

GRADING NOTES:

1. GRADING SHALL BE AS DELINEATED ON THE PLAN. ALL FILL PLACED, SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES LOOSE. ALL FILL PLACED, EXCEPT FOR PARKING LOT AREA, SHALL BE COMPACTED TO 85% ASTM D-1557. FILL SHALL BE SHAPED TO MATCH THE GRADES SHOWN ON THE PLAN.
2. ALL SLOPE ELEVATIONS SHOWN ON THE PLAN ARE TOP OF PAVEMENT UNLESS OTHERWISE SHOWN.
3. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
4. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
5. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
6. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATIONS 1012.
9. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
10. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND ARE ADJUSTED FOR CURBS, MEDIANS AND ISLANDS.

GENERAL NOTES:

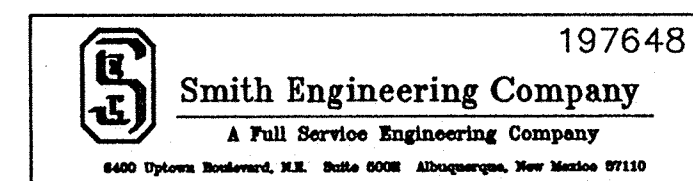
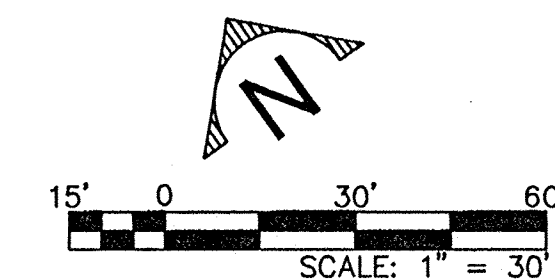
1. CONTRACTOR TO DISPOSE OF DELETERIOUS MATERIALS FROM THE GRUBBING OPERATIONS AND EXCESS MATERIAL AFTER GRADING IS COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS REQUIRED FOR DISPOSAL OF MATERIAL FROM CLEAR AND GRUB AND EXCESS MATERIAL FROM THE REQUIRED GRADING.
2. ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS MANUAL, LATEST EDITION AND DETAIL AS REFERENCED ON THESE PLANS.
3. ALL CONCRETE SHALL BE 4000 PSI STRENGTH AT 28-DAYS WITH 4 TO 6 PERCENT AIR ENTRAINMENT.
4. ALL CURB AND GUTTER TO BE USED ON THE SITE SHALL BE MEDIAN CURB & GUTTER. CITY OF ALBUQUERQUE STANDARD DWG 2415.
5. PAVEMENT SECTION SHALL INC. DUE 8" SUBGRADE PREPARATION, 4" AGGREGATE BASE COURSE, 1-1/2" ASPHALT CONCRETE BASE COURSE (1800 LB STABILITY) AND 1-1/2 INCH OF ASPHALT CONCRETE SURFACE COURSE (1800 LB STABILITY). TACK COAT SHALL BE USED BETWEEN ASPHALT LAYERS.
6. ALL FILL BROUGHT TO THE SITE SHALL CONFORM TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS MANUAL, LATEST EDITION.
7. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
9. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
10. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
12. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
13. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, ETC.)
14. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
15. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
16. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

LEGEND:

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- Diagram illustrating a road cross-section with various elevation points and features:
- 5155 EXISTING CONTOUR LINE
 - 5200 NEW CONTOUR LINE
 - ← FLOWLINE
 - 83.06 TC NEW SPOT ELEVATION AT TOP OF PAVEMENT
 - 82.06 FL EXISTING SPOT ELEVATION AT FLOWLINE
 - 83.06 TW NEW SPOT ELEVATION AT TOP OF WALL
 - 83.06 NEW SPOT ELEVATION AT TOP OF PAVEMENT
 - MEDIAN CURB AND GUTTER

LEGAL DESCRIPTION

TRACT 3-A-2 AND TRACT 3-A-3 OF EAGLE RANCH
CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO,
STATE OF NEW MEXICO.



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

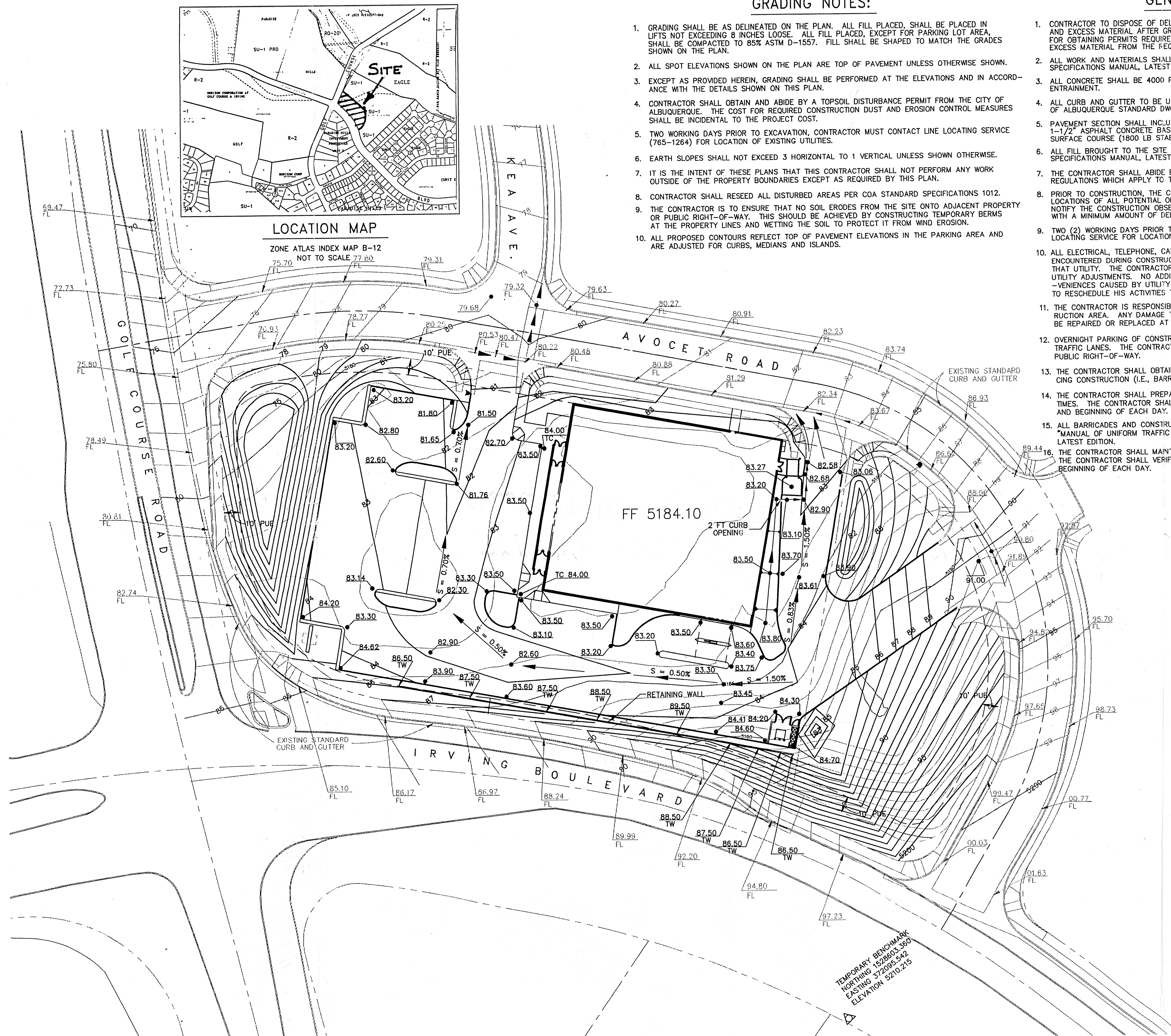
OSCO DRUG # 50-313

TITLE:

GRADING PLAN

[illegible]

Zone Map No. B-12	Sheet	1	Of	2
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- 5155— EXISTING CONTOUR LINE
- 5200— NEW CONTOUR LINE
- NEW DRAINAGE BOUNDARY
- FLOWLINE
- SPOT ELEVATION AT FLOWLINE
- NEW SPOT ELEVATION AT TOP OF WALL
- NEW SPOT ELEVATION AT TOP OF PAVEMENT
- MEDIAN CURB AND GUTTER
- NEW SPOT ELEVATION AT TOP OF CURB
- A1** DRAINAGE BASIN

A1 = 74,787 SQ FT -- 1.72 ACRES 71% D 29% C
A2 = 13,059 SQ FT -- 0.300 ACRES 100% C
A3 = 15,865 SQ FT -- 0.360 ACRES 65% D 35% C

A ₁₀ = 0.24 CFS/ACRE	A ₁₀₀ = 1.29 CFS/ACRE
B ₁₀ = 0.76 CFS/ACRE	B ₁₀₀ = 2.03 CFS/ACRE
C ₁₀ = 1.49 CFS/ACRE	C ₁₀₀ = 2.87 CFS/ACRE
D ₁₀ = 2.89 CFS/ACRE	D ₁₀₀ = 4.37 CFS/ACRE

$$\text{TOTAL } Q_{\text{PEAK}} = Q_{\text{PEAK (AREA A,B,C,D)}} * A_{\text{(AREA A,B,C,D)}}$$

$$Q_{PA1-10} = (1.49 \text{ CFS/AC}) * (0.497 \text{ AC}) + (2.89 \text{ CFS/AC}) * (1.220 \text{ AC}) = 4.3 \text{ CFS} - 10 \text{ YEAR}$$

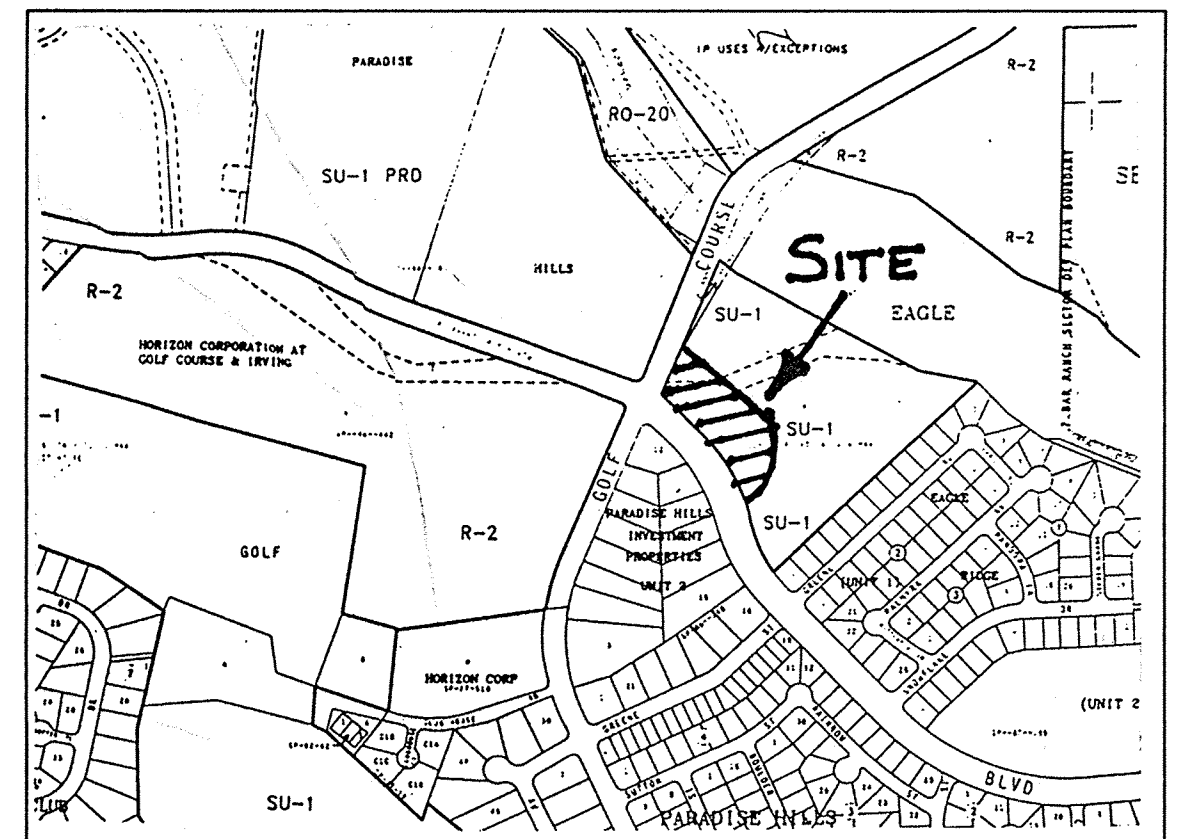
$$Q_{PA1-100} = (2.87 \text{ CFS/AC}) * (0.497 \text{ AC}) + (4.37 \text{ CFS/AC}) * (1.220 \text{ AC}) = 6.8 \text{ CFS} - 100 \text{ YEAR}$$

$$Q_{PA2-10} = (1.49 \text{ CFS/AC}) * (0.300 \text{ AC}) = 0.4 \text{ CFS} - 10 \text{ YEAR}$$

$$Q_{PA2-100} = (2.87 \text{ CFS/AC}) * (0.300 \text{ AC}) = 0.9 \text{ CFS} - 100 \text{ YEAR}$$

$$Q_{PA3-10} = (1.49 \text{ CFS/AC}) * (0.128 \text{ AC}) + (2.89 \text{ CFS/AC}) * (0.236 \text{ AC}) = 0.9 \text{ CFS} - 10 \text{ YEAR}$$

$$QPA3-100 = (2.87 \text{ CFS/AC}) * (0.128 \text{ AC}) + (4.37 \text{ CFS/AC}) * (0.236 \text{ AC}) = 1.4 \text{ CFS} - 100 \text{ YEAR}$$



ZONE ATLAS INDEX MAP B-12
NOT TO SCALE

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO PROVIDE A FINAL DRAINAGE MANAGEMENT PLAN FOR THE PROPOSED DEVELOPMENT OF A NEW RETAIL BUILDING (OSCO DRUG) AND ASSOCIATED SURFACE PARKING ON TRACTS 3-A-2 AND 3-A-3 OF EAGLE RANCH SUBDIVISION. THIS PARCEL IS LOCATED IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF GOLF COURSE ROAD AND IRVING BOULEVARD. THE PLAN IS SUBMITTED FOR REVIEW BY THE CITY OF ALBUQUERQUE HYDROLOGY SECTION.

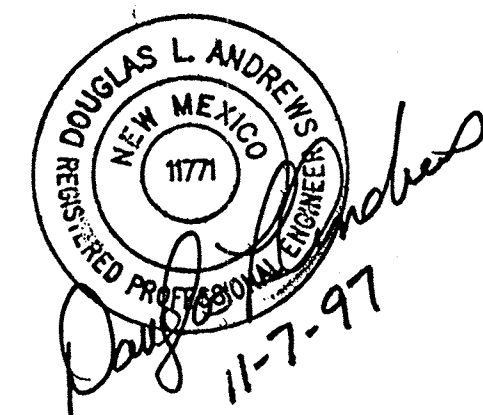
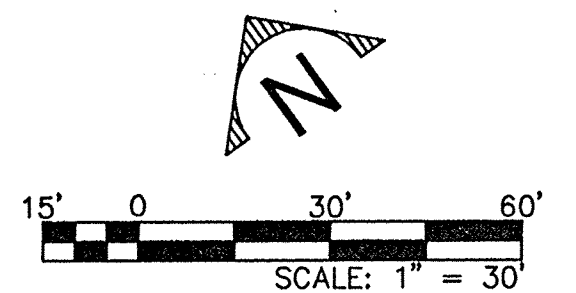
EXISTING CONDITIONS:

THE SITE IS CURRENTLY UNDEVELOPED. HOWEVER, CITY OF ALBUQUERQUE PROJECT NUMBER 5756.81 WILL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF THE OSCO DRUG SITE IMPROVEMENTS. COA PROJECT NO. 5756.81 CONSISTS OF ADDING A RIGHT TURN LANE ON WEST BOUND IRVING BOULEVARD, CONSTRUCTING TWO NORTH BOUND LANES ON GOLF COURSE ROAD, AND BUILDING THE ROADWAY IMPROVEMENTS TO AVOCET ROAD AND KEA AVE. IT SHOULD BE NOTED THAT THREE (3) STORM DRAIN INLETS WILL BE INSTALLED ON KEA AVE. NEAR GOLF COURSE ROAD AS PART OF THE COA PROJECT NO. 5756.81. THESE INLETS WERE DESIGNED TO PICK UP THE FLOWS FROM THE OSCO DRUG DEVELOPMENT. A FINAL DRAINAGE REPORT FOR EAGLE RANCH, TRACTS 3-A-1, 3-A-2, 3-A-3, AND 3-A-4 IS CURRENTLY BEING WRITTEN BY BOHANNAN HUSTON, INC. WHICH WILL DISCUSS EXISTING AND PROPOSED OFF-SITE AND ON SITE FLOWS RELATIVE TO THIS SITE. THE EAGLE RANCH TRACTS 3-A-1, 3-A-2, 3-A-3, AND 3-A-4 DRAINAGE REPORT SHOULD BE SUBMITTED AT A DATE CLOSE TO THE SUBMITTAL OF THIS DRAINAGE MANAGEMENT PLAN. PLEASE REFER TO THE EAGLE RANCH DRAINAGE REPORT WHEN REVIEWING THIS DRAINAGE MANAGEMENT PLAN. IF ANY QUESTIONS ARISE, PLEASE CONTACT DOUGLAS ANDREWS OF SMITH ENGINEERING COMPANY (884-0700) OR HOWARD STONE OF BOHANNAN HUSTON, INC. (823-1000).

PROPOSED CONDITIONS:

THE PROPOSED DEVELOPMENT CONSISTS OF A RETAIL STORE WITH AN ASSOCIATED SURFACE PARKING LOT AND REQUIRED LANDSCAPING. THE TOTAL PROPOSED FLOW (Q₁₀₀) DISCHARGED TO KEA AVENUE WILL BE 8.8 CFS. OF THIS 8.2 CFS WILL BE FLOW IN KEELEVEN CREEK AND EVENTUALLY PICKED UP BY THE INLETS ON KEA AVENUE NEAR GOLF COURSE ROAD. A Q₁₀₀ OF 0.9 CFS WILL ENTER GOLF COURSE ROAD FROM THE SITE. GOLF COURSE ROAD HAS SUFFICIENT CAPACITY TO HANDLE THIS FLOW AND CARRY IT TO AN INLET NEAR THE CALABACILLAS ARROYO. THE EAGLE RANCH, TRACTS 3-A-1, 3-A-2, 3-A-3, AND 3-A-4 DRAINAGE REPORT DISCUSSES THE STREET CAPACITY OF GOLF COURSE ROAD, AVOCET ROAD, KEA AVENUE, AND IRVING BOULEVARD ALONG WITH THE INLET CAPACITIES ON KEA AVE. EARTH BERMS AND THE PROPOSED WATER RESTORATION AREAS WILL BE PROVIDED DURING CONSTRUCTION FOR EROSION CONTROL PURPOSES DURING CONSTRUCTION. SEE THIS SHEET FOR HYDROLOGY CALCULATIONS RELATIVE TO THIS SITE.

TRACT 3-A-2 AND TRACT 3-A-3 OF EAGLE RANCH
CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO,
STATE OF NEW MEXICO.



	<div style="display: flex; justify-content: space-between;"> 197648 </div> <h2 style="margin: 0;">Smith Engineering Company</h2> <p style="margin: 0;">A Full Service Engineering Company</p> <p style="margin: 0; font-size: small;">9000 Olympic Boulevard, N.E. Suite 9000 Albuquerque, New Mexico 87119</p>														
<p>CITY OF ALBUQUERQUE</p> <p>PUBLIC WORKS DEPARTMENT</p> <p>ENGINEERING DEVELOPMENT GROUP</p>															
TITLE:	<p>OSCO DRUG STORE # 50-313</p> <h1 style="margin: 0;">DRAINAGE PLAN</h1>														
Design Review Committee	City Engineer Approval	Last Design Update	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%; font-size: small;">No. / Day / Yr.</th> <th style="width: 50%; font-size: small;">No. / Day / Yr.</th> </tr> </thead> <tbody> <tr><td style="height: 20px;"> </td><td> </td></tr> <tr><td style="height: 20px;"> </td><td> </td></tr> <tr><td style="height: 20px;"> </td><td> </td></tr> <tr><td style="height: 20px;"> </td><td> </td></tr> <tr><td style="height: 20px;"> </td><td> </td></tr> </tbody> </table>	No. / Day / Yr.	No. / Day / Yr.										
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