

CITY OF ALBUQUERQUE



September 12, 2019

Joe Simons
Simons Structure
PO BOX 67408
Albuquerque, NM

Re: HUYHN
5609 Paradise Blvd NW 87114
Traffic Circulation Layout
Engineer's/Architect's Stamp ??-??-?? (B11D012)

Dear Mr. Simons,

Based upon the information provided in your submittal received 09-04-2019, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, **signed, and dated** by an engineer or architect licensed in the state of New Mexico.
2. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of signs.
4. ADA curb ramps must be updated to current standards and have truncated domes installed.
5. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
6. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
7. Bicycle racks shall be sturdy and anchored to a concrete pad.

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8. A 1-foot clear zone around the bicycle parking stall shall be provided.
9. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
10. Show all drive aisle widths and radii. Some dimensions are not shown.
11. The minimum drive aisle dimensions are shown below

	Minimum Drive Aisle Width
Two Way Traffic	22'
Main Circulation Road	24'
Fire Lane	20'

12. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
13. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
14. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner. This applies to TRACT 1 at the north east corner of the property.

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Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Morgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

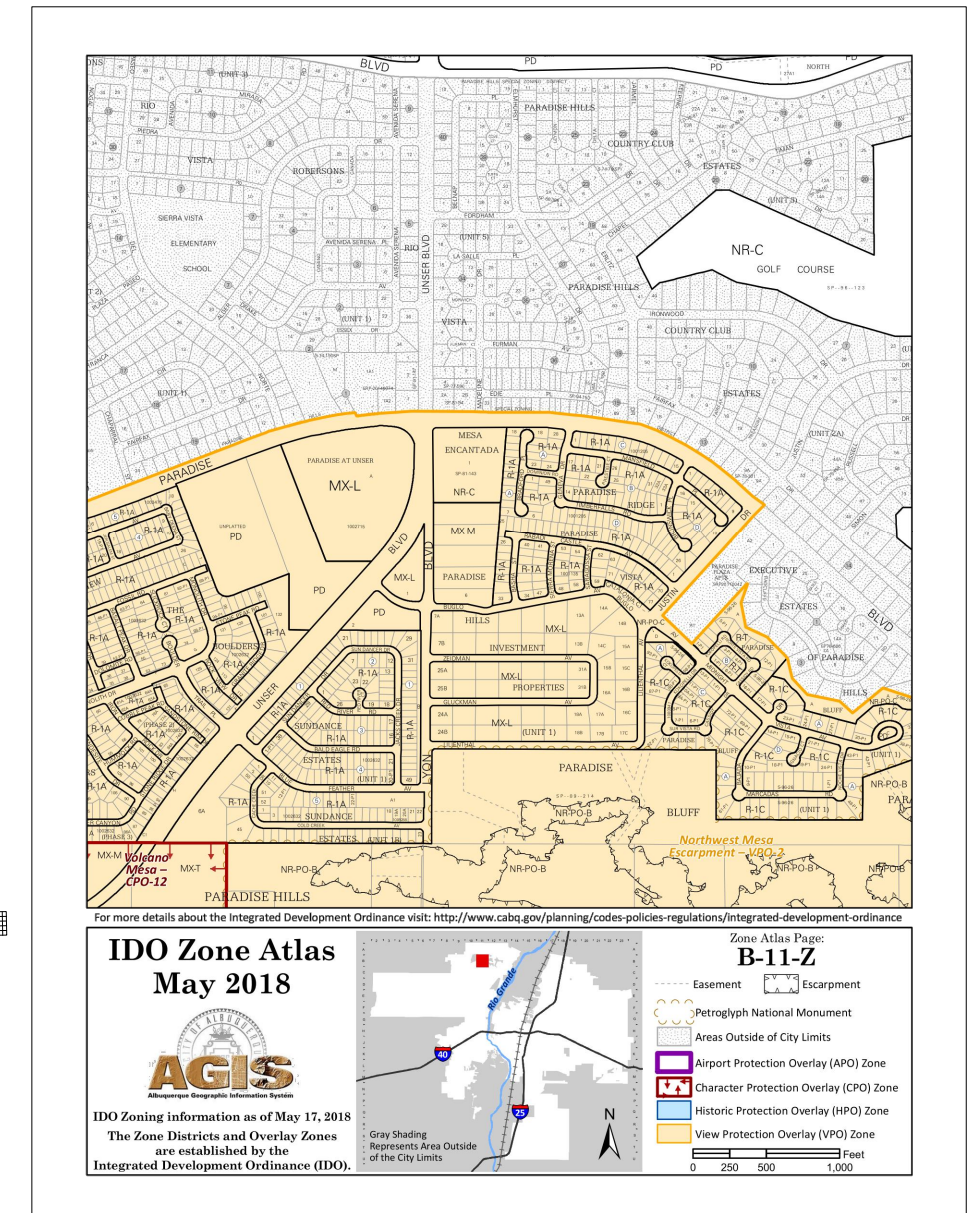
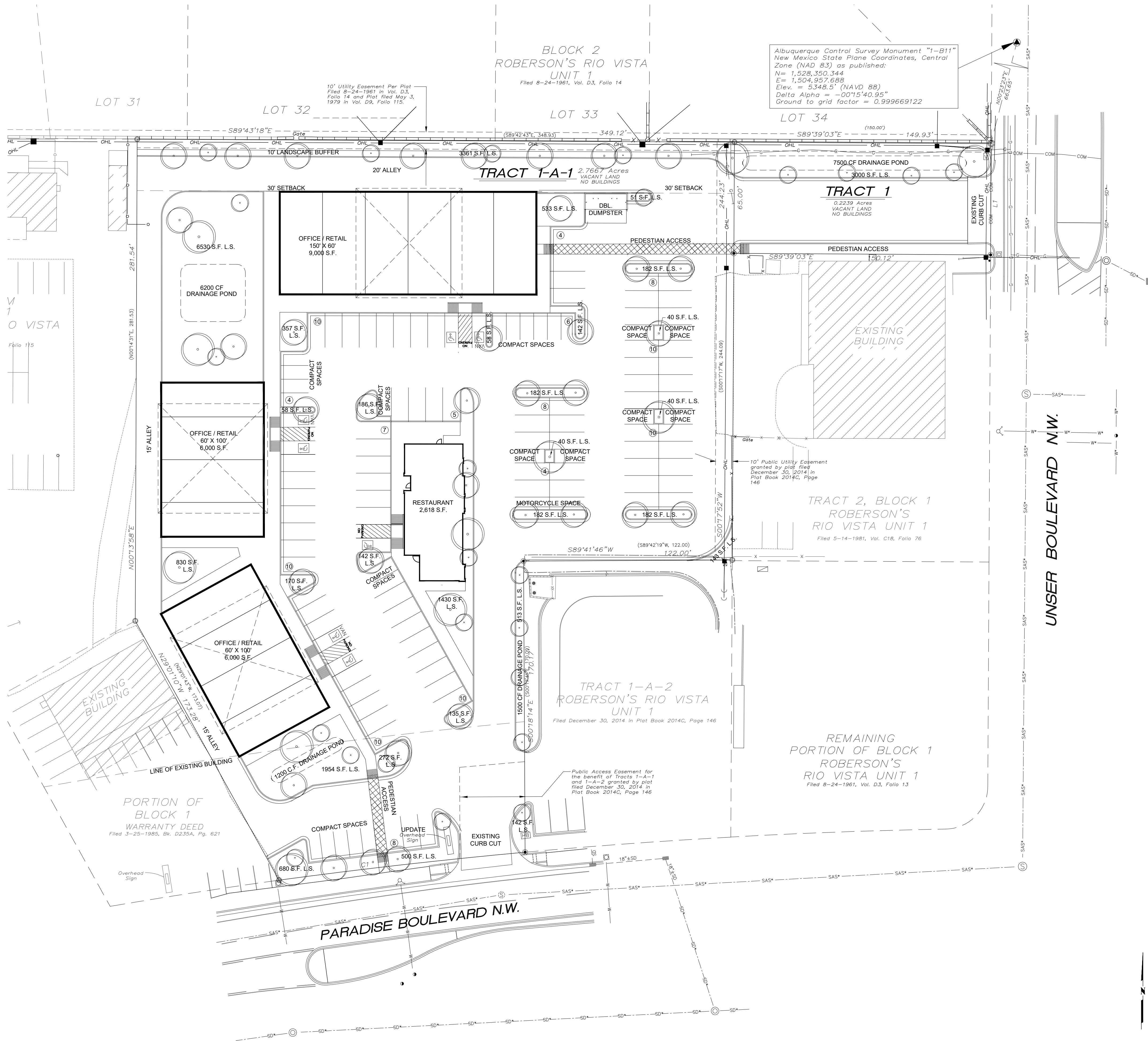
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\MM via: email
C: CO Clerk, File

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VICINITY MAP

LEGAL DESCRIPTION

LOT 1 AND 1-A-1
ROBERSON'S RIO VISTA UNIT 1
ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

SITE DATA

ZONING: C-1
ZONE ATLAS: B-11-Z
SITE SIZE: 130,270.5 SQ. FT. (2.9906 AC.)
BUILDING SIZE / % OF SITE: 23,662 SQ. FT. / 18.16%

PARKING CALCULATIONS

DRIVE-THRU RESTAURANT
AREA: 2,618 S.F.
PARKING CALCULATIONS:
1 SPACE / 4 SEATS = 10 PARKING SPACES
TOTAL STANDARD PARKING PROVIDED = 7 SPACES
TOTAL COMPACT PARKING PROVIDED = 2 SPACES
TOTAL H.C. PARKING REQUIRED = 1 SPACE
TOTAL H.C. PARKING PROVIDED = 1 SPACE
TOTAL PARKING PROVIDED = 10 SPACES

PARKING CALCULATIONS

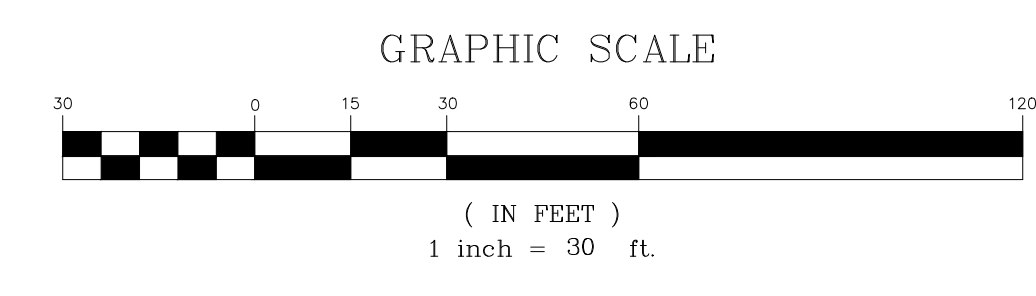
OFFICE / RETAIL
AREA: 21,000 S.F.
PARKING CALCULATIONS:
200 S.F./SPACE = 105 PARKING SPACES
TOTAL STANDARD PARKING PROVIDED = 76 SPACES
TOTAL COMPACT PARKING PROVIDED = 23 SPACES
TOTAL H.C. PARKING REQUIRED = 5 SPACES
TOTAL H.C. PARKING PROVIDED = 6 SPACES
TOTAL PARKING PROVIDED = 105 SPACES

GENERAL PARKING NOTES

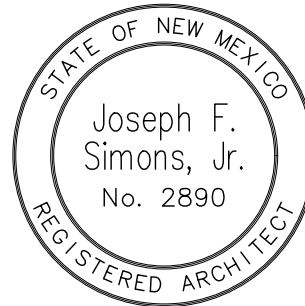
TYPICAL STANDARD SPACES: 10'-0" X 20'-0"
TYPICAL COMPACT CAR SPACES: 8'-0" X 16'-0"
TYPICAL HANDICAP SPACES: 8'-0" X 20'-0"
WITH A 5' WIDE ACCESS AISLE
ALL SPACES ARE STANDARD SIZE UNLESS NOTED OTHERWISE

LANDSCAPE CALCULATIONS

LOT AREA: 130,270 S.F.
BUILDING AREA: 23,618 S.F.
NET LOT AREA: 106,652 S.F.
STREET TREES: 30' O.C.
LANDSCAPE AREA PROVIDED (20.4%): 21,706 S.F.



A
A100
SITE PLAN
1" = 30'-0"



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HUYHN MASTER PLAN
5609 PARADISE BLVD. NW
ALBUQUERQUE, NM 87114
BERNALILLO COUNTY

JOB NUMBER
HUY-001
DATE
7.30.19
REVISIONS

DESIGNED & DRAWN BY
JFS

A100