

# CITY OF ALBUQUERQUE



April 10, 2017

Richard J. Berry, Mayor

David Soule, P.E.  
Rio Grande Engineering.  
Po box 93924  
Albuquerque, NM, 87199

**RE:** Paradise Universal Apts  
Grading and Drainage Plan  
Engineer's Stamp Date 3-15-2017 (File: B11D010)


Dear Mr. David:

Based upon the information provided in your submittal received 4-10-2017, the above referenced Grading and Drainage Plan is approved for building permit and site plan for building permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3999.

Sincerely,

  
Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

MA/SB

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

**Address:** PO BOX 93924 ALBUQUERQUE, NM 87199

**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**

☐ ENGINEER/ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN revised dumpster location  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

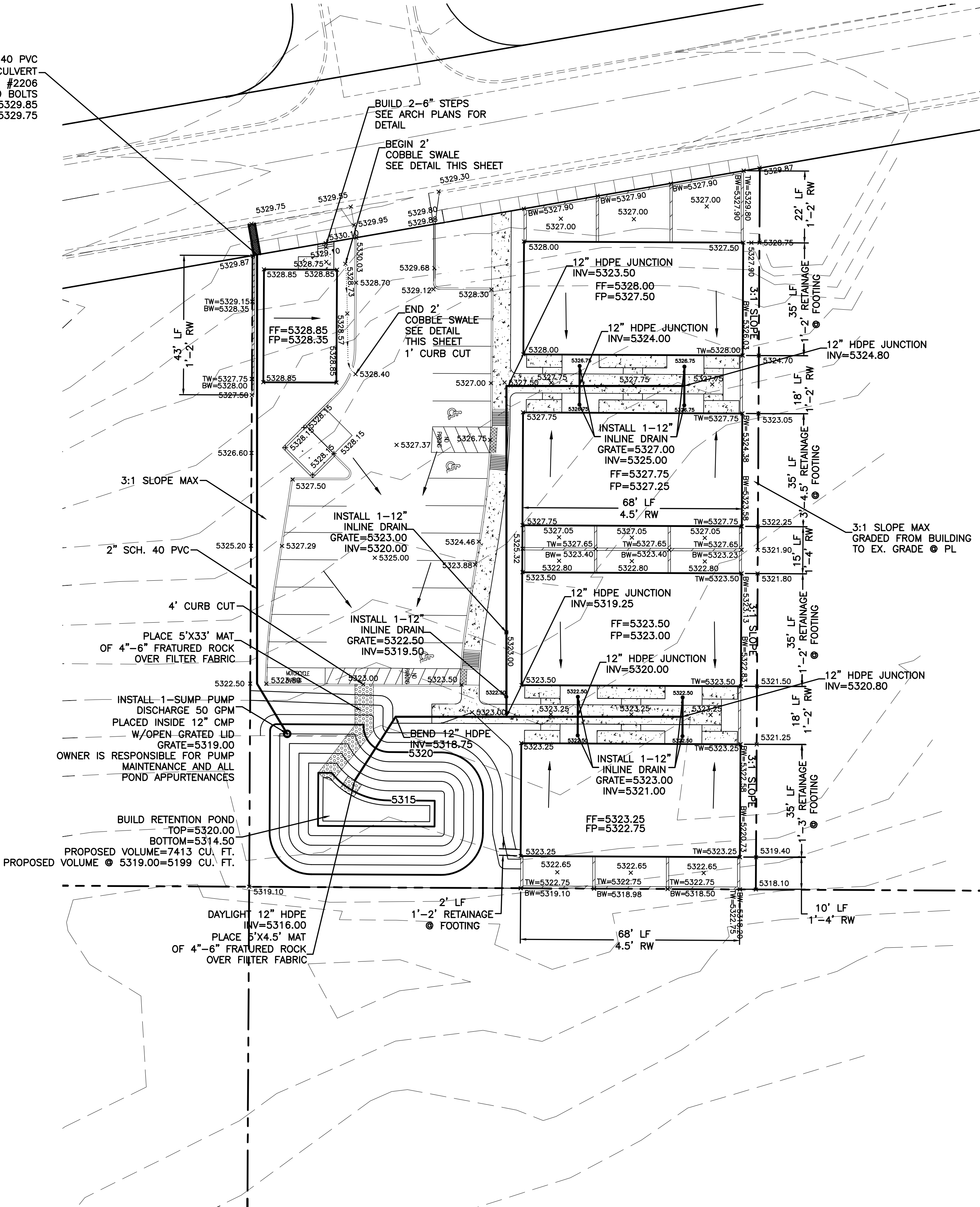
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

CAUTION:  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

DAYLIGHT 2" SCH. 40 PVC  
AT BACK OF NEW 2' SW CULVERT  
PER COA STD DWG #2208  
TACK WELD BOLTS  
INV @ BACK OF SW=5329.85  
INV @ FL OF CURB=5329.75



EROSION CONTROL NOTES:

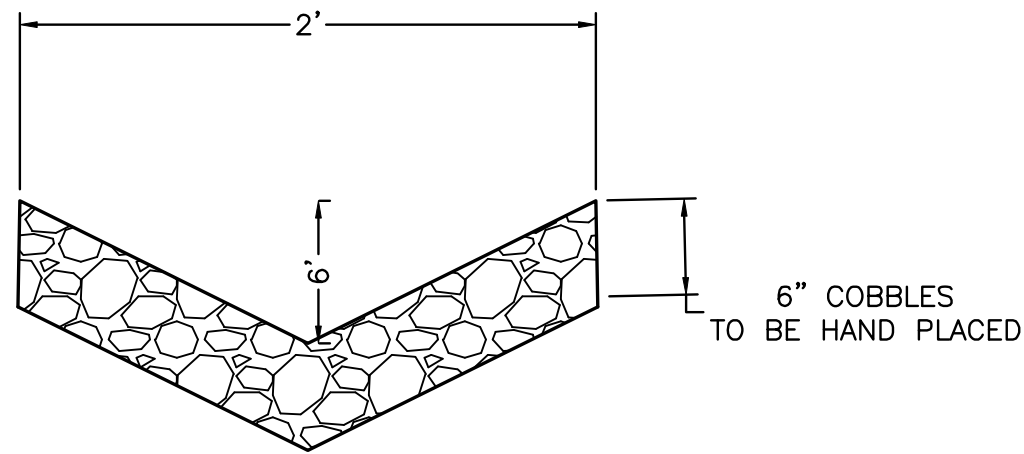
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

PRIVATE DRAINAGE IMPROVEMNET IN PUBLIC ROW  
NOTICE TO CONTRACTORS

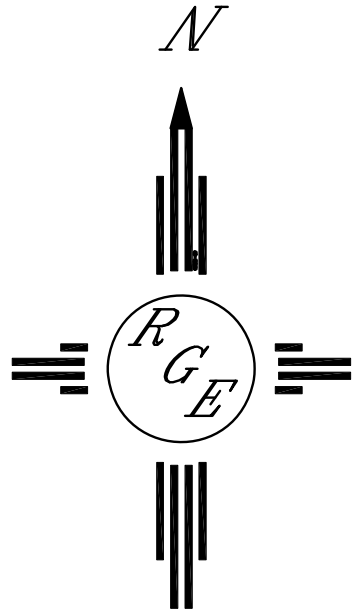
Notice to Contractor  
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Prior to pouring concrete, contractor shall notify the storm drain inspector, 857-8074, to inspect reinforcement.

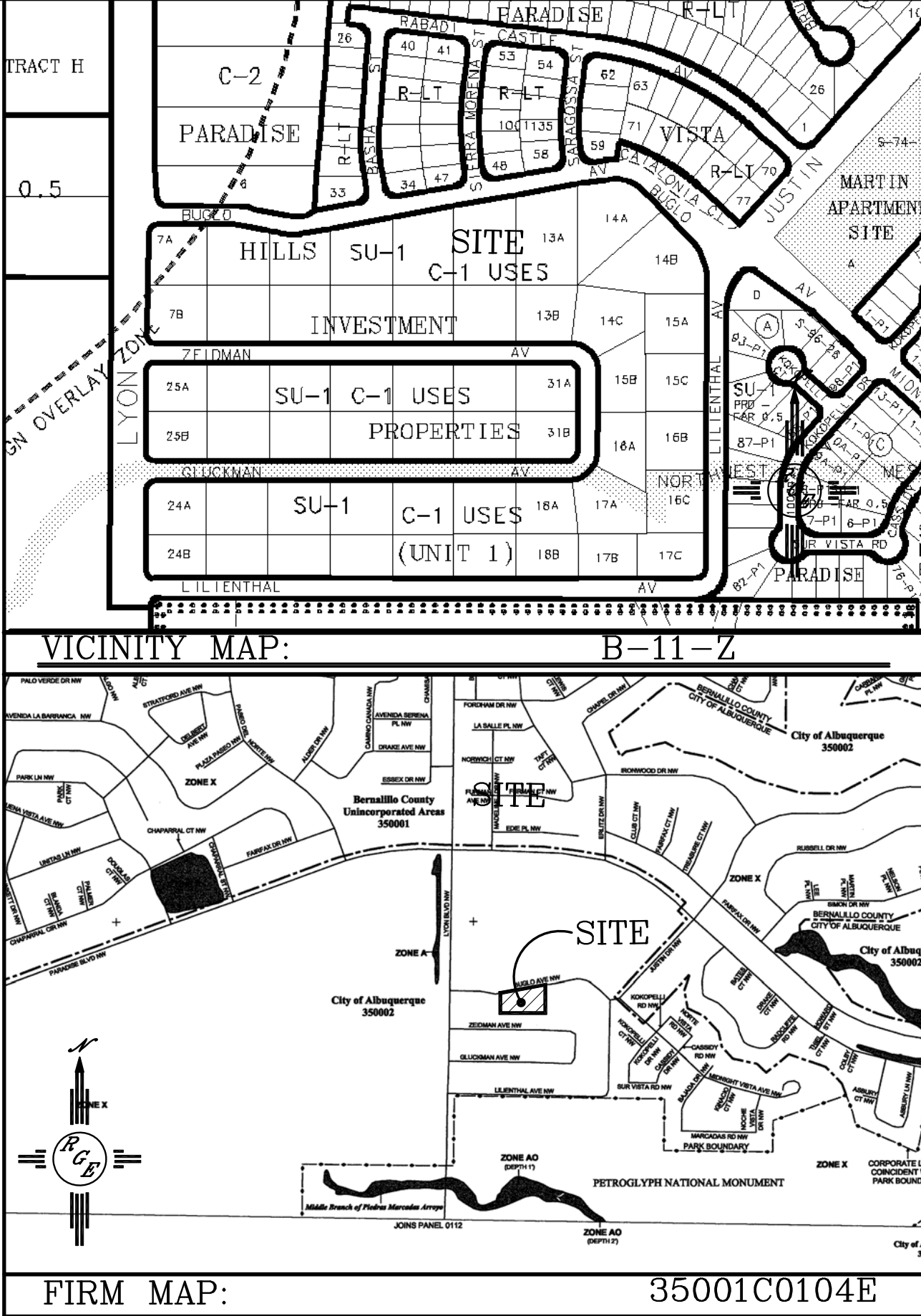
APPROVAL	NAME	DATE
INSPECTOR		



COBBLE SWALE DETAIL  
NTS



GRAPHIC SCALE  
20 10 0 10 20  
SCALE: 1"=20'



LEGAL DESCRIPTION:

TRACT 12A PARADISE HILLS INVESTMENT

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB TO BE 6" HEADER UNLESS OTHERWISE NOTED,
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL SD PIPE TO BE 12" HDPE.
5. SEE ARCH PLANS FOR EXTENDED FOOTING INFORMATION.
6. TURN 1 BLOCK 4" BELOW FINISHED FLOOR AT ALL INTERMEDIARY WALLS.
7. TURN 1 BLOCK 3" ABOVE FINISHED GRADE AT PERIMETER WALLS.
8. ALL WALLS SHALL BE PERMITTED UNDER SEPERATE BUILDING PERMIT.

LEGEND

- 5414--- EXISTING CONTOUR
- 5415--- EXISTING INDEX CONTOUR
- 5414--- PROPOSED CONTOUR
- 5415--- PROPOSED INDEX CONTOUR
- 5415--- PROPOSED INDEX CONTOUR SLOPE TIE
- 4048.25 EXISTING SPOT ELEVATION
- 4048.25 PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED SETBACK
- PROPOSED LOT LINE
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL DESIGN BY OTHERS

ENGINEER'S SEAL  3/15/17 DAVID SOULE P.E. #14522	PARADISE VIEW UNIVERSAL APARTMENTS GRADING AND DRAINAGE PLAN  1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DRAWN BY WCWJ DATE 3-16-17 21641-LAYOUT-11-21-16 SHEET # 4 JOB # 21641
--	--	--