

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 4, 2019

Don Briggs, P.E.
Don Briggs Engineering, LLC
5324 Oakledge Ct. NW
Albuquerque, NM 87120

RE: Viva Paradise - Phase II
5516 Buglo NW
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 11/13/19
Hydrology File: B11D010A

Dear Mr. Briggs:

PO Box 1293

Based upon the information provided in your submittal received 11/14/2019, the Conceptual Grading & Drainage Plan is approved for action by the DRB on Site Plan for Building Permit.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

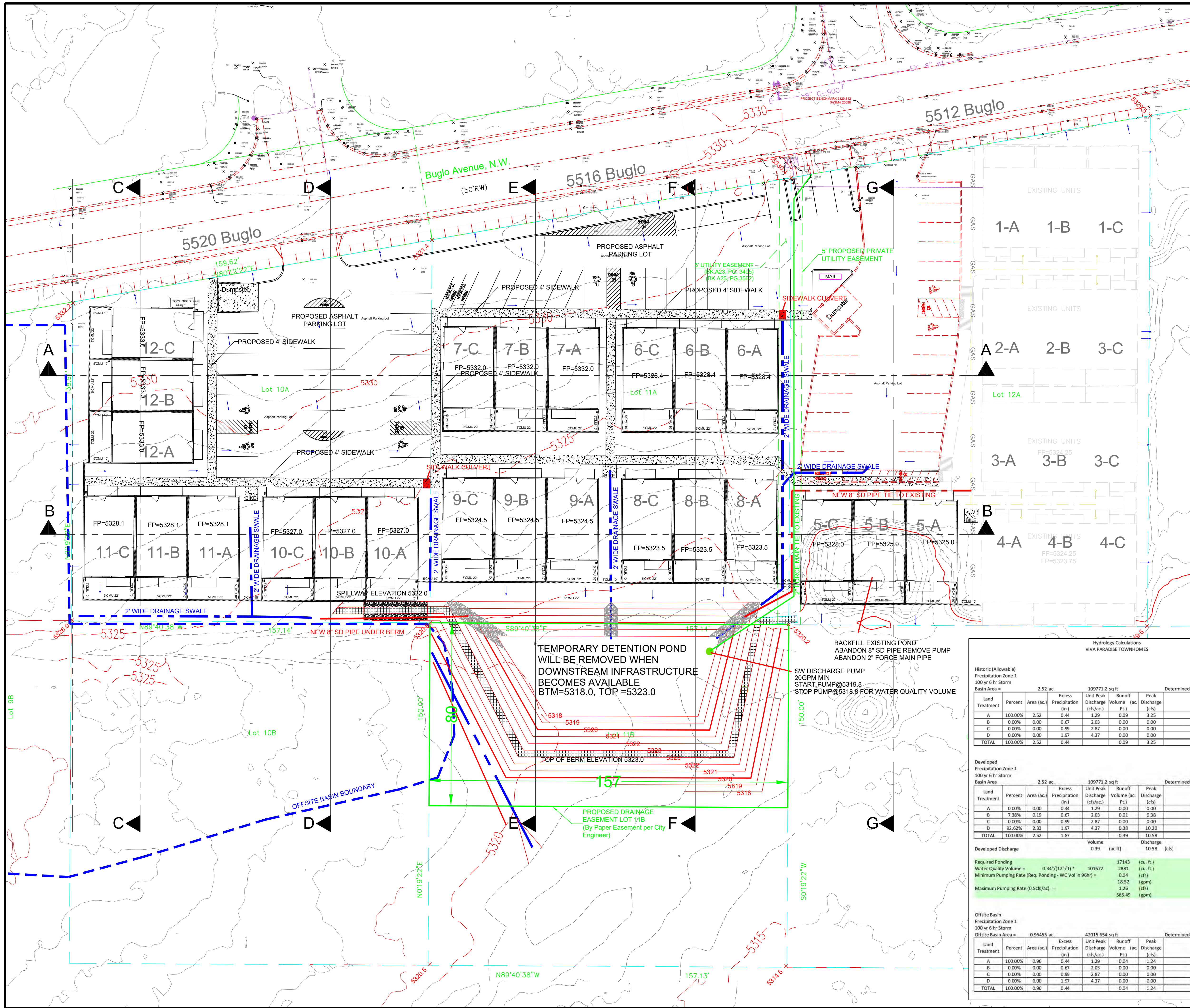
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



THIS IS A CONCEPTUAL GRADING AND DRAINAGE PLAN NOT FOR CONSTRUCTION

ELEVATION	AREA	AVE AREA	DEPTH	CUM DEPTH	VOLUME	CUM VOLUME
5318	2867.24	3241.4178	1	1	3241.418	3241.4175
5319	3615.60	4027.3597	1	2	4027.36	7268.7745
5320	4439.12	4888.4715	1	3	4888.471	12157.2489
5321	5337.82	5824.753	1	4	5824.753	17982.00185
5322	6311.69	6895.3693	1	5	6895.369	24877.37115
5323	7479.053					

Hydrology Calculations
VIVA PARADISE TOWNHOMES

Historic (Allowable) Precipitation Zone 1 100 yr 6 hr Storm
Basin Area = 2.52 ac. 109771.2 sq ft

Land Treatment	Percent	Area (ac.)	Excess Precipitation (in)	Unit Peak Discharge (cfs/ac.)	Runoff Volume (ac ft.)	Peak Discharge (cfs)	Comments
A	100.00%	2.52	0.44	1.29	0.09	3.25	Natural Ground
B	0.00%	0.00	0.67	2.03	0.00	0.00	Landscaped Areas
C	0.00%	0.00	0.99	2.87	0.00	0.00	Compacted earth
D	0.00%	0.00	1.97	4.37	0.00	0.00	Impervious Areas
TOTAL	100.00%	2.52	0.44		0.09	3.25	

Developed Discharge
Volume 0.39 (ac ft.) Discharge 10.58 (cfs)

Required Ponding
Water Quality Volume = 0.34"/(12"/hr) * 101672 = 3.44 (cu ft.)
Minimum Pumping Rate (Req. Ponding - WQ Vol in 96hr) = 0.04 (cfs)
Maximum Pumping Rate (0.5cfs/ac) = 1.26 (cfs) 565.49 (gpm)

Offsite Basin
Precipitation Zone 1 100 yr 6 hr Storm
Offsite Basin Area = 0.96455 ac. 42015.654 sq ft

Land Treatment	Percent	Area (ac.)	Excess Precipitation (in)	Unit Peak Discharge (cfs/ac.)	Runoff Volume (ac ft.)	Peak Discharge (cfs)	Comments
A	100.00%	0.96	0.44	1.29	0.04	1.24	Natural Ground
B	0.00%	0.00	0.67	2.03	0.00	0.00	Landscaped Areas
C	0.00%	0.00	0.99	2.87	0.00	0.00	Compacted earth
D	0.00%	0.00	1.97	4.37	0.00	0.00	Impervious Areas
TOTAL	100.00%	0.96	0.44		0.04	1.24	

REVISIONS

NO.	DATE	REVISIONS
1	11/13/2019	DESIGN
2	11/13/2019	
3		
4		
5		

CONTRACTOR INFORMATION

CONTRACTOR	DATE
WORK BY	
INSPECTED BY	
ACCEPTANCE BY	
VERIFICATION BY	
DRAWN BY	
CHECKED BY	
RECORDED BY	
NO.	

ENGINEER'S SEAL

REMARKS

NO. DATE

DESIGNED BY DB
DRAWN BY DB
CHECKED BY

DATE 11/13/2019
DATE 11/13/2019
DATE

SCALE 1" = 20'

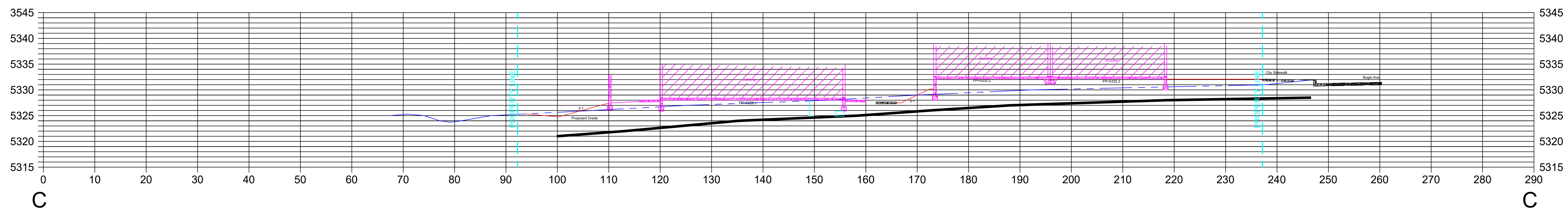
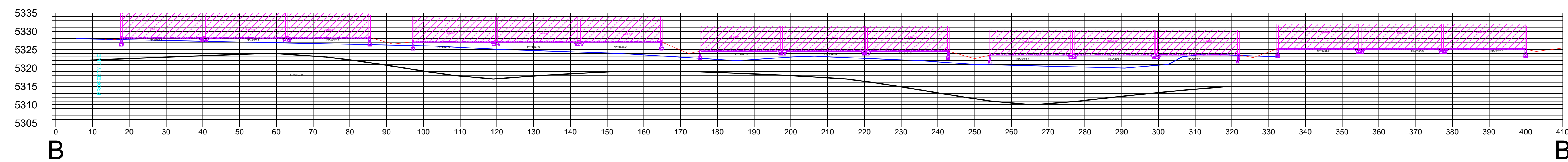
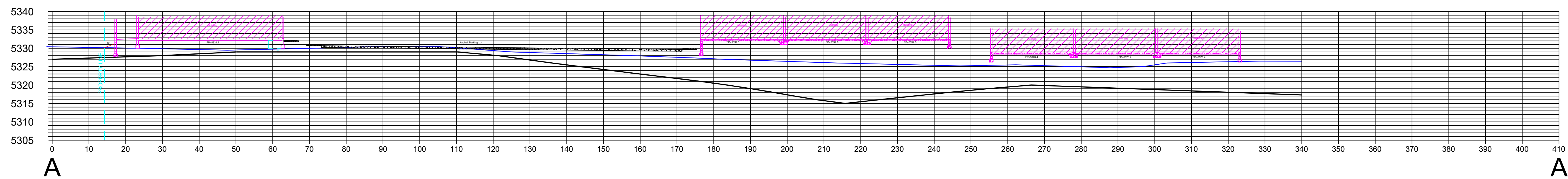
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DON BRIGGS Engineering LLC
505-249-4843
donbriggsengineering@gmail.com
5324 Oakledge Ct. NW, Albuquerque, NM 87120

TITLE: VIVA PARADISE TOWNHOMES CONCEPTUAL GRADING AND DRAINAGE PLAN

Design Review Committee **City Engineer Approval**

City Project No. PR-2019-2333 **Zone Map No. B-11-Z** **Sheet 3A Of 5**



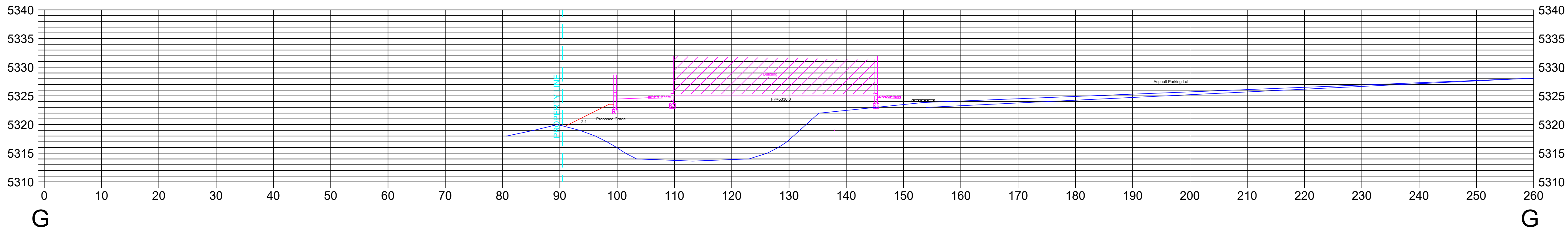
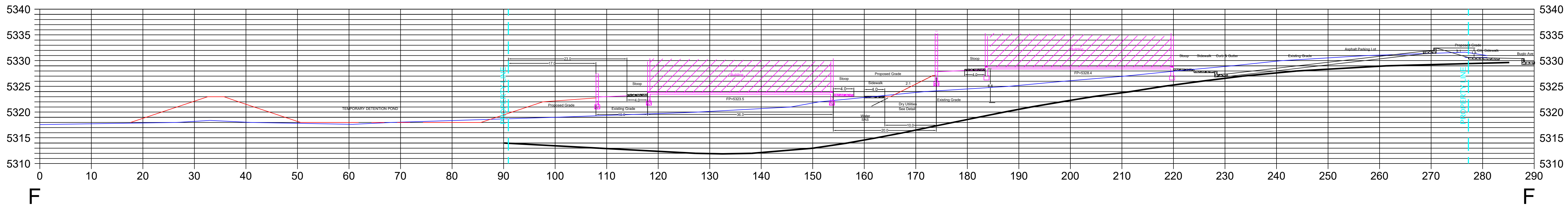
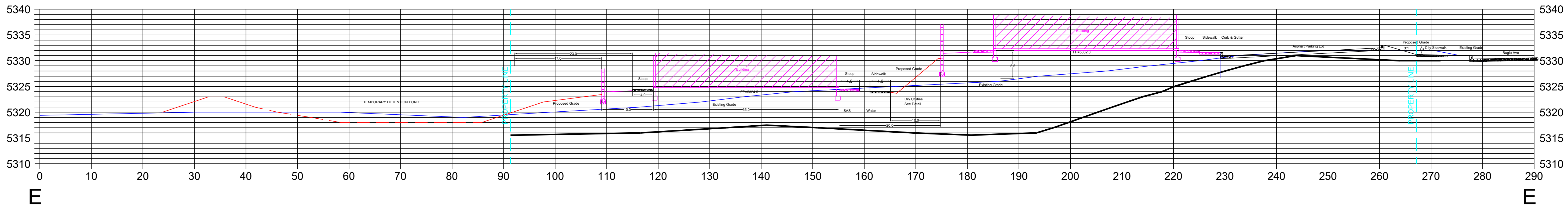
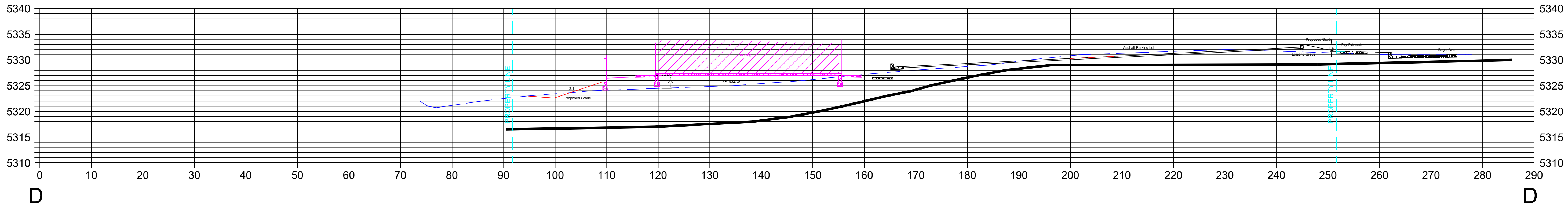
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NO.	DATE	REMARKS	BY	ENGINEER'S SEAL	SURVEY INFORMATION	BENCHMARKS	AS BUILT INFORMATION	
					FIELD NOTES		CONTRACTOR	
					NO.	BY	DATE	WORK STARTED BY
								INSPECTOR'S FIELD VERIFICATION BY
								DATE
								DATE
								CORRECTED BY
							RECORDING INFORMATION	
DESIGNED BY	DB	DATE	11/13/2019				RECORDED BY	
DRAWN BY	DB	DATE	11/13/2019				NO.	
CHECKED BY		DATE						

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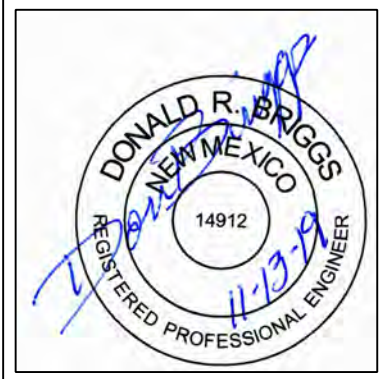
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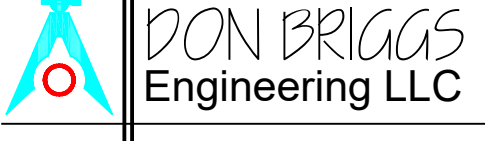
Design Review Committee	City Engineer Approval	Last Design Update	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%; text-align: center;">Mo. / Day / Yr.</th> <th style="width: 50%; text-align: center;">Mo. / Day / Yr.</th> </tr> </thead> <tbody> <tr><td style="height: 30px;"></td><td></td></tr> <tr><td style="height: 30px;"></td><td></td></tr> <tr><td style="height: 30px;"></td><td></td></tr> <tr><td style="height: 30px;"></td><td></td></tr> </tbody> </table>	Mo. / Day / Yr.	Mo. / Day / Yr.								
Mo. / Day / Yr.	Mo. / Day / Yr.												
City Project No. PR-2019-2333	Zone Map No. B-11-Z	Sheet Of 3B 5											



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CONCEPTUAL GRADING AND DRAINAGE PLAN
NOT FOR CONSTRUCTION

AS BUILT INFORMATION		BENCHMARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN	
CONTRACTOR	DATE	NO.	BY	NO.	DATE	BY	DATE	NO.	DATE	NO.	DATE
WORK STAKED BY	DATE										
FIELD ACCEPTANCE BY	DATE										
FIELD CORRECTION BY	DATE										
DRAWINGS CORRECTED BY	DATE										
RECORDING INFORMATION	DATE										
RECORDED BY	DATE										
NO.											





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TITLE: VIVA PARADISE TOWN HOMES
CONCEPTUAL GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.	No. / Day / Yr.

City Project No. PR-2019-2333	Zone Map No. B-11-Z	Sheet 3C	Of 5
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