

# CITY OF ALBUQUERQUE



September 26, 2018

David Soule  
Rio Grande Engineering  
PO BOX 93924 ALB  
Albuquerque, NM 87199

**Re: Paradise View, Lot 12a , 5512 Buglo NW**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 09-17-18 (B11-D010)  
Certification dated 09-04-17

Dear Mr. Soule,

Based upon the information provided in your submittal received 09-18-18 Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3675.

Sincerely,

Mojgan Maadandar  
Associate Engineer, Planning Dept.  
Development Review Services

MM via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** paradise view **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** B11E10

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** lot 12a paradise hills investment properties

**City Address:** 5512 buglo nw

**Applicant:** buglo properties llc **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

**Address:** PO BOX 93924 ALB NM 87199

**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** ☐ PLAT ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

# **RIO GRANDE ENGINEERING OF NEW MEXICO, LLC**

## **TRAFFIC CERTIFICATION**

I, DAVID SOULE, NMPE, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/14/17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THOMAS PATRICK NMPLS 12651 OF THE FIRM COMMUNITY SCIENCES. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/15/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

### *EXCEPTIONS:*

CERTIFICATION FOR BUILDINGS 1 AND 2 ONLY

5512 BUGLO UNIT 1A-2017-21536  
5512 BUGLO UNIT 1B-2017-21745  
5512 BUGLO UNIT 1C-2017-21748  
5512 BUGLO UNIT 2A-2017-21750  
5512 BUGLO UNIT 2B-2017-21751  
5512 BUGLO UNIT 2C-2017-21752.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



\_\_\_\_\_  
Signature of Engineer

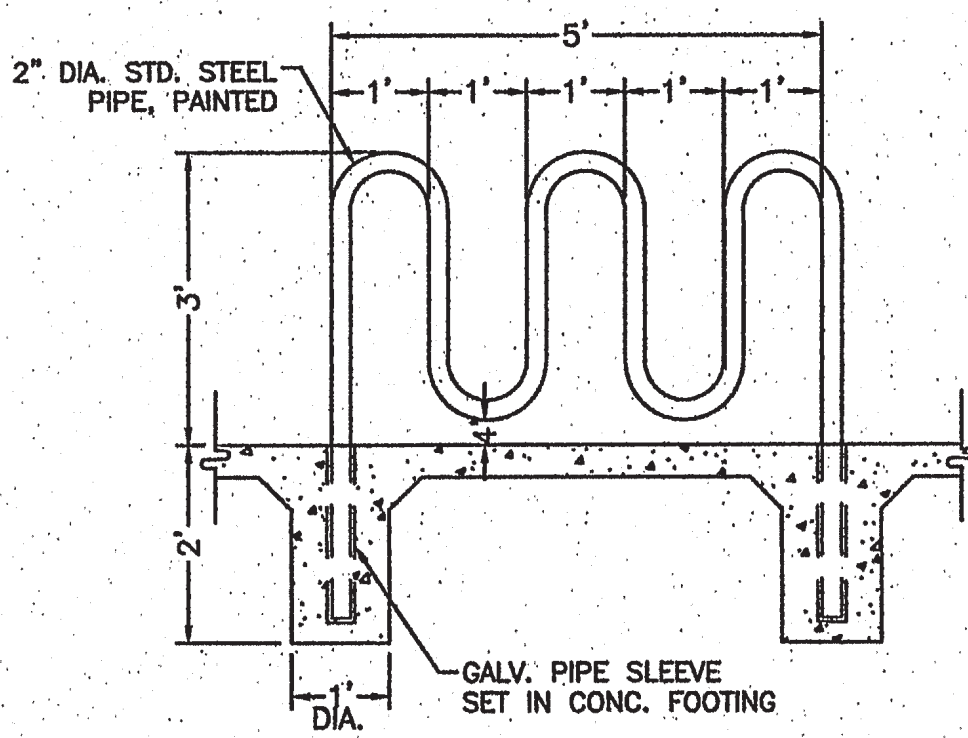
9/17/18

\_\_\_\_\_  
Date

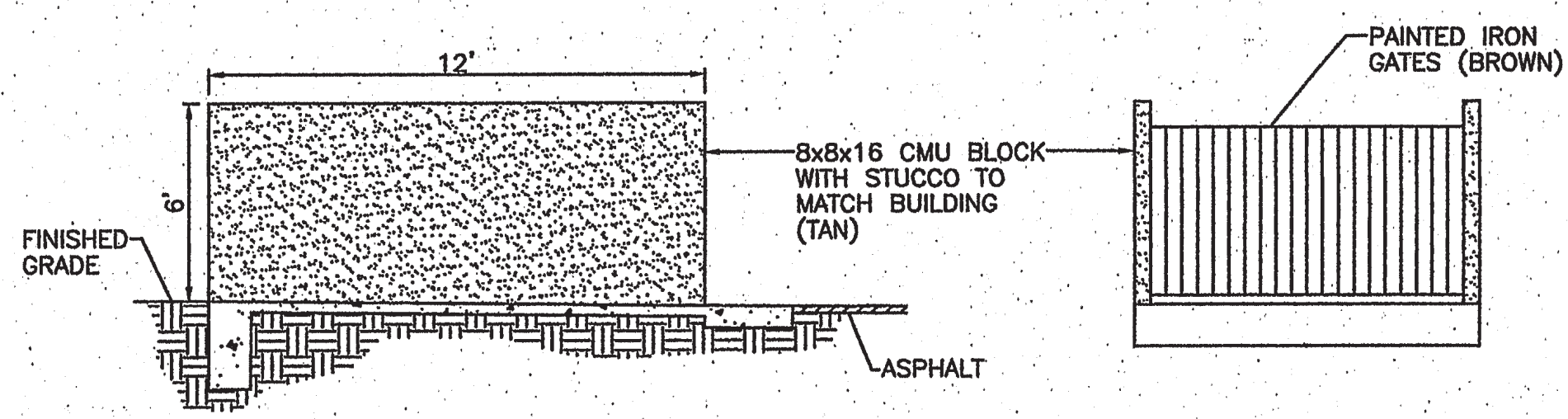


9/17/18





BIKE RACK DETAIL  
NTS



DUMPSTER ENCLOSURE ELEVATION  
NTS

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED BUILDING
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED 6' SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING ENVELOPE
- 6' SCREEN WALL
- STREET LIGHTS
- ADA SIGNAGE

PROJECT NUMBER: 1010982  
APPLICATION NUMBER: 17-70033

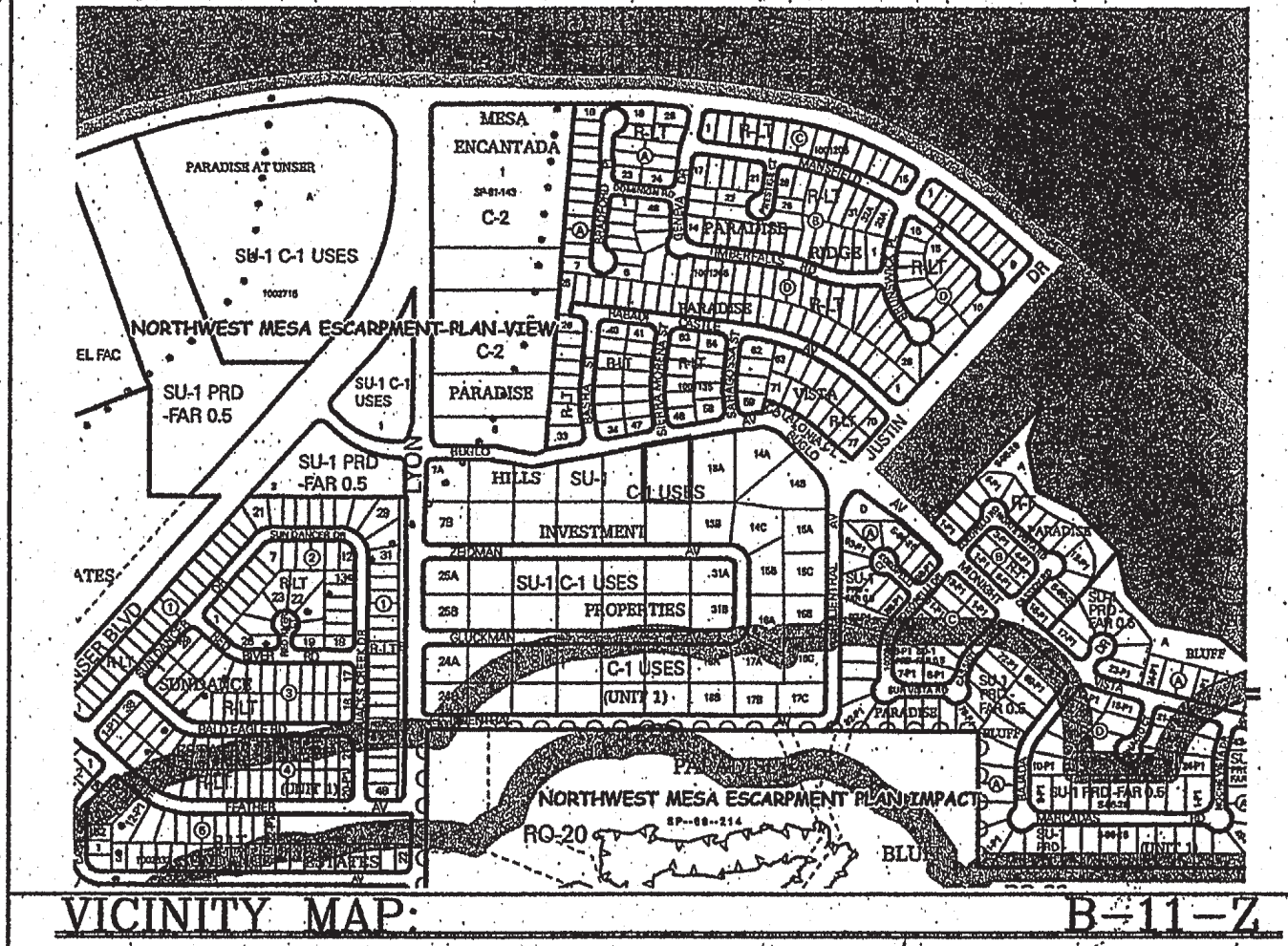
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 4/12/17, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

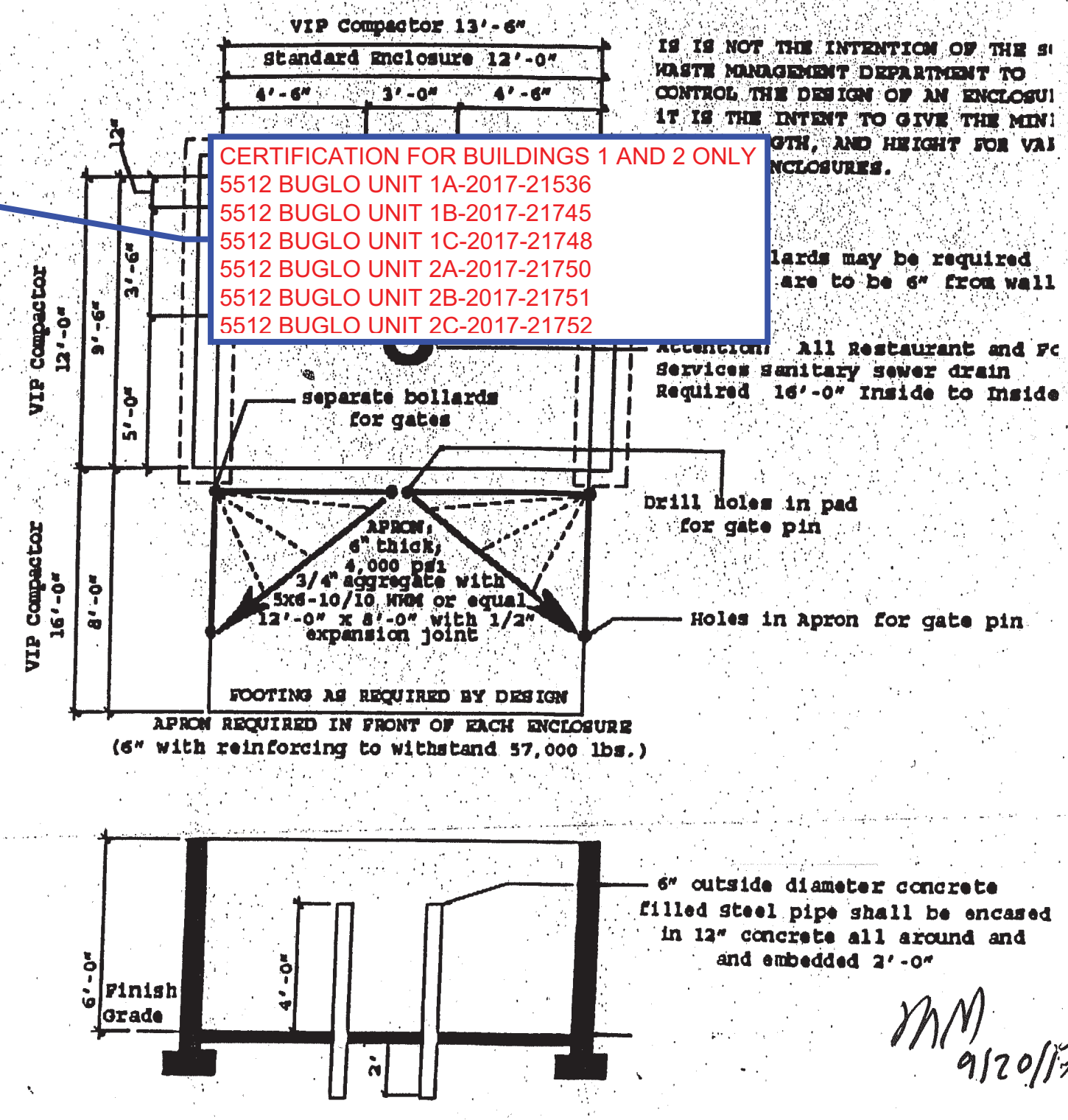
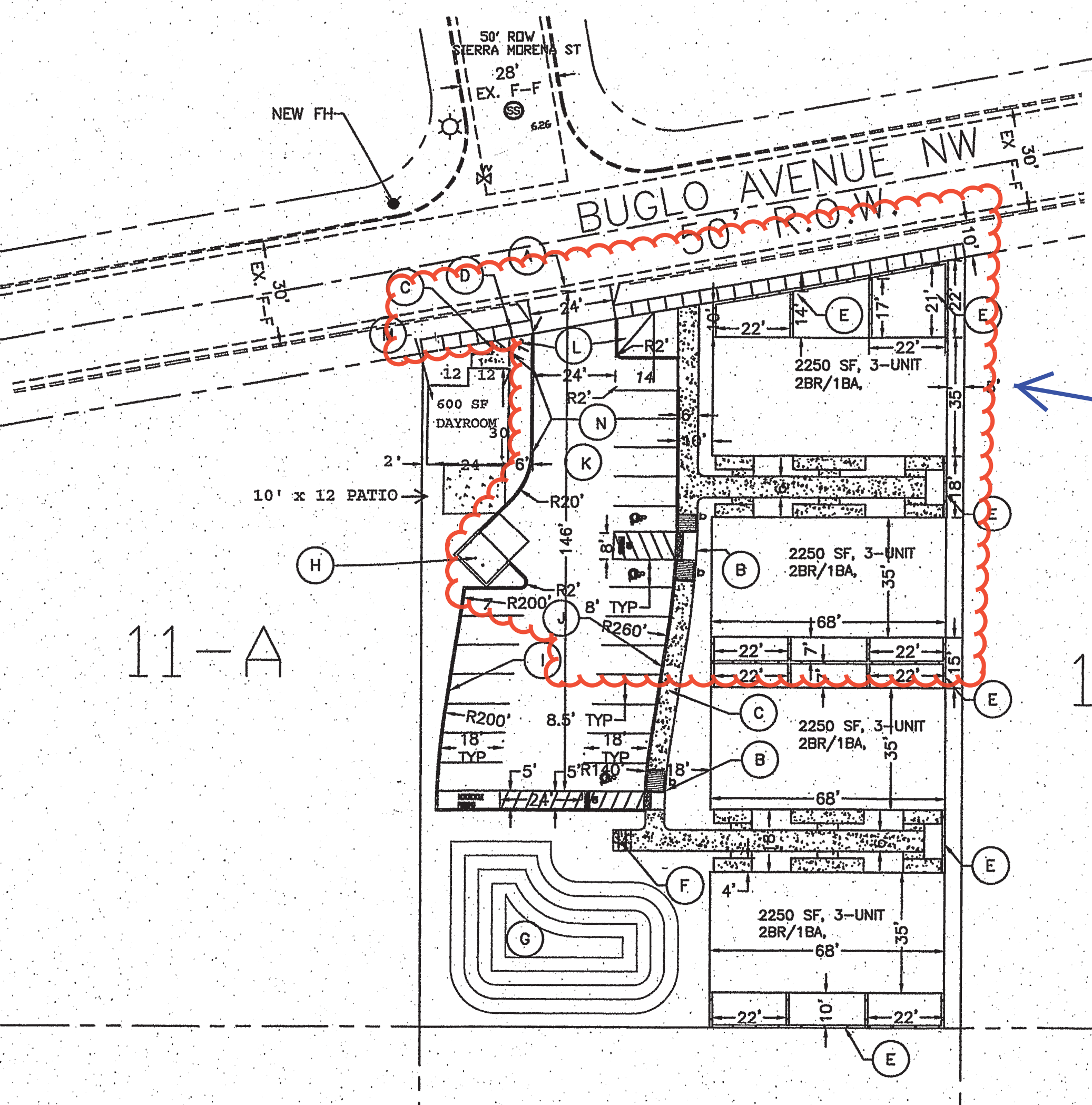
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Roguel M. Wray Traffic Engineer, Transportation Division	4/12/17 Date
Therese Cas Utilities Development	04-0-17 Date
Chandore Parks & Recreation Department	4/12/17 Date
Renee James City Engineer	9/14/2017 Date
Environmental Health Department (conditional)	9-14-17 Date
City Engineer	3-9-17 Date
DRB Chairperson, Planning Department	9-14-17 Date

\* Environmental Health, if necessary 12/16/03



VICINITY MAP: B-11-2  
LEGAL DESCRIPTION:  
TRACT 12A PARADISE HILLS INVESTMENT

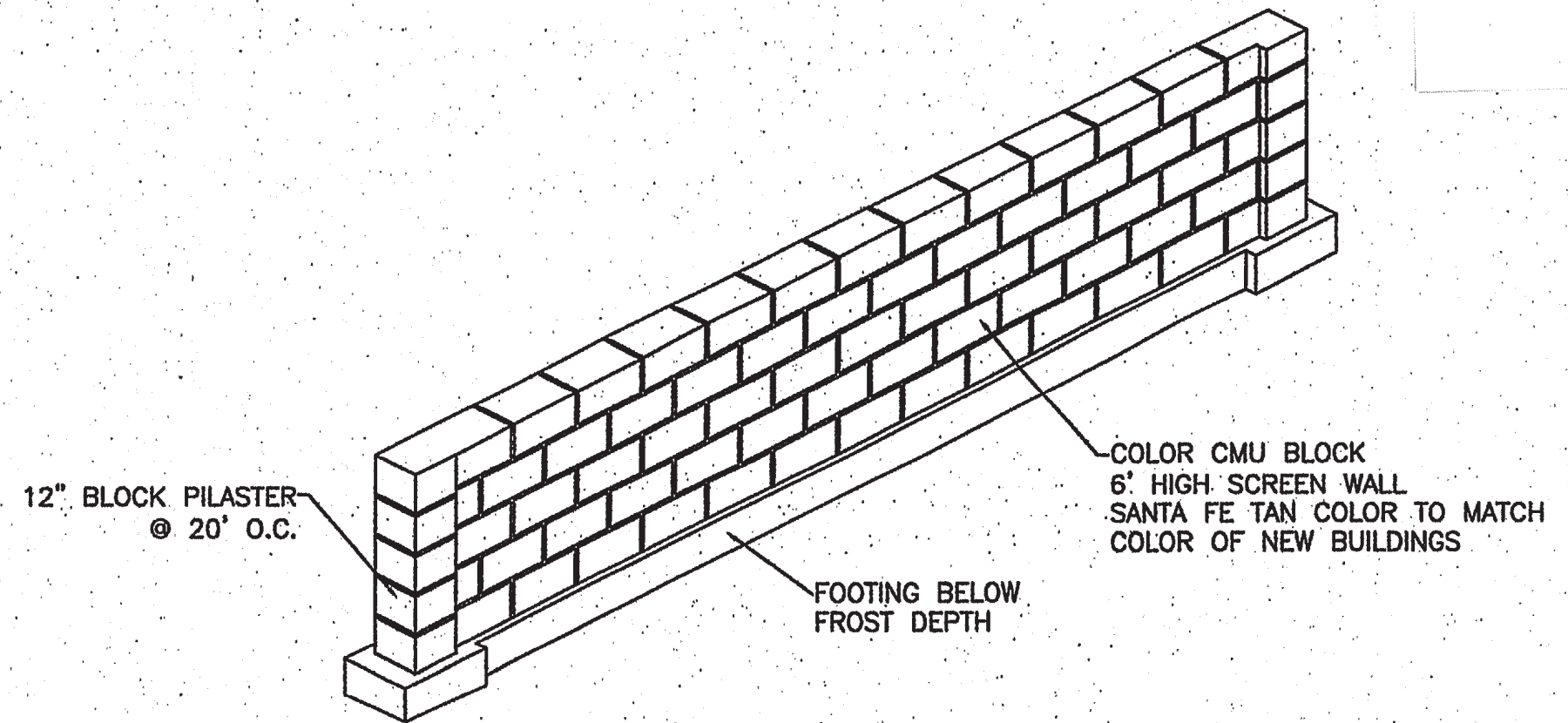


- KEYED NOTE:
- (A) DRIVEPAD PER C.O.A. STD DWG #2425
  - (B) HANDICAP RAMP
  - (C) 6' SIDEWALK WITH ADA PATH
  - (D) 4' PUBLIC SIDEWALK
  - (E) 5' SCREEN/RETAINING WALL
  - (F) BIKE RACK
  - (G) WATER HARVEST AREA
  - (H) DUMPSTER
  - (I) 6" HEADER CURB PER COA STD 2415B
  - (J) 6" SIDEWALK FLUSH WITH 6" HEADER CURB
  - (K) PARKING AREA SHALL BE 3" AC OVER 4" ABC
  - (L) CLEAR SITE TRIANGLE.
  - (M) FIRE DEPARTMENT KNOX BOX
  - (N) FIRE LANE, PAINT RED

NOTES:

- ALL BUILDING USAGE MUST COMPLY WITH EXISTING ZONING OF PROPERTY AND SITE PLAN FOR BUILDING PERMIT SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR FINAL APPROVAL.
- THIS SITE IS LOCATED IN THE ESCARPMENT VIEW AREA, AS DESCRIBED WITHIN THE NORTHWEST ESCARPMENT PLAN (RANK 3).
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
- ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441, 2426.
- BUILDING MOUNTED SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS WITHOUT INTERNAL ILLUMINATIONS. NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.
- NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
- VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
- PATH WAY LIGHTING SHALL BE FULLY SHIELDED NOT TO EXCEED 36" FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD AND NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
- MAXIMUM HEIGHT OF RETAINING WALL SHALL BE 5'
- TRASH ENCLOSURE SHALL MEET SOLID WASTE DEPARTMENTS MINIMUM STANDARD AND SHALL CONFORM TO COA STANDARD DETAILS.
- ADA ACCESSIBLE PARKING SIGNS MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA1978 VIOLATORS ARE SUBJECT TO A FINE AND OR TOWING
- CLEAR SITE TRIANGLE REQUIREMENTS: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFOR SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB).
- BUILDING TYPE VB-NON SPRINKLED, LARGEST AREA 750SF, EACH COMMON WALL SHALL BE 2-HOUR RATING. BUILDING PREMISE ID SHALL HAVE 10" HIGH TEXT WITH 2" STROKE. ALL TRAFFIC SHALL BE RATED FOR 75,000 # VEHICLE WITH GRADE LESS THAN 8%. BUILDINGS HEIGHT SHALL NOT EXCEED 30'. OCCUPANCY GROUP R3
- NO MONUMENT SIGNAGE ALLOWED. BUILDING MOUNTED SIGNAGE LIMITED TO 25 SF PER FACADE

SITE DATA TABLE	
	LOT 12-A
SITE ACREAGE:	0.7589 AC±
EXISTING ZONING:	SU1 FOR C1 USES
PROPOSED ZONING:	SU1 FOR C1 USES
PROPOSED USE:	OFFICE/APARTMENT
DWELLING UNITS	12
PARKING REQUIRED:	12 SPACES
PARKING PROVIDED:	21 SPACES
HC PARKING REQUIRED:	1 SPACES
HC PARKING PROVIDED:	3 SPACES
BIKE SPACES REQUIRED:	2 SPACES
BIKE SPACES PROVIDED:	2 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACE
MOTORCYCLE SPACES PROVIDED:	1 SPACE
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	3506 SF
LANDSCAPE PROVIDED:	6217 SF
USABLE OPEN SPACE PROVIDED	14,686 SF



6' SCREEN WALL DETAIL  
NTS

SHEET INDEX

- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- MASTER UTILITY PLAN
- CONCEPTUAL GRADING AND DRAINAGE PLAN
- ELEVATIONS



ENGINEER'S SEAL	PARADISE VIEW UNIVERSAL APARTMENTS	DRAWN BY WCUJ
	SITE PLAN FOR BUILDING PERMIT	DATE 4-02-08
	Rio Grande Engineering	2511-SPSD-3-25-08X
	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0959	SHEET # 1 OF 5
DAVID SOULE P.E. #14522		JOB # 2511