

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

January 30, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Paradise Universal Apartments**
Buglo Rd NW
Grading and Drainage Plan
Engineers Stamp Date 1/26/17 (B11D010)

Dear Mr. Soule,

Based upon the information provided in your submittal received 1/27/17, this plan is approved for Site plan for Building Permit. Do to the slope of this parcel a Erosion and Sediment Control Plan (ESC) will be required. A Grading Permit or Building permit will not be awarded until the ESC plan has been accepted by Curtis Cherne.

Please inform the owner/contractor to attach a copy of this approved plan dated 1/26/17 to the construction sets in the permitting process prior to sign-off by Hydrology. Also inform the owner/contractor that a separate permit will be required for any future wall/fence, etc.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

RR/SB
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

Address: PO BOX 93924 ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Mr. Rael,

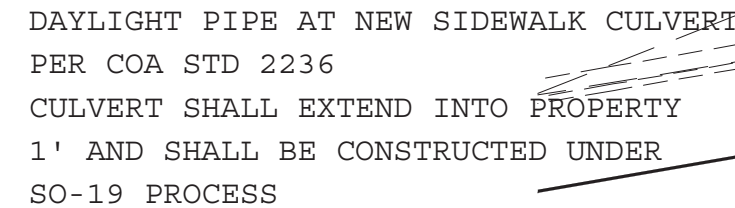
Engineer Assistant,
Planning Department
600 2nd St. NW Suite 201
Albuquerque NM 87102

Please find the attached plan. We have revised the plan to address your comments listed below. The manner in which we address are underlined :

- Provide erosion protection at the pipe opening in the pond.
We have added
- Provide labels for contour lines.
We have labeled
- Recommend that a turn block 3" above grade in the garden walls is placed for emergency overflow out of rear yards.
We have added to the notes
- Provide a sketch of the retaining wall or a statement stating the retaining walls are built by others.
This is shown on note #3
- Provide a note stating the walls require a separate permit.
We have added to notes
- Provide a 1' wide sidewalk culvert extending 1' passed the property line in lieu of the 2" pipe penetration in the curb.
We have added the culvert and note
- Provide SO-19 notes for the sidewalk culvert.
We have added the so19 notes
- Provide a note stating the owner is responsible for the maintenance and up keep of the pond and sump pump.
We have added the note
- What is the 3:1 slope tie referring to?
We have added a note showing the 3:1 is slope tie from building to property line

David Soule
Rio Grande Engineering

EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



SUMP PUMP _____
DISCHARGING 50 GPM
PLACED INSIDE 12" CMP
WITH OPEN GRATED LID _____
GRATE=5319.00
OWNER IS RESPONSIBLE FOR
MAINTANANCE OF PUMP AND POND
APPURTANANCES _____

PROPOSED VOLUME= 7413 CU. FT.
VOLUME@5319= 2936 CF

DAYLIGHT 12" HDPE
NV=5316.00
PLACE 5' WIDE X 8' LONG
MAT OF 4-6" FRACTURED ROCK OVER
FILTER FABRIC

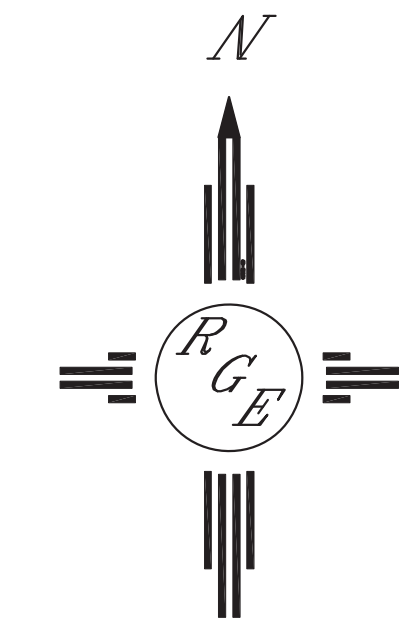
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Within working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Prior to pouring concrete, contractor shall notify the storm drain inspector, 857-8074, to inspect reinforcement.

Diagram illustrating the placement of 6" COBBLES TO BE HAND PLACED. The trench is V-shaped, with a width of 2' at the top and a depth of 6" at the bottom. The cobbles are shown filling the bottom of the trench.

COBBLE SWALE DETAIL





SCALE: 1"=20'



- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL CURB TO BE 6" HEADER UNLESS OTHERWISE NOTED,
 3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 4. ALL SD PIPE TO BE 12" HDPE.
 5. SEE ARCH PLANS FOR EXTENDED FOOTING INFORMATION.
 6. TURN 1 BLOCK 4" BELOW FINISHED FLOOR AT ALL INTERMEDIARY WALLS.
 7. TURN BLOCKS 3" ABOVE FINISHED GRADE AT PERIMETER
 8. ALL WALLS SHALL BE PERMITTED UNDER SEPARATE PERMIT

Legend:

- 5414--- EXISTING CONTOUR
- 5415--- EXISTING INDEX CONTOUR
- 5414--- PROPOSED CONTOUR
- 5415---** PROPOSED INDEX CONTOUR
- ▲ SLOPE TIE
- x 4048.25 EXISTING SPOT ELEVATION
- x 4048.25 PROPOSED SPOT ELEVATION
- BOUNDARY
- - - CENTERLINE
- RIGHT-OF-WAY
- ===== PROPOSED CURB AND GUTTER
- - - - - EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED SETBACK
- PROPOSED LOT LINE
- ===== PROPOSED SCREEN WALL
- ===== PROPOSED RETAINING WALL
- ===== DESIGN BY OTHERS

<p>ENGINEER'S SEAL</p>	<p>PARADISE VIEW UNIVERSAL APARTMENTS</p>	<p>DRAWN BY WCWJ</p>
	<p>GRADING AND DRAINAGE PLAN</p>	<p>DATE 11-21-16</p>
<p>1/26/17</p>	 <p><i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999</p>	<p>SHEET # 4</p>
<p>DAVID SOULE P.E. #14522</p>		<p>JOB # 21641</p>