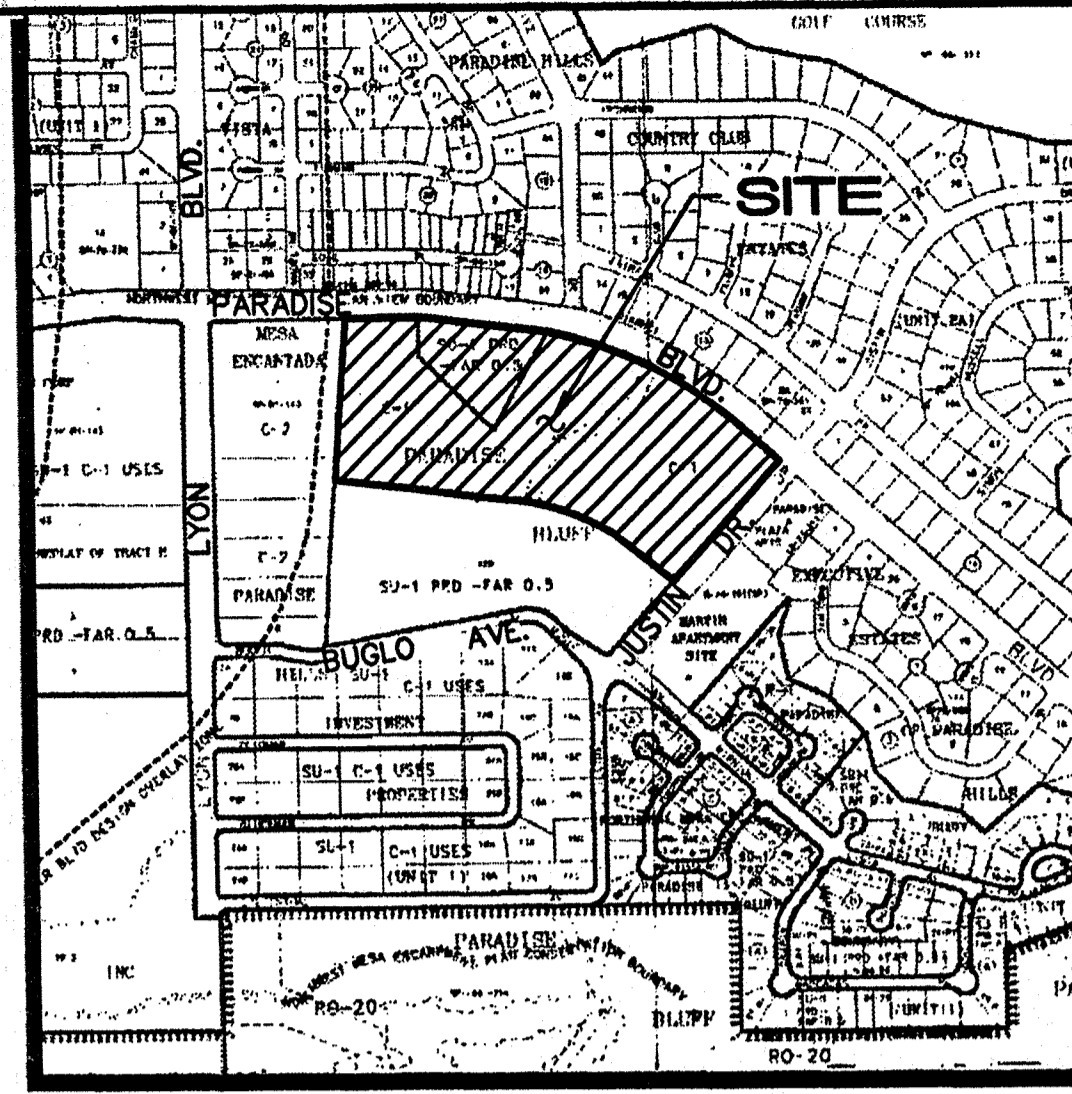
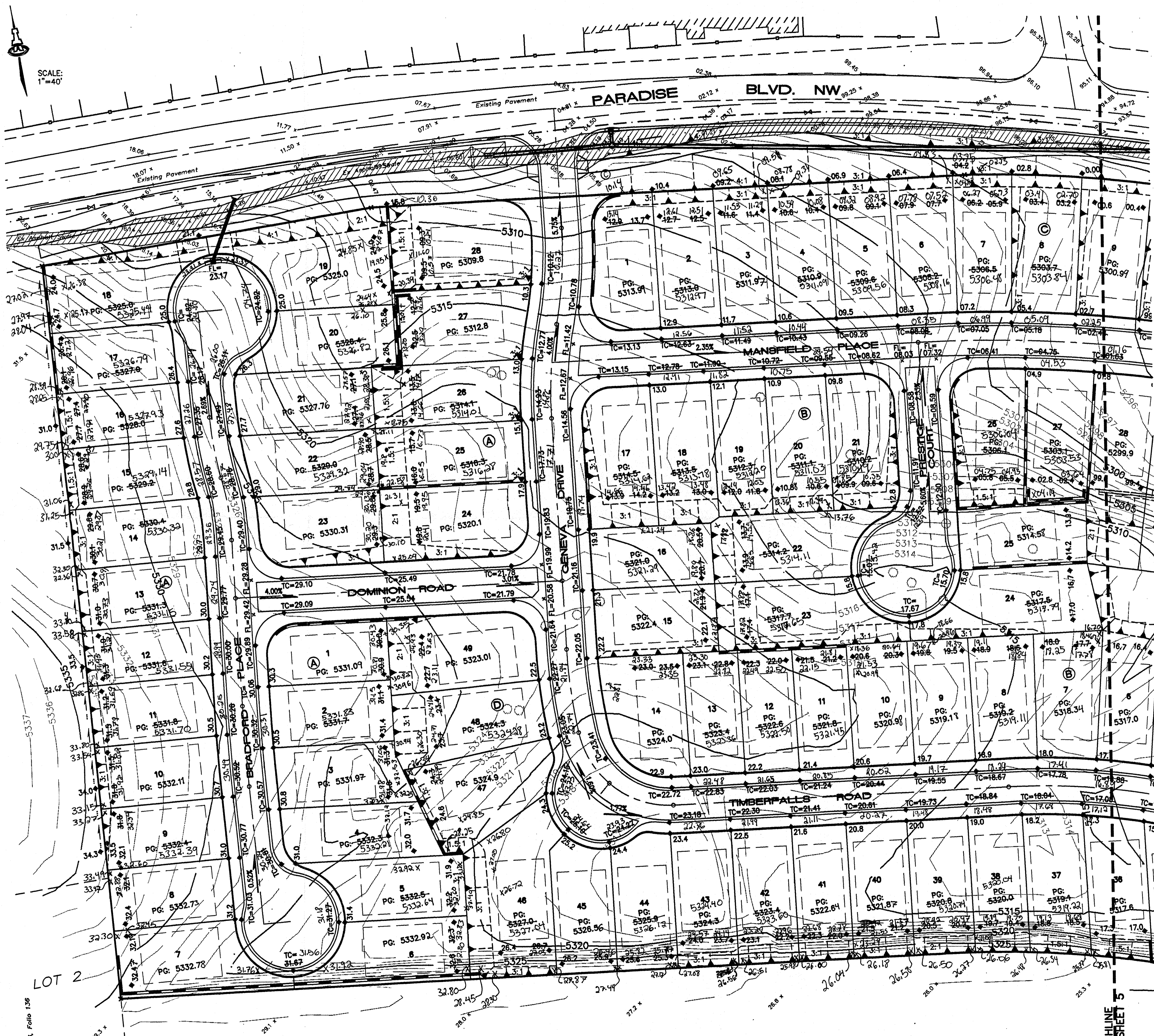


DATE SUBMITTED: Wednesday, May 26, 2004 BY: Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:
1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



SCALE:
1"=40'



VICINITY MAP
1"=750'±

LEGEND

- 5200 EXISTING CONTOUR
- 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- PAD GRADE ELEVATION
- SIDEWALK CULVERT
- WATER BAR
- PROPOSED RETAINING WALL
- TOP OF WALL BOTTOM OF WALL ELEVATION
- INVERT ELEVATION
- STORM DRAIN MANHOLE
- EROSION CONTROL BERM
- SLOPE LIMITS
- DRAINAGE SWALE
- REMOVAL & DISPOSAL OF EXISTING ASPHALT SWALE.

GENERAL NOTES:

- SEE SHEET 6 FOR RETAINING WALL DATA.
- SEE SHEET 7 FOR GRADING DETAILS.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
89908
899GRD.DWG01 View1 07/31/02

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE:
**PARADISE RIDGE SUBDIVISION
GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval
Date: _____	

City Project No. **690881** Zone Map No. **B - 11** Sheet **4** Of **32**

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORKS BY	DATE
ASSISTANTS	DATE
APPROVED BY	DATE
VERIFICATION BY	DATE
COMPILED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
STANDARD ACS BRASS TABLE STAMPED, "2-BIT" LOCATED AT THE INTERSECTION OF PARADISE BLVD. AND CHAPARRAL RD ON THE NORTHEAST CORNER. MARKER IS SET IN TOP OF CONCRETE POST FLUSH WITH GROUND.	
NM STATE PLANE COORDINATES, CENTRAL ZONE (NAD 1927)	
GRID TO GROUND FACTOR= 0.9996648	
X= 362,751.42, Y= 1,526,729.35	
ELEV.= 5,368.28 (SLD 1929)	

SURVEY INFORMATION	
FIELD NOTES	ENGINEER'S SEAL

GLD	BY	DATE	REVISIONS
1	7/31/02	11/01	DESIGN

Volume 03, Folio 136

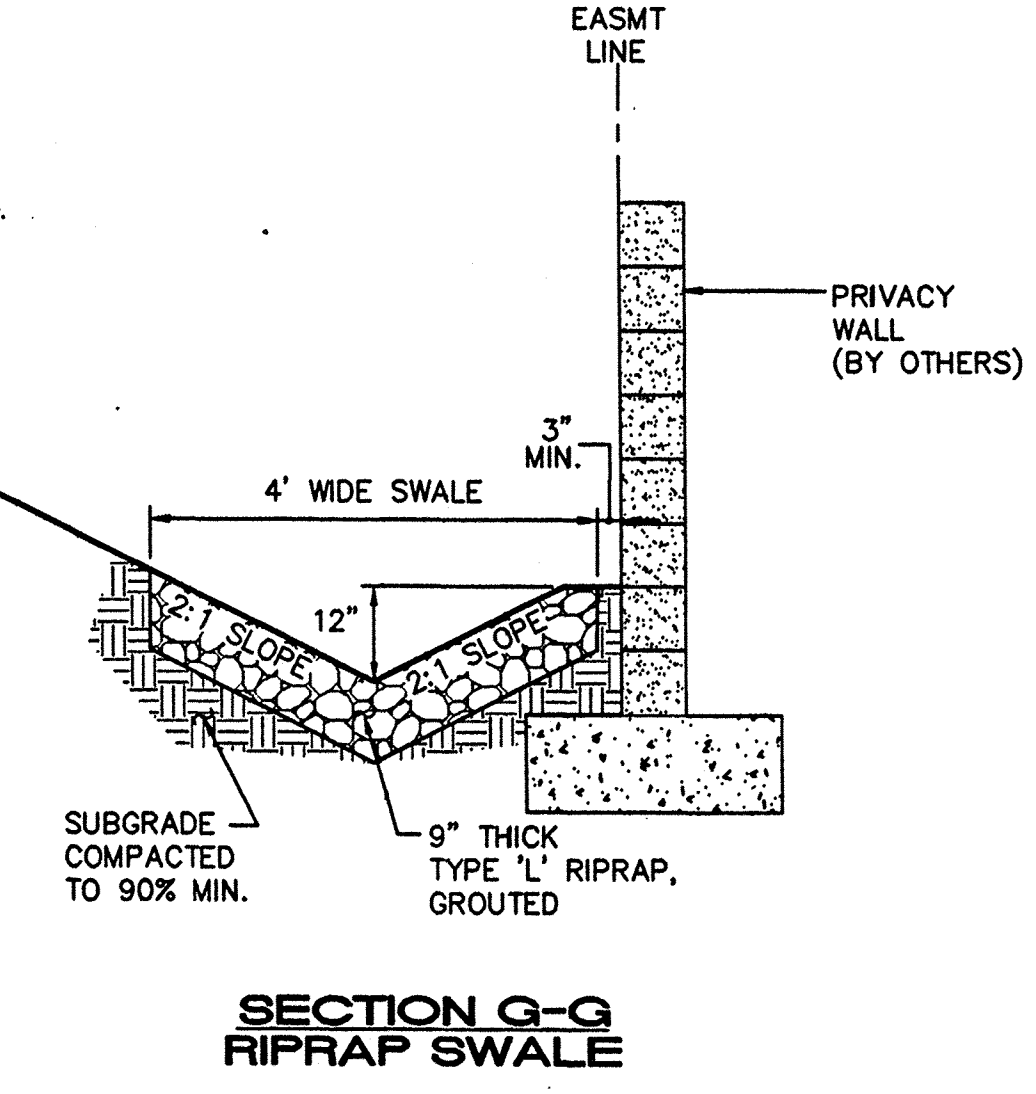
MATCHLINE - SEE SHEET 5



LEGEND

- 5200 --- EXISTING CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- PG=6881.0 PAD GRADE ELEVATION
- ===== SIDEWALK CULVERT
- ~~~~~ WATER BAR
- ===== PROPOSED RETAINING WALL
- TW=52.0
BW=50.0 TOP OF WALL
BOTTOM OF WALL ELEVATION
- INW=72.5 INVERT ELEVATION
- STORM DRAIN MANHOLE
- EROSION CONTROL BERM
- SLOPE LIMITS
- DRAINAGE SWALE
- =====
REMOVAL & DISPOSAL
OF EXISTING ASPHALT
SWALE.

GENERAL NOTES:
1. SEE SHEET 6 FOR RETAINING WALL DATA.
2. SEE SHEET 7 FOR GRADING DETAILS.



DRAINAGE CERTIFICATION
I, Genevieve L. Donart, NMPE #15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 7/31/02. The record information edited onto the original design document further certifies that I have personally visited the project site on 11/14/03 and have actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for financial guarantee release.

There were modifications made to the plan in the following areas: the riprap swale in the back of Lots 32 & 33, Block B was moved south to allow for a longer pad; a storm inlet was added on Geneva at the intersection with Paradise; and because it no longer collected water, the existing sump inlet on Paradise was converted to a manhole.

This certification does not include retaining wall elevations or the fractured-face rock armoring of slopes steeper than 3:1. These items will be covered by a separate certification.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

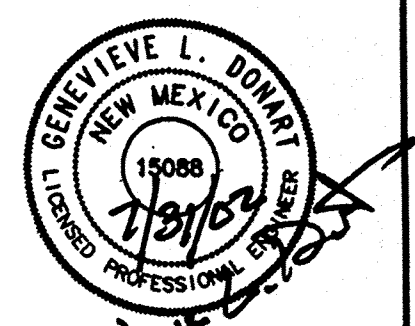
Genevieve L. Donart
Genevieve L. Donart NMPE #15088
Date: 11/25/05

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico
89502.DWG/rh View2 07/31/02

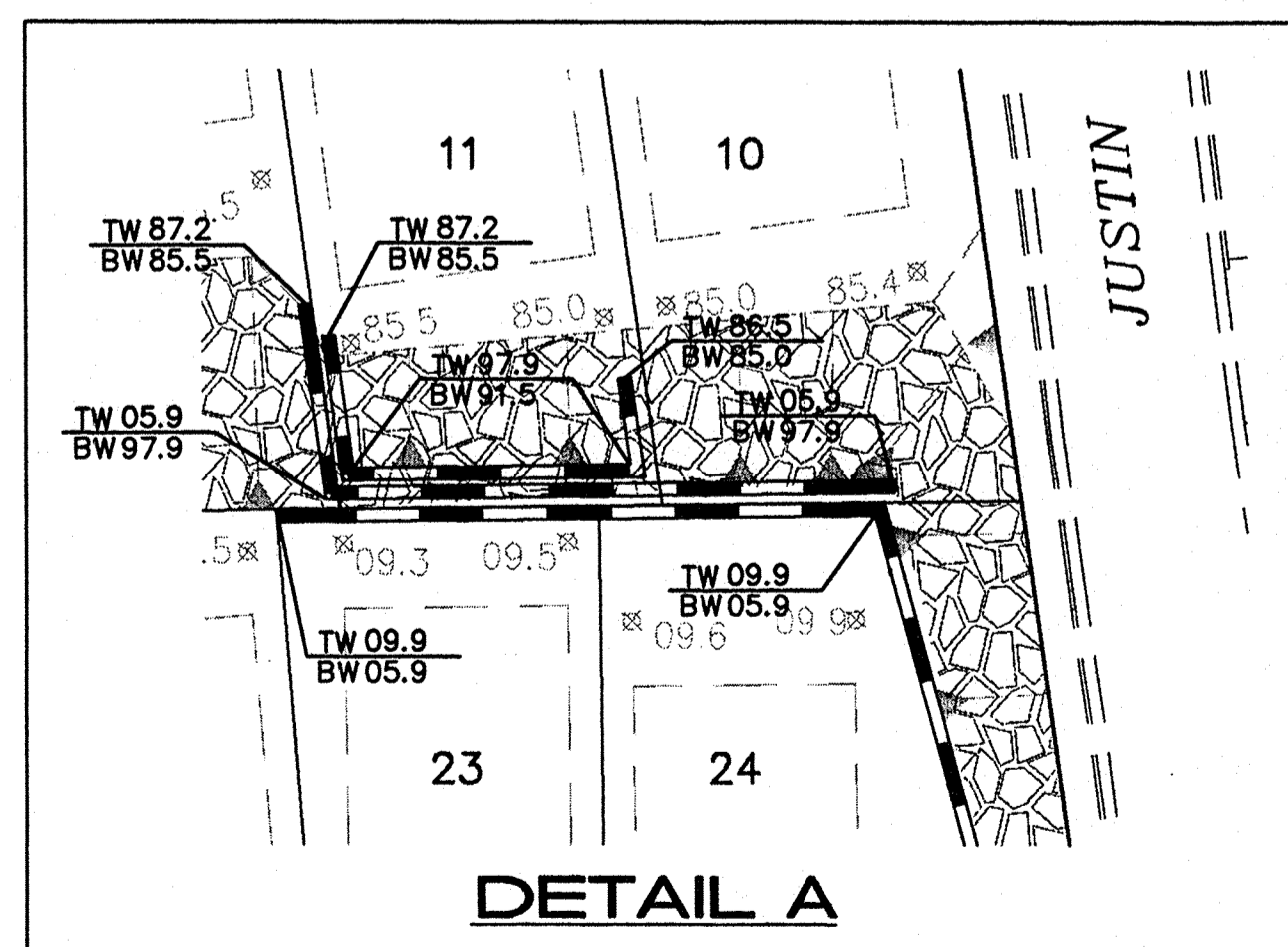
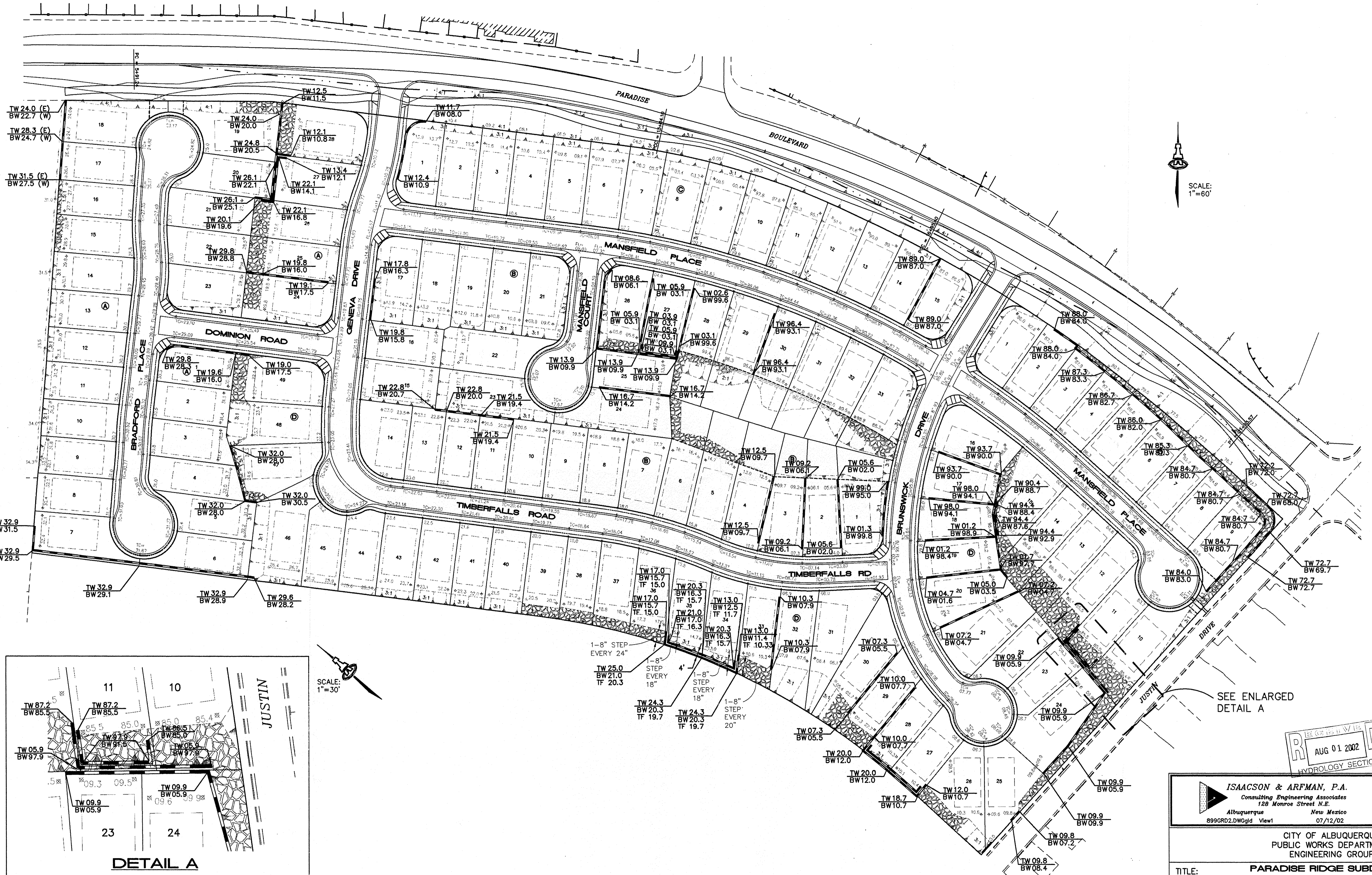
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP
TITLE: PARADISE RIDGE SUBDIVISION GRADING & DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	STANDARD ACS BRASS TABLET STAMPED, "2-B11" LOCATED AT THE INTERSECTION OF PARADISE BLVD AND CHAPARRAL RD ON THE NORTHEAST CORNER. MARKER IS SET IN TOP OF CONCRETE POST FLUSH WITH GROUND.	DATE	FIELD NOTES	REVISIONS	NO.	DATE
DESIGNED BY	DATE	MM STATE PLANE COORDINATES, CENTRAL ZONE (NAD 1927)	DATE		BY	DATE	
APPROVED BY	DATE	GRID TO GROUND FACTOR= 0.9996648	DATE		REVISIONS	DATE	
RECORDED BY	DATE	X= 362,751.42, Y= 1,526,729.35	DATE		DESIGN	DATE	
		ELEV= 5366.28 (GLD 1929)				DATE	
						DATE	



Genevieve L. Donart



SCALE: 1"=30'

1-8" STEP EVERY 24"
 1-8" STEP EVERY 18"
 1-8" STEP EVERY 20"

SCALE: 1"=60'

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87102
 899GR02.DWG:glld View1 07/12/02

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

TITLE: **PARADISE RIDGE SUBDIVISION
 RETAINING WALL PLAN**

Design Review Committee	City Engineer Approval	Ms./day/yr.	Ms./day/yr.

City Project No. **690881** Zone Map No. **B - 11** Sheet **6** Of **32**

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STATED BY	DATE
FIELD ACCEPTANCE BY	DATE
FIELD CHECKED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	

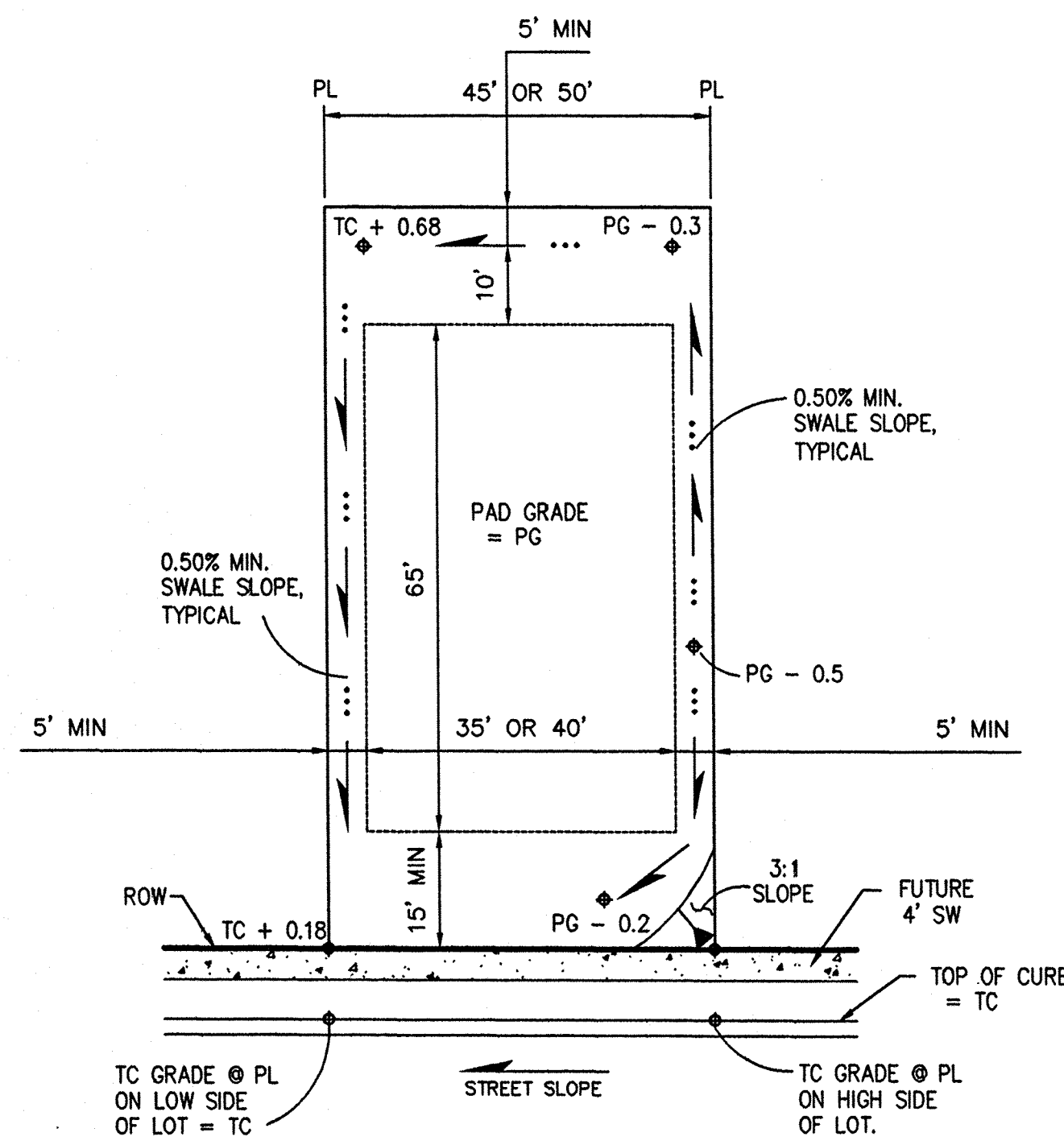
BENCH MARKS	
STANDARD ACS BRASS TABLET STAMPED, "2-BIT" LOCATED AT THE INTERSECTION OF PARADISE BLVD AND CHAPARRAL RD ON THE NORTHEAST CORNER. MARKER IS SET IN TOP OF CONCRETE POST FLUSH WITH GROUND.	
NM STATE PLANE COORDINATES, CENTRAL ZONE (NAD 1927)	
GRID TO GROUND FACTOR= 0.9998648	
X= 362,751.42, Y= 1,526,729.35	
ELEV= 5368.28 (SLD 1929)	

SURVEY INFORMATION	
FIELD NOTES	

ENGINEER'S SEAL	

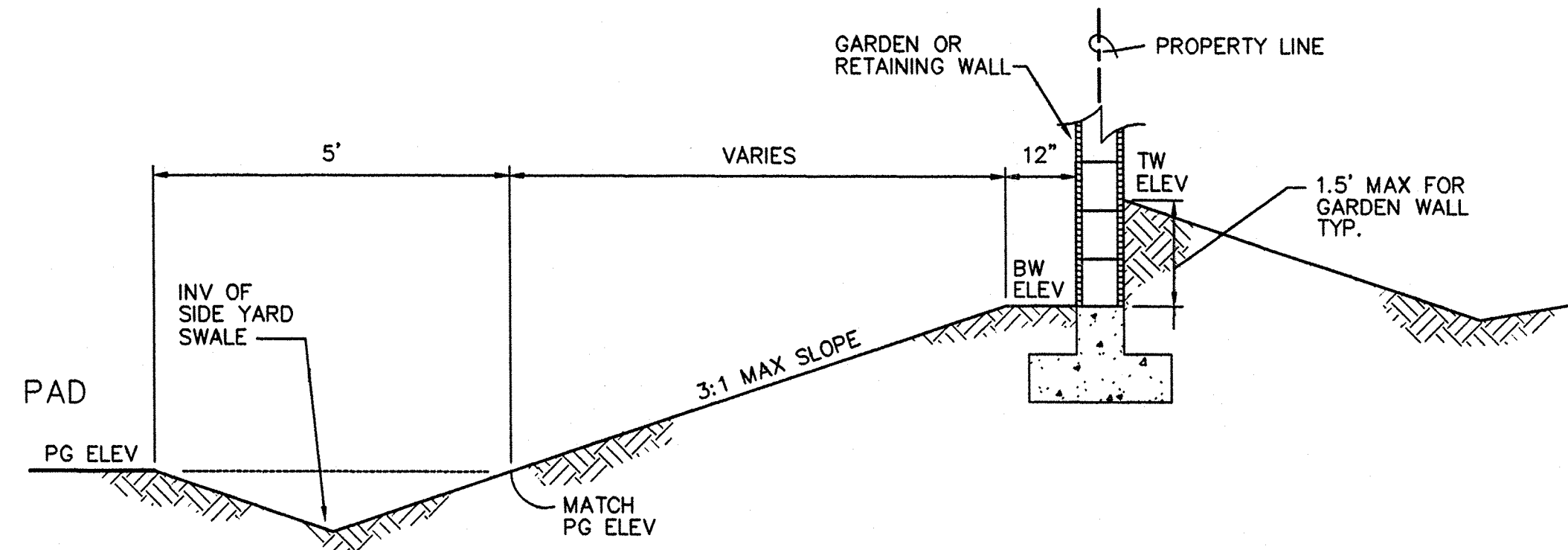
NO.	DATE	REVISIONS	BY
		DESIGN	

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE



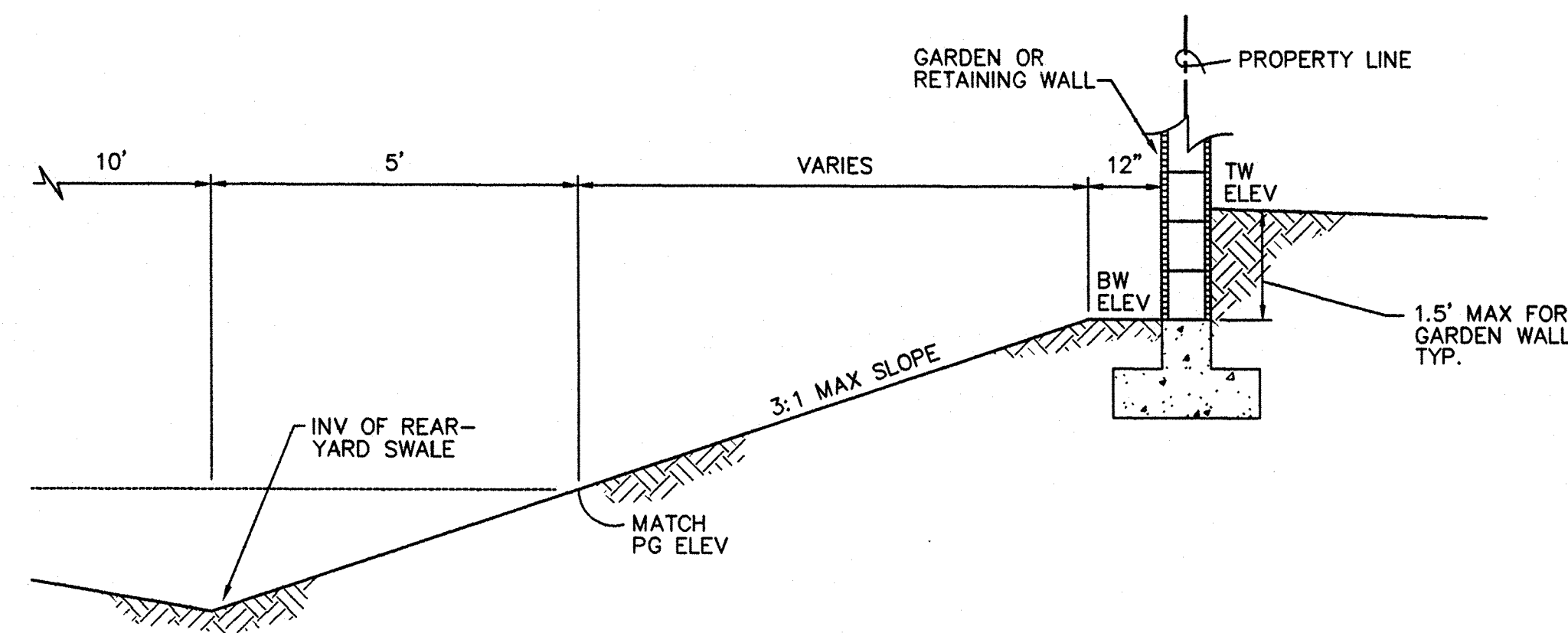
TYPICAL LOT GRADING DETAIL

SCALE: 1"=20'



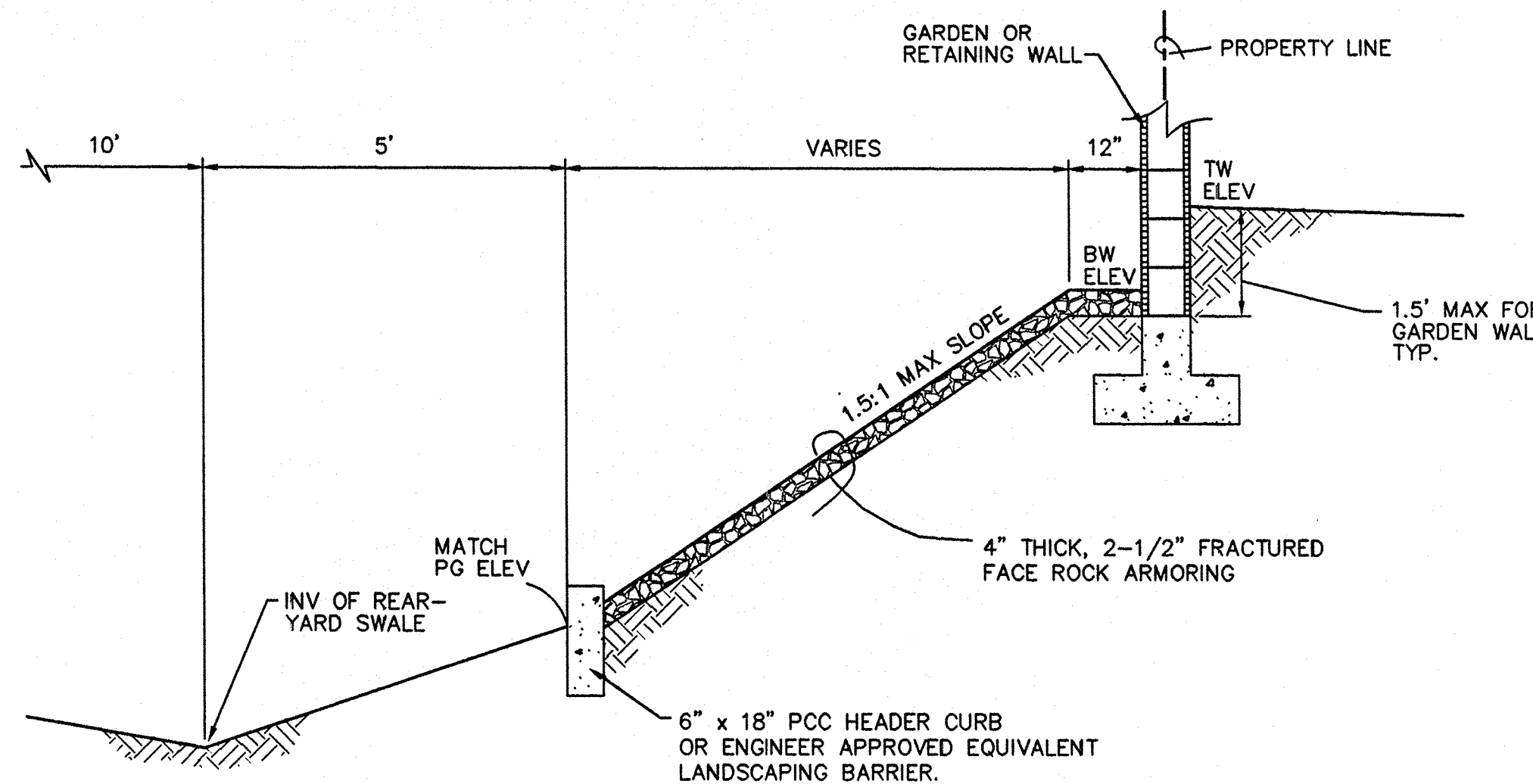
TYPICAL SIDE-YARD SLOPE

SCALE: 1"=5'-0"



TYPICAL REAR YARD 3:1 SLOPE

SCALE: 1"=5'-0"

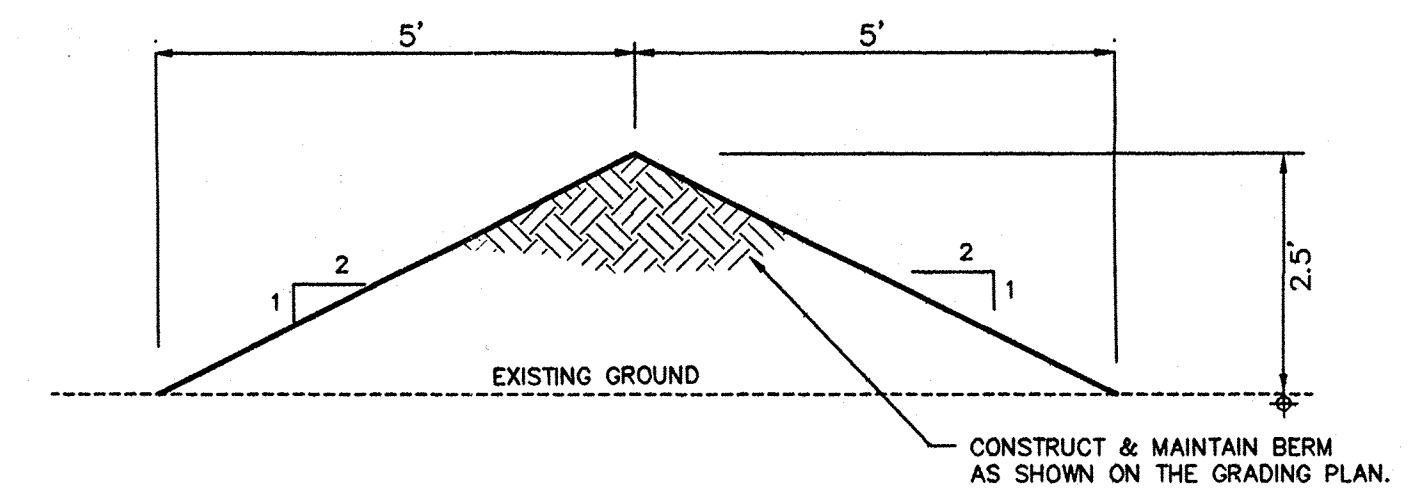


TYPICAL REAR YARD 1.5:1 TO 2:1 SLOPE

SCALE: 1"=5'-0"

GRADING NOTES:

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
- ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
- SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM UNARMORED SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT ERODED AND WASHED DOWN THE STREET.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHALL COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.

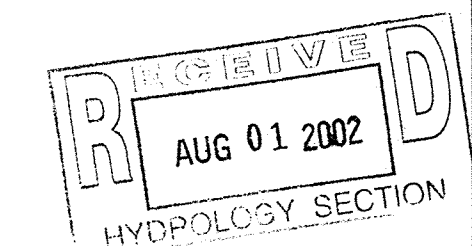


EROSION CONTROL BERM

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO THE PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING EROSION CONTROL BERMS (AS DETAILED AT RIGHT) AS SHOWN ON THE PLAN AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
- SEE GRADING NOTES, THIS SHEET.

EROSION CONTROL BERM

SCALE: 1"=20'



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 89908DDTL.DWGrh View 1 06/03/02

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

TITLE: **PARADISE RIDGE SUBDMISION
 GRADING & DRAINAGE DETAILS**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **690881** Zone Map No. **B - 11** Sheet **7** Of **32**

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR		STANDARD ACS BRASS TABLET STAMPED "2-B1"	LOCATED	FIELD NOTES			
WORK SHOWN BY		AT THE INTERSECTION OF PARADISE BLVD AND CHAPARRAL RD					
FIELD ASSISTANCE BY		ON THE NORTHEAST CORNER. MARKER IS SET IN TOP OF					
FIELD EXCAVATION BY		CONCRETE POST FLUSH WITH GROUND.					
DRAWINGS BY		NM STATE PLANE COORDINATES, CENTRAL ZONE (NAD 1927)					
CHECKED BY		GRID TO GROUND FACTOR= 0.99996648					
RECORDED BY		X= 362,751.42 Y= 1,526,729.35					
NO.		ELEV= 5368.28 (SLD 1929)					
DESIGNED BY	GLD	DATE	11/01	REVISIONS			
DRAWN BY	RFH	DATE	11/01	DESIGN			
CHECKED BY	GLD	DATE	11/01				