



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

September 2, 2003

David A. Cook, Registered Architect
115 Amherst Dr SE
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for
Church Alive Phase 1, [B-12 / D-10]
4601 Avocet Road NW
Architect's Stamp Dated 09/02/03

Dear Mr. Cook:

The TCL / Letter of Certification submitted on September 2, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

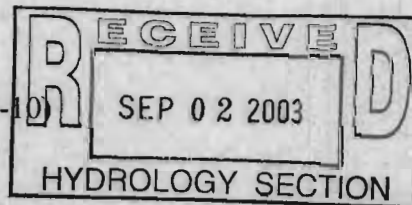
c: Engineer
Hydrology file
CO Clerk



September 2, 2003

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Church Alive Project (B-12 / D-10)
4601 Avocet Road NW
Albuquerque, NM 87114
Project #1001720



Dear Mr. Salgado-Fernandez:

This letter shall serve as certification that the site work is in substantial compliance with the approved (amended) site plan for this project, specifically regarding the quantity of on-site parking spaces and the landscape work. As shown on the approved plan, there are actually 72 regular parking spaces and 4 handicapped accessible parking spaces. The owner has chosen to delay the installation of the monument sign and the bike rack until a later date. Attached is a copy of the DRB signed site development plan with the approximate phase one area highlighted. Previously submitted was a copy of the amended phase one plan.

Sincerely,

David Cook, AIA
Principal

attachments



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TRANSMITTAL

TO: **Nilo Salgado**
COMPANY: **Transportation Development**
PROJECT: **Church Alive!**

FROM: **Dave Cook**
PROJECT NO: **02030**
DATE: **8-14-03**

WE TRANSMIT:

☒ ENCLOSED ☐ SEPARATE COVER

☐ ORIGINAL TRACINGS ☐ PRINTS ☐ SPECIFICATIONS ☐ DISKETTES

☐ ADDENDUM INFORMATION ☐ CHANGE ORDER INFO. ☒ **Letter**
☐ ☒ **Copy of Site Development Plan**

FOR:

☐ RECORDS/INFO/FILES ☐ REVIEW AND COMMENT ☒ USE

Copy to: **file**

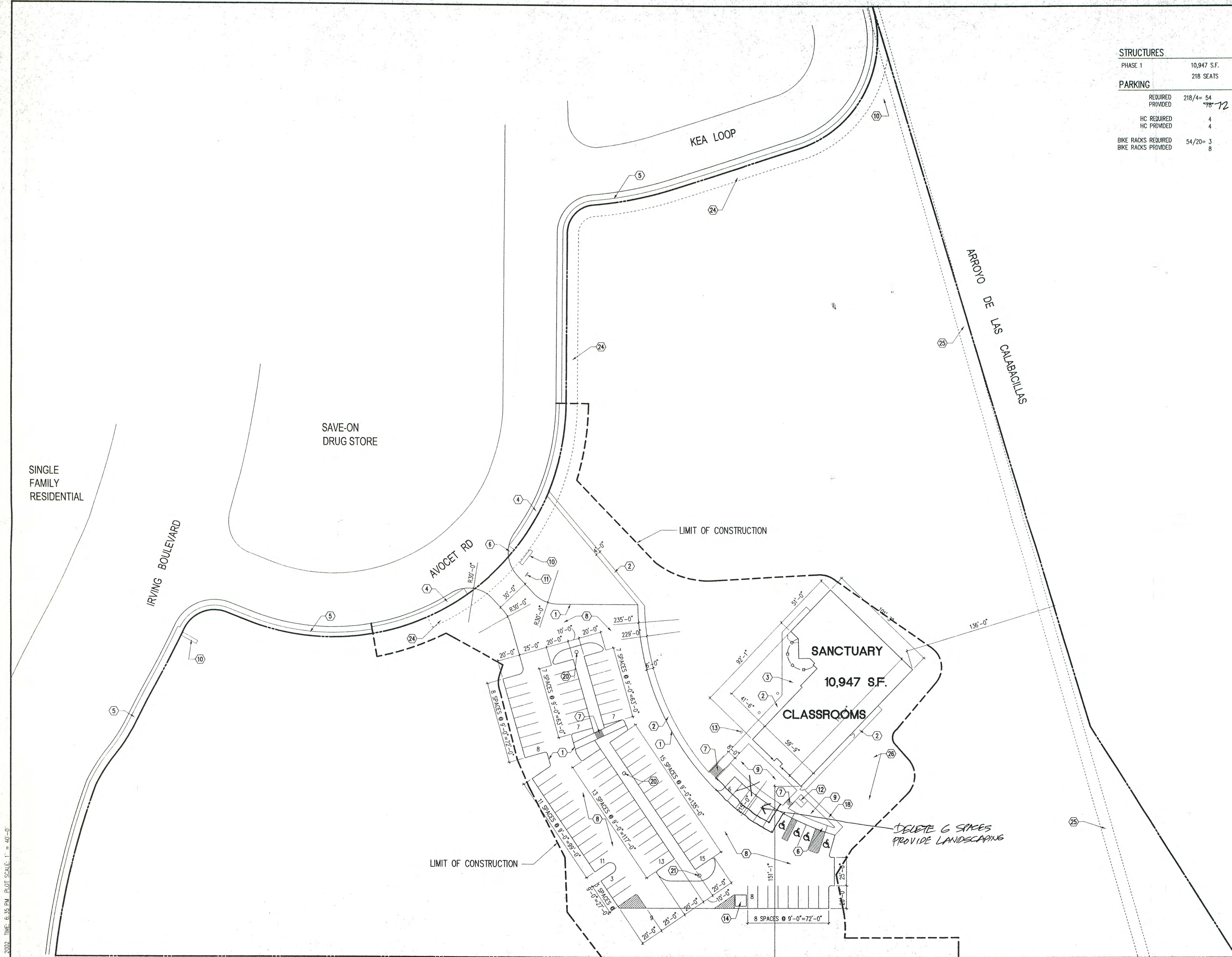
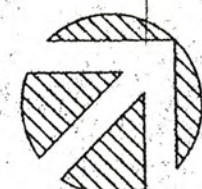
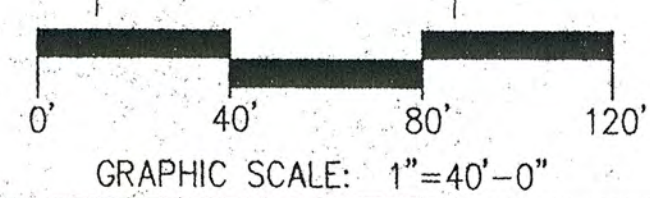
REMARKS:

Attached letter of certification and copy of DRB approved site development plan for use in granting a permanent Certificate of Occupancy.

Call if you have questions.

NAME: C101.dwg DATE: AUG 08, 2002 TIME: 6:35 PM PLOT SCALE: 1" = 40'-0"

A1	SITE PLAN PHASE 1
1"=40'-0"	



STRUCTURES

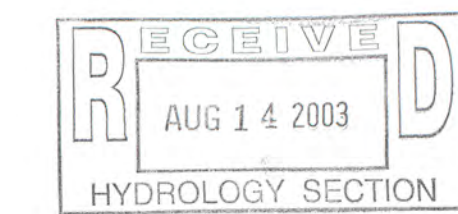
PHASE 1	10,947 S.F.
	218 SEATS

PARKING

REQUIRED	218/4= 54
PROVIDED	78-12
HC REQUIRED	4
HC PROVIDED	4
BIKE RACKS REQUIRED	54/20= 3
BIKE RACKS PROVIDED	8

KEYED NOTES

1. CONCRETE CURB
2. CONCRETE SIDEWALK
3. CONCRETE SLAB
4. 6" CONCRETE SIDEWALK
5. 4' EXISTING CONCRETE SIDEWALK
6. CURB RAMP PER CITY STANDARDS
7. STEPS DOWN
8. ASPHALT PAVING
9. LANDSCAPED AREA
10. MONUMENT SIGN
11. STOP SIGN
12. BICYCLE RACK - 8 SPACES
13. LIGHT BOLLARDS
14. REFUSE SCREEN - PER CITY REQUIREMENTS
15. NOT USED
16. NOT USED
17. NOT USED
18. SIDEWALK - SLOPE LESS THAN 5%
19. NOT USED
20. 20' HIGH METAL HALIDE PARKING LOT LIGHT WITH CUTOFF LENS
21. 16' HIGH METAL HALIDE PARKING LOT LIGHT WITH CUTOFF LENS
22. NOT USED
23. NOT USED
24. 10' PUBLIC UTILITY EASEMENT
25. EXISTING 10' PNM & MST&T CO. EASEMENT
26. 4' WROUGHT IRON FENCE



1001729	ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT	
FILE NO. AA-01252	
8/25/02 Letting	
8/27/02	
PLANNING DIRECTOR	DATE

ADMINISTRATIVE AMENDMENT

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CHURCH ALIVE! - PHASE I

SITE PLAN

REV. #	DATE	PROJECT #
		02030
		DWN BY: MAM,PS,PTI
		CHK BY:
		DATE: 08.09.02
		C101
		OF