



January 29, 1997

Robert E. Gurulé, Director

Martin J. Chávez, Mayor

Chris Weiss  
C.L. Weiss Engineering, Inc.  
P.O. Box 97  
Sandia Park, NM 87047

**RE: ARROYO DEL SOL CONDOMINIUMS (B12-D6) UPDATED DRAINAGE AND GRADING PLANS FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 1-20-97.**

Dear Mr. Weiss:

Based on the information provided on your January 22, 1997 submittal, the above referenced project is approved for Building Permit.

Because AMAFCA's concurrence is required, I am forwarding them a copy of this letter. If for any reason AMAFCA has a problem with the above referenced project, the Building Permit will be rescinded and you will be required to resubmit.

Prior to Certificate of Occupancy approval, an Engineer's Certification will be required.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,

Lisa Ann Manwill  
Engineering Assoc./Hyd.

c: John Kelley - AMAFCA  
Andrew Garcia  
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103







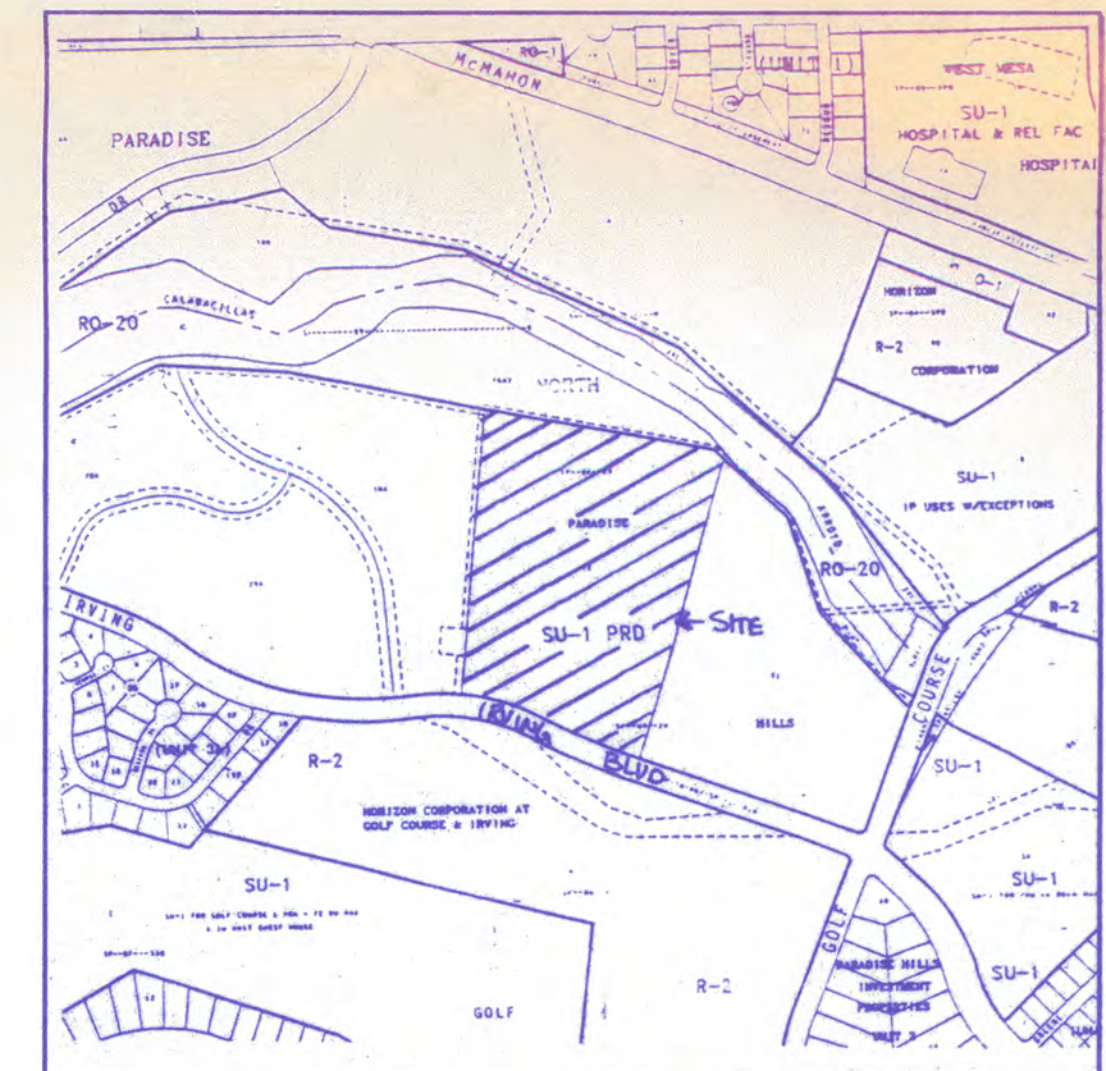
LAS CALABACILLAS

# KEYED NOTES:

1. CONSTRUCT DRIVE ENTRANCE. PROVIDE SMOOTH RIDING TRANSITION. SEE ARCHITECTURAL FOR DIMENSIONS AND WHEELCHAIR RAMP INFORMATION.
2. INVERTED 24" WIDE 'V' STREET SECTION WITH 2" WIDE VALLEY GUTTER AND 2% CROSS SLOPE. SEE PAVING DETAILS.
3. 6" HIGH HEADER CURB.
4. ASPHALT DRIVEWAY (TYPICAL).
5. PONDING / INFILTRATION AREA (TYPICAL).
6. RETAINING WALL (TYPICAL).
7. GENERAL PARKING AREA.
8. STORM SEWER INLET. SEE DRAINAGE DETAILS.
9. STORM SEWER MANHOLE. SEE DRAINAGE DETAILS.
10. PONDING SYSTEM OUTLET. SEE DRAINAGE DETAILS.
11. AREA DETENTION POND. SEE DRAINAGE DETAILS.
12. POND INLET. SEE DRAINAGE DETAILS.
13. SPILLWAY OUTLET AND DETENTION DRAIN. SEE DRAINAGE DETAILS.
14. LANDSCAPED CATCHMENT BASINS (TYPICAL). SEE LANDSCAPE PLAN.
15. LANDSCAPED DRAINAGE SWALE. SEE LANDSCAPE PLAN.
16. CONCRETE DIP-SECTION. SEE DRAINAGE DETAILS.
17. DETENTION POND OUTLET. SEE DRAINAGE DETAILS.
18. CALABACILLAS POND OUTLET / BANK CONTROL. SEE DRAINAGE DETAILS.
19. STANDARD 24" WIDE STREET SECTION WITH 2% CROSS SLOPE.
20. STANDARD CURB AND GUTTER (BOTH SIDES).
21. 2' WIDE STANDARD VALLEY GUTTER / CONCRETE CURB APRON (TYPICAL C.O.A.)
22. 2' WIDE OPENING IN CURB TO ALLOW STREET FLOWS TO PASS.
23. 1' WIDE OPENING IN CURB TO ALLOW FLOWS TO PASS.
24. CONNECT ROOF DRAIN DIRECTLY TO STORM SEWER THIS AREA.

BENCHMARK: THE STATION IS AN ACS ALUMINUM TABLET STAMPED 'ACS, 2-DIGIT, 1985' SET IN CONCRETE. FLUSH WITH THE TOP OF CURB. TO REACH THE STATION FROM 1-40 AND COORS BLVD. TRAVEL NORTH ON COORS BLVD. 0.1 MILES TO IRVING BLVD. THEN GO WEST 2.2 MILES TO TIMAN AVE. THE STATION IS LOCATED AT THE SOUTHEAST CORNER OF IRVING BLVD. AND TIMAN AVE. NW. SLD 1924 ELEVATION = 5273.824.

GENERAL NOTE: ADD 500 TO EACH FINISH FLOOR ELEVATION TO DETERMINE M.S.L.D. (TYPICAL)



VICINITY MAP #B-12

## LEGEND

- |        |  |
|--------|--|
| ---    | SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED) |
| ----   | ASPHALT PAVING                                 |
| ---    | BUILDING (EXISTING, PROPOSED)                  |
| ---    | PROPERTY LINE                                  |
| ---    | RETAINING WALL                                 |
| + 65.7 | EXISTING SPOT ELEVATION                        |
| - 20   | EXISTING CONTOUR                               |
| + 75.2 | PROPOSED SPOT ELEVATION                        |
| - 30   | PROPOSED CONTOUR                               |
| ---    | SURFACE FLOW DIRECTION (EXISTING, PROPOSED)    |
| LA     | LANDSCAPED AREA                                |
| TA     | TOP OF ASPHALT                                 |
| TC     | TOP OF CURB                                    |
| FL     | FLOW LINE                                      |
| FF     | FINISHED FLOOR                                 |
| R/W    | RIGHT OF WAY                                   |
| PL     | PROPERTY LINE                                  |
| PP     | POWER POLE                                     |

BARKER-MACFARLANE & ASSOCIATES  
ARCHITECTS & PLANNERS  
209 GOLD AVENUE S.W., ALBUQUERQUE, NEW MEXICO 87102, 842-6789.

DATE: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_  
JAN. 20, 1997

ARROYO DEL SOL CONDOMINIUMS  
Irving Boulevard N.W.  
Albuquerque, New Mexico

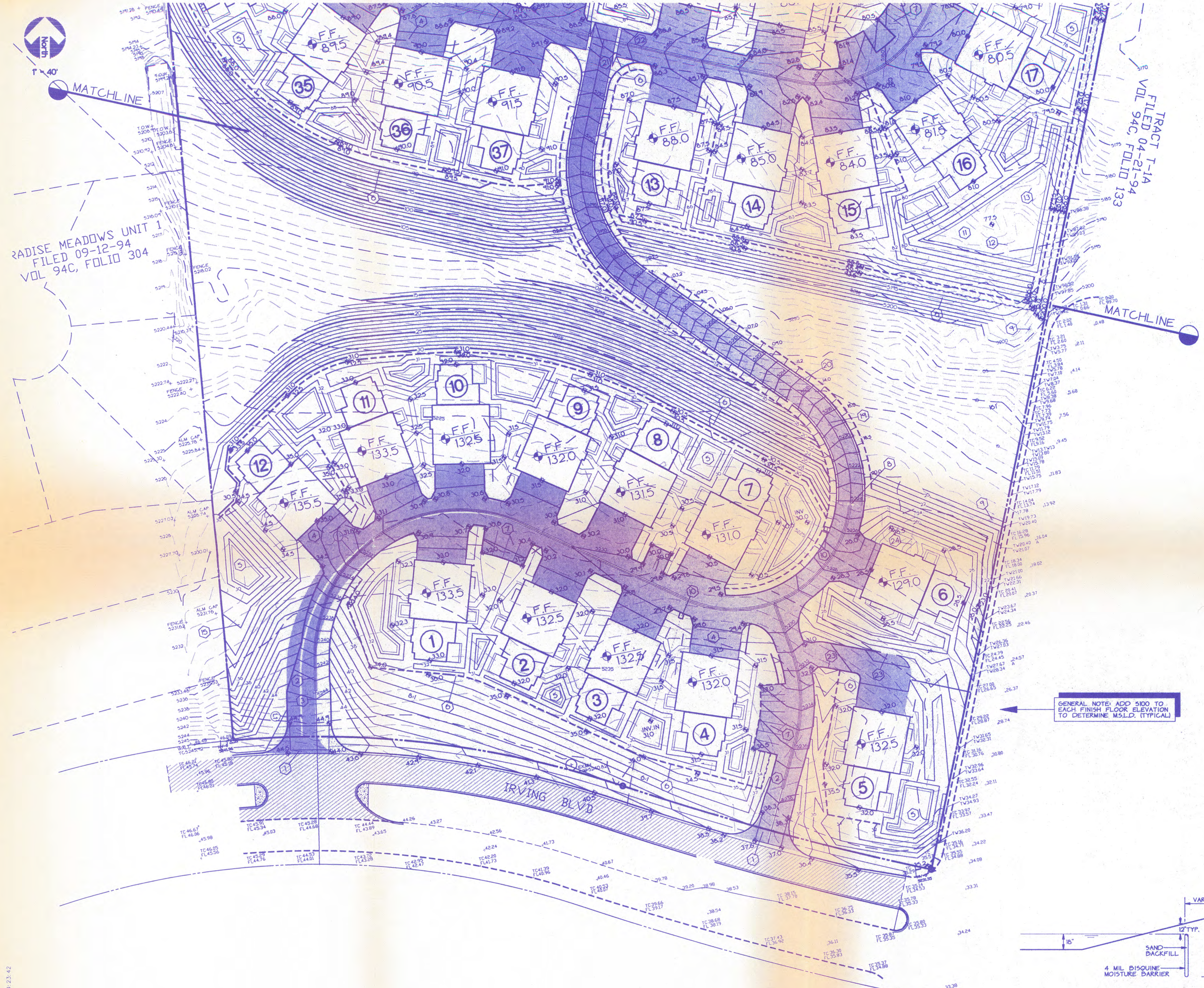
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PARADISE MEADOWS UNIT 1  
FILED 09-12-94  
VOL 94C, FOLIO 304







# KEYED NOTES:

1. CONSTRUCT DRIVE ENTRANCE. PROVIDE SMOOTH RIDING TRANSITION. SEE ARCHITECTURAL FOR DIMENSIONS AND WHEELCHAIR RAMP INFORMATION.
2. INVERTED 24" WIDE V STREET SECTION WITH 2" WIDE VALLEY GUTTER AND 2% CROSS SLOPE. SEE PAVING DETAILS.
3. 6" HIGH HEADER CURB.
4. ASPHALT DRIVEWAY (TYPICAL).
5. PONDING / INFILTRATION AREA (TYPICAL).
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GENERAL NOTE: ADD 5100 TO EACH FINISH FLOOR ELEVATION TO DETERMINE M.S.L.D. (TYPICAL)

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# LEGEND

- SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)
- ASPHALT PAVING
- BUILDING EXISTING, PROPOSED
- PROPERTY LINE
- RETAINING WALL
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- SURFACE FLOW DIRECTION (EXISTING, PROPOSED)
- LA LANDSCAPED AREA
- TA TOP OF ASPHALT
- TC TOP OF CURB
- FL FLOW LINE
- FF FINISHED FLOOR
- R/W RIGHT OF WAY
- PL PROPERTY LINE
- PP POWER POLE

# FOUNDATION PROTECTION DETAIL

1. CONTRACTOR TO EXCAVATE USING DITCH WITCH A 4" WIDE X DEPTH X LENGTH OF POND AREA WITHIN 15' FROM BUILDING.
2. LAY 4 MIL DISQUINE MOISTURE BARRIER IN TRENCH AND BACKFILL WITH SAND UNTIL TRENCH IS FILLED.
3. OVERLAP ENDS OF DISQUINE MOISTURE BARRIER AND COVER 12" TYP. AS SHOWN.

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

JAN. 21, 1997

DRAINAGE AND GRADING PLAN

SOUTH

CLWEISS ENGINEERING, INC.

209 GOLD AVENUE S.W., ALBUQUERQUE, NEW MEXICO 87102, 847-6789

ARROYO DEL SOL CONDOMINIUMS

Irving Boulevard N.W.

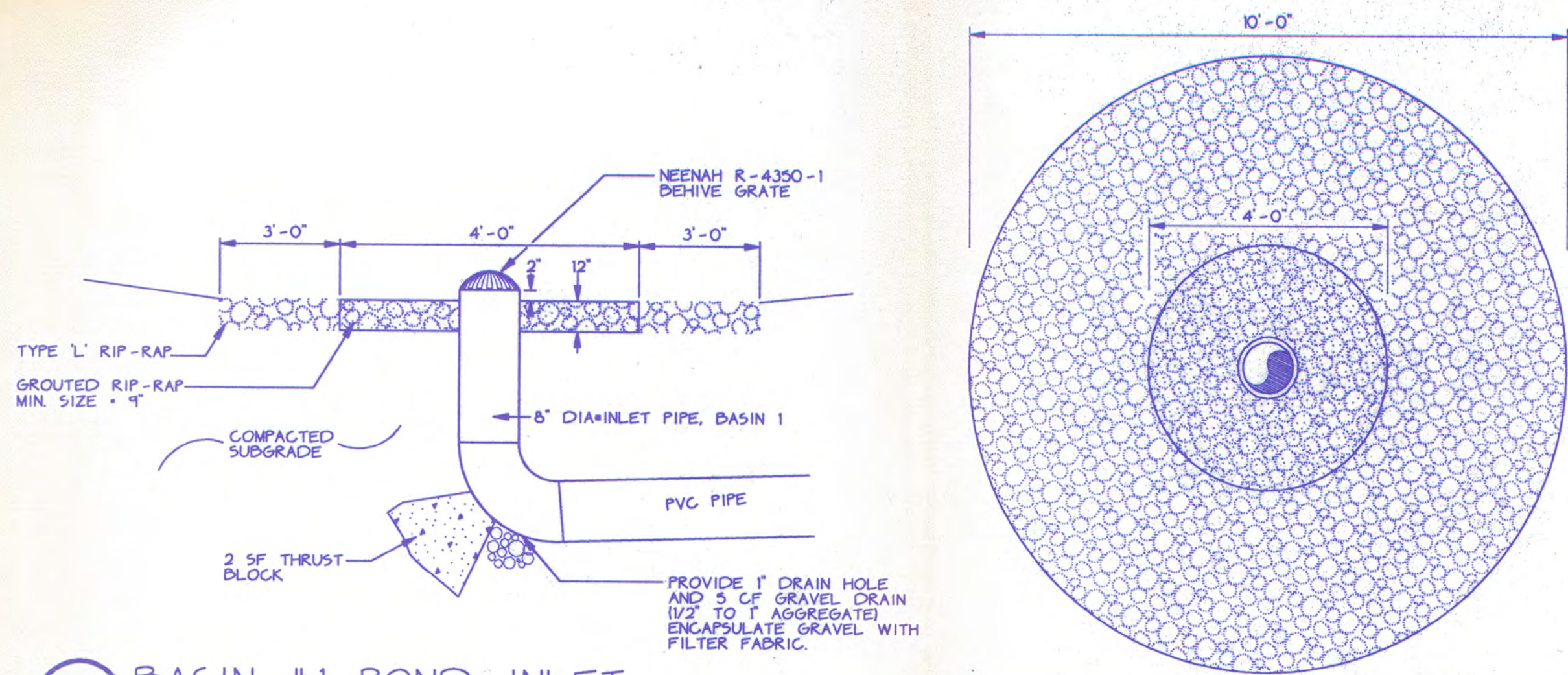
Albuquerque, New Mexico

SHT. NO.

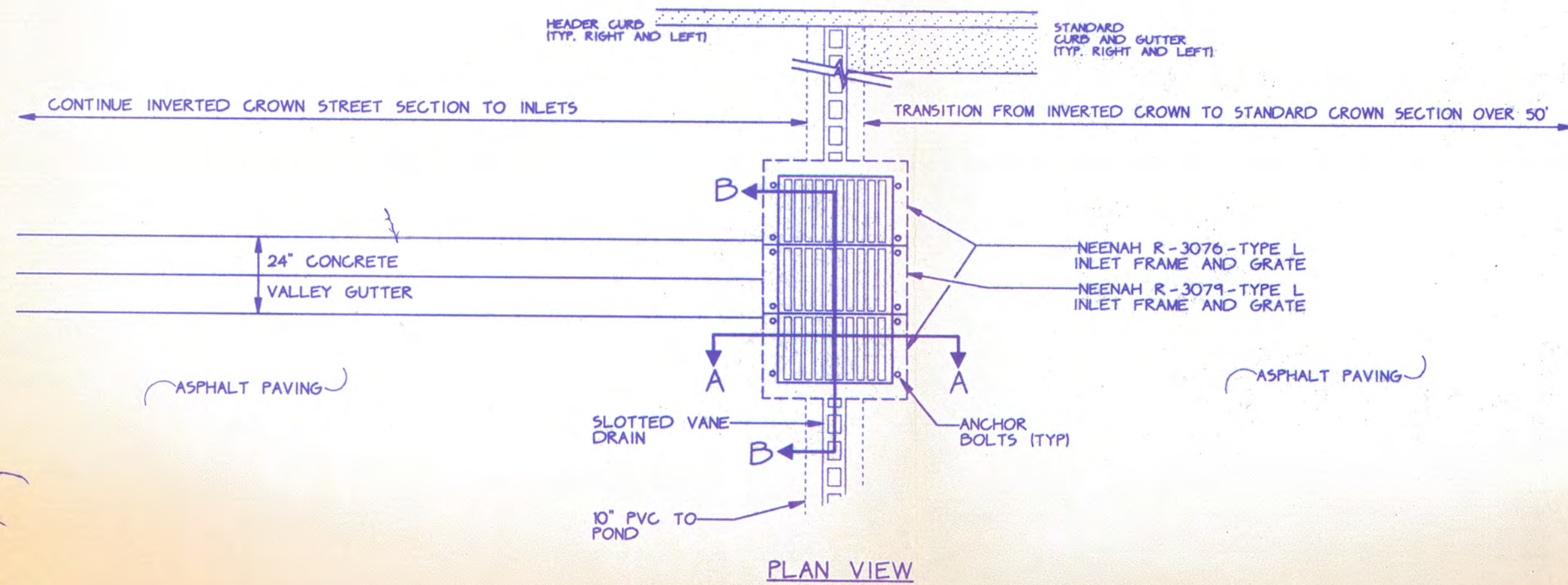
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OF

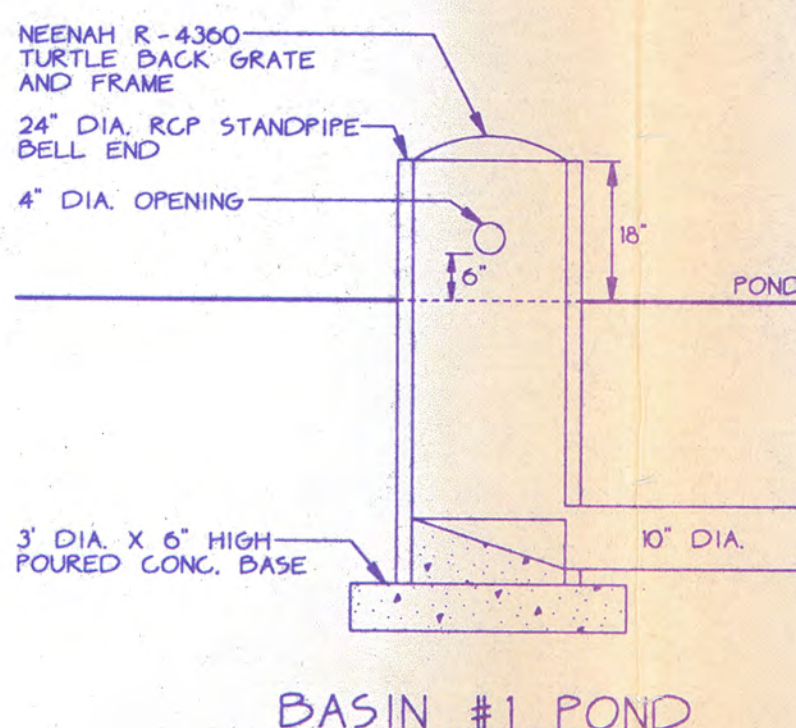




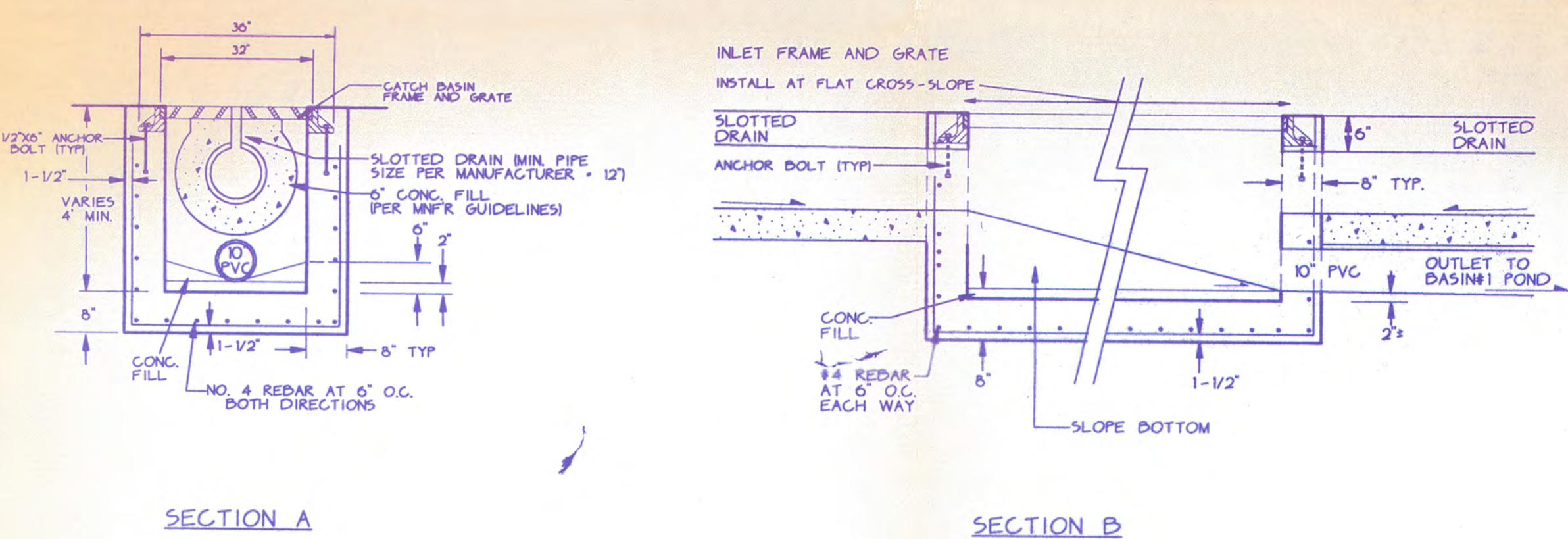
1 BASIN #1 POND INLET



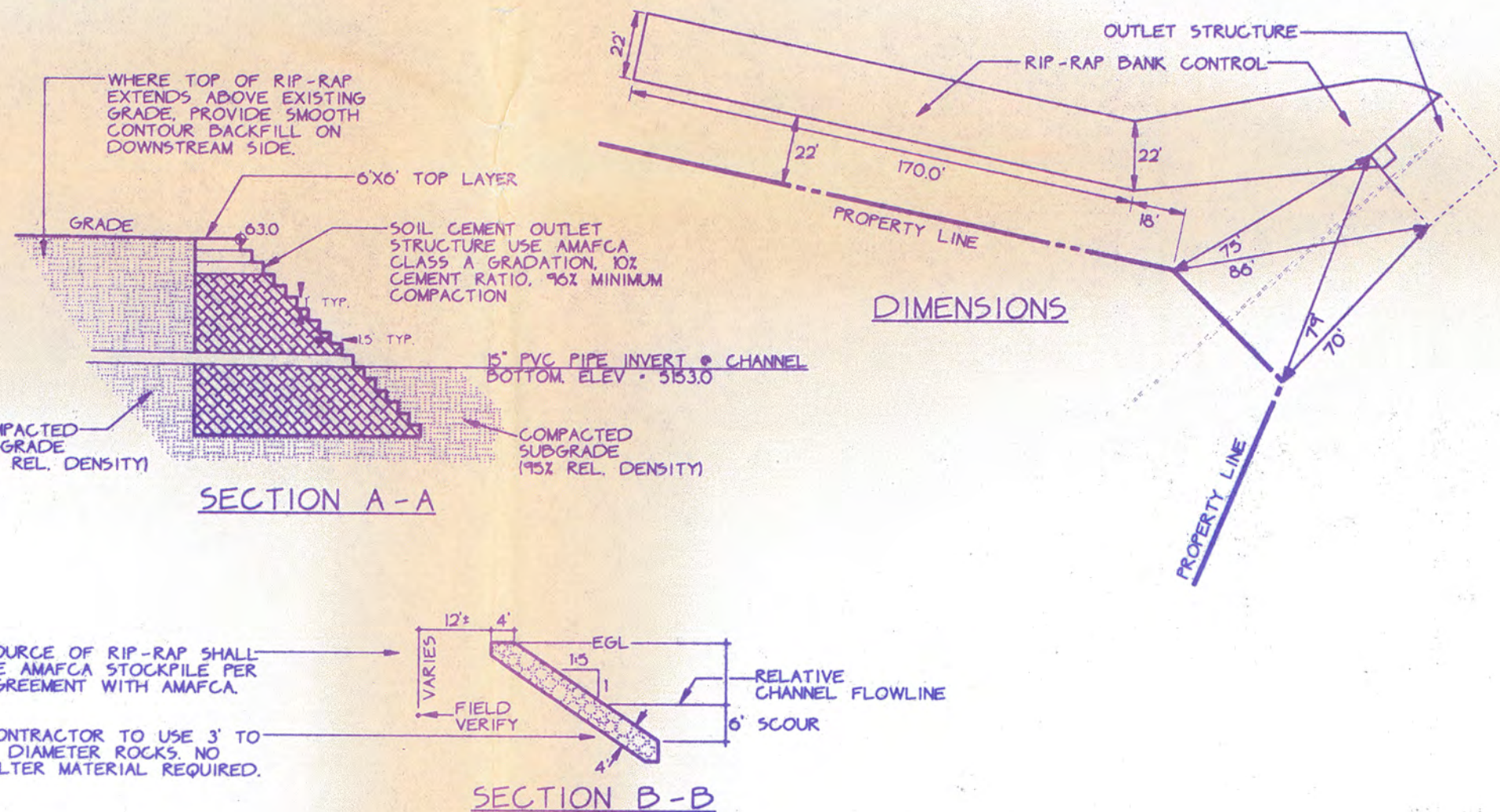
2 PIPE OUTLET 'A'



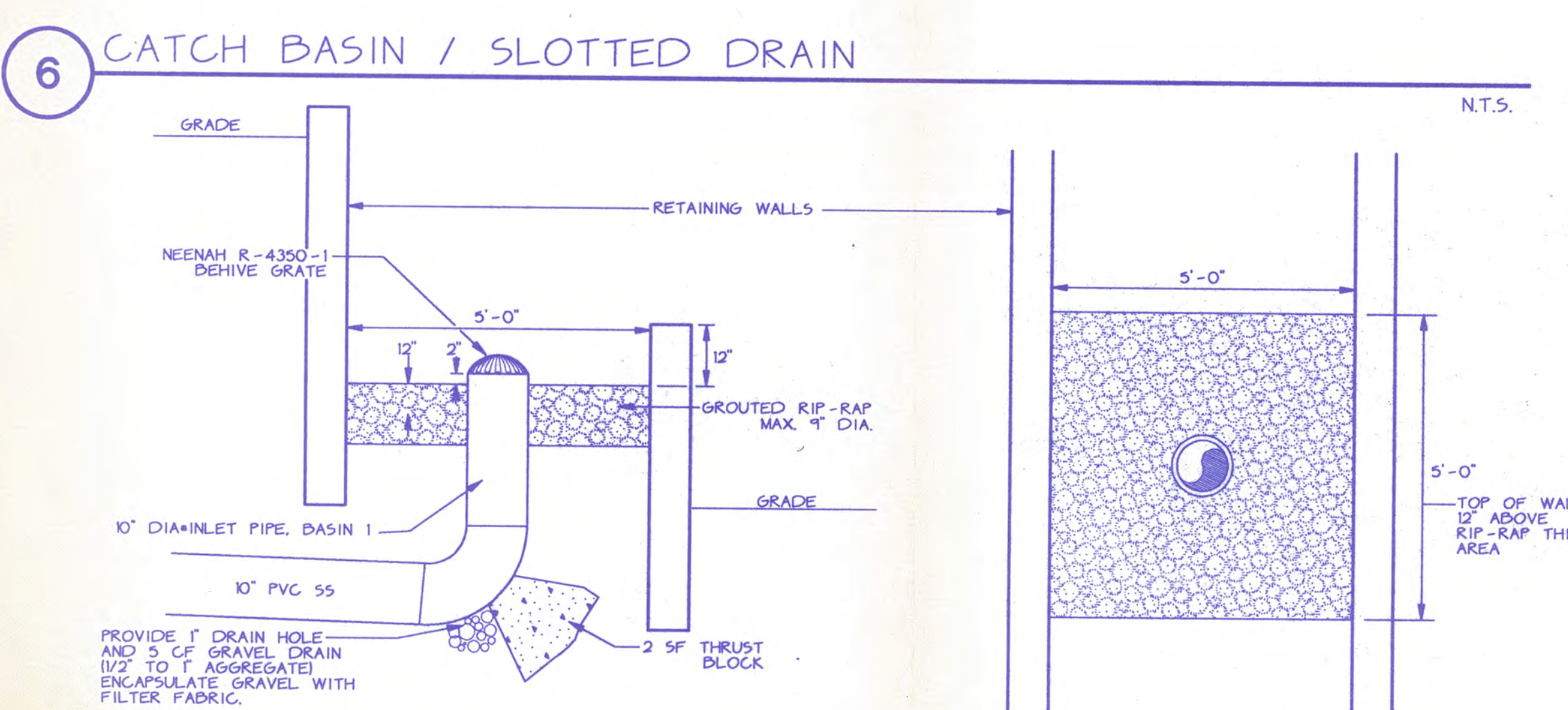
3 RIP-RAP 'V' DITCH



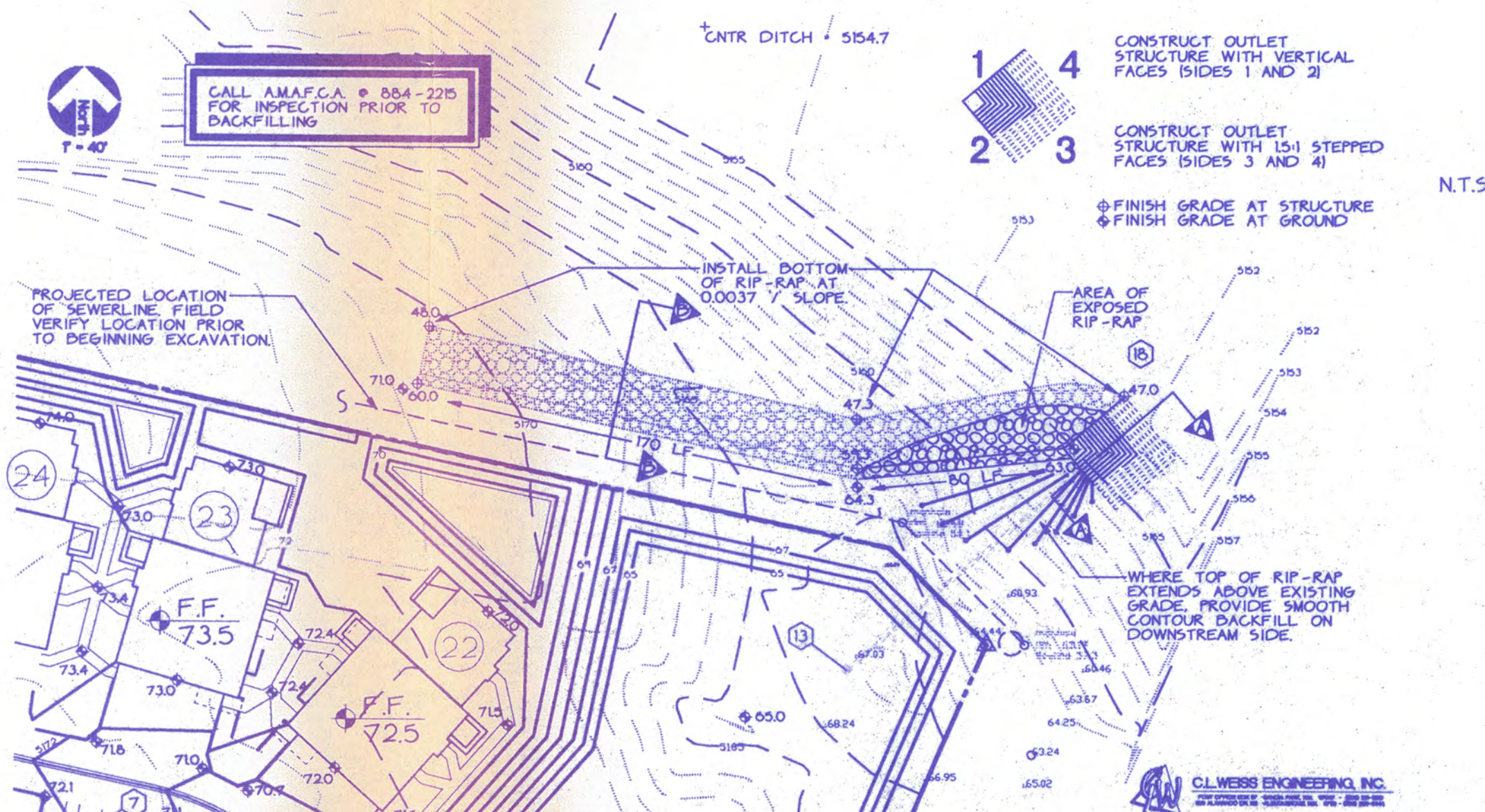
4 POND OUTLETS



5 MAIN POND SIZE



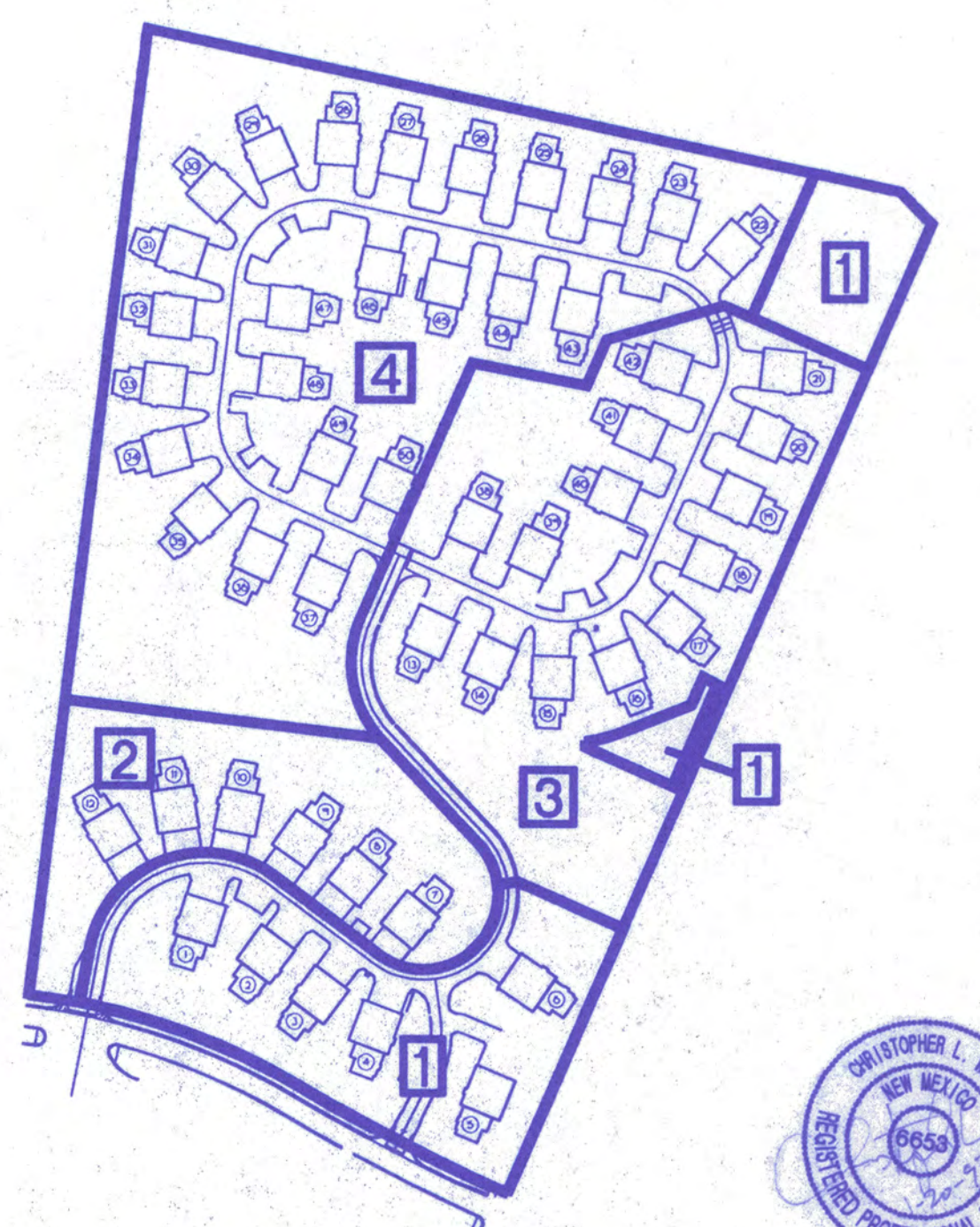
6 CATCH BASIN / SLOTTED DRAIN



7 BASIN #1 POND SIZE

9 CALABACILLAS OUTLET STRUCTURE / BANK CONTROL

10 CONSTRUCTION PHASING DIAGRAM



8 BASIN #1 POND OUTLET TO WALL CHANNEL