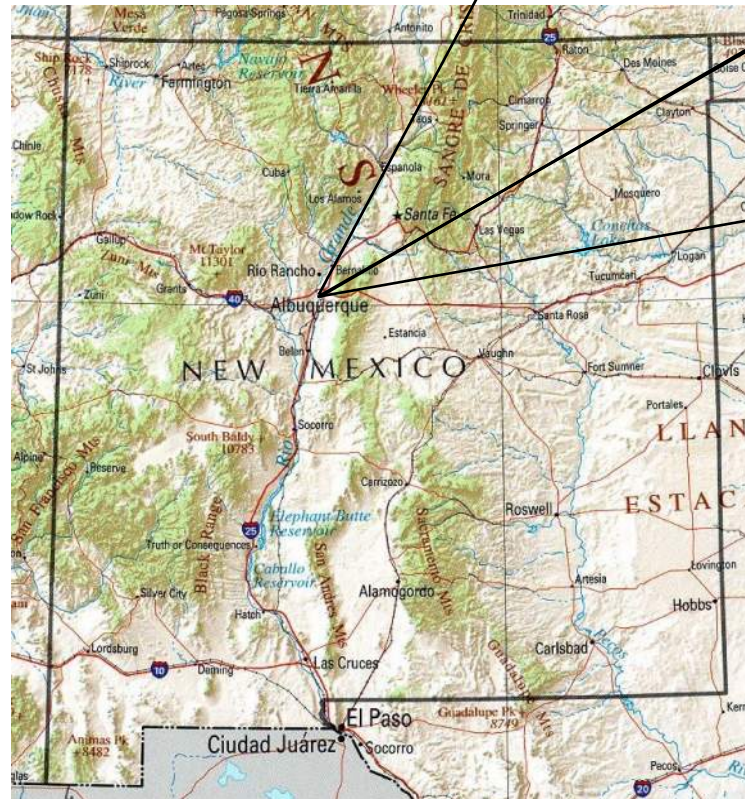


EAGLE RANCH RETAIL
TEMPORARY SEDIMENT AND EROSION CONTROL DRAWINGS
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

DRAWING INDEX

- 1 COVER SHEET
- 2 SWPPP NOTES
- 3 GENERAL NOTES
- 4 BEST MANAGEMENT PRACTICES
- 5 BEST MANAGEMENT PRACTICES
- 6 BEST MANAGEMENT PRACTICES
- 7 BEST MANAGEMENT PRACTICES
- 8 TEMPORARY EROSION & SEDIMENT CONTROL PLAN
- 9 DRAINAGE MANAGEMENT PLAN - B OTHERS
- 10 FINAL STABILIZATION
- 11 LANDSCAPING PLAN - BY OTHERS



- SWPPP
- Stormwater
- Erosion Control
- Reclamation
- Seeding

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#	REVISION ITEM	DATE

VISION BUILD, INC.
EAGLE RANCH RETAIL
ALBUQUERQUE, NM

DESIGNED BY:
K. FETTER, P.E.
DRAWN BY:
O. CHAVEZ

SHEET:

1- COVER

PROJECT DETAILS

NPDES ID: PENDING

ADDRESS: 9641 EAGLE RANCH RD NW, ALBUQUERQUE, NM 87114

GPS COORDINATES: 35.191176,-106.663664

TOTAL ACREAGE: 6.76

ANTICIPATED DISTURBED ACREAGE: 1.77

FIRST RECEIVING WATER: ARROYO DE LAS CALABCILLAS

WATERS WITHIN ONE MILE OF PROJECT: ARROYO DE LAS CALABCILLAS

IMPAIRED/TIERED WATERS: NONE

ENDANGERED SPECIES: CRITERION C

SUPPORT ACTIVITIES: SEE SECTION 3.6 OF SWPPP NARRATIVE

SOIL TYPE: SEE NRCS SOIL REPORT PROVIDED IN SWPPP BINDER

TYPE PRE-CONSTRUCTION COVER: DIRT LOT, ASPHALT PAVING & EXISTING BUILDING NEIGHBORING THE LOT

STABILIZATION MEASURES AND DEADLINES: SEE SECTION 6.0 OF SWPPP NARRATIVE

REGULATING AUTHORITY: ENVIRONMENTAL PROTECTION AGENCY (EPA)

OPERATORS

PROPERTY OWNER:
EAGLE VISTA, LLC
9201 MONTGOMERY NE, BUILDING 1,
ALBUQUERQUE, NM 87111

OWNER CONTACT:
BRAD ALLEN
(505) 480-5181
BRAD@ALLENSIGMON.COM

GENERAL CONTRACTOR (GC):
VISION BUILD, INC.
1104 PARK AVE. SW
ALBUQUERQUE, NM 87102

GC CONTACT:
AARON BENNETT
(505) 238-0918
AARON@VISIONBUILDINC.COM

STORMWATER TEAM

SEE SECTION 2.0 OF THE SWPPP NARRATIVE FOR THE PROJECT'S STORMWATER TEAM, RESPONSIBILITIES AND CONTACT INFORMATION

SEQUENCE OF ACTIVITIES

REFER TO THE ANTICIPATED CONSTRUCTION SCHEDULE INCLUDED WITH THE SWPPP BINDER

PHASE I: SITE PREPARATION AND PRE – CONSTRUCTION

- 1.PRIOR TO BEGINNING EARTH DISTURBING ACTIVITIES, THE OPERATOR(S) WILL CLEARLY DEMARCATATE THE LIMITS OF DISTURBANCE WITH STAKES, RIBBONS, CONSTRUCTION FENCING, OR OTHER APPROPRIATE METHOD. THESE DEMARCATIONS SHALL REMAIN VISIBLE FOR THE DURATION OF THE PROJECT.
- 2.THE INITIAL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO EARTH DISTURBANCE. THE INITIAL CONTROL MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO:
- a.PERIMETER CONTROLS (E.G., SILT FENCE, WATTLES, CONSTRUCTION FENCE)
 - b.VEHICLE TRACKING PAD IF THE SITE ENTERS/EXITS ONTO A PAVED PUBLIC ROADWAY
 - c.NPDES NOTIFICATION POSTING
 - d.DESIGNATED STAGING AREA
 - e.ANCHORED SANILETS
 - f.DUMPSTERS

PHASE II: CONSTRUCTION ACTIVITIES

- 1.THE OPERATORS WILL MINIMIZE THE AREA DISTURBED AS MUCH AS FEASIBLY POSSIBLE.
- 2.ANY DISTURBED AREA IN WHICH CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED SHALL TEMPORARILY STABILIZED USING THE METHODS DESCRIBED IN SECTION 6.4 OF THE SWPPP NARRATIVE. SECTION 6.3 OF THE SWPPP NARRATIVE PROVIDES THE TEMPORARY STABILIZATION DEADLINES.
- 3.THE LOCATION OF SOME BMPS MAY REQUIRE ALTERATION IF DRAINAGE PATTERNS CHANGE DURING CONSTRUCTION. THE OPERATORS SHALL INSTALL ADDITIONAL BMPS OR UPGRADE BMPS IF NECESSARY.
- 4.IF CONCRETE IS USED ONSITE AND CONCRETE TRUCKS ARE UNABLE TO WASHOUT OFFSITE, THE OPERATORS WILL PROVIDE ONE OR MORE DESIGNATED CONCRETE WASHOUT AREAS. THE CONCRETE WASHOUTS MUST BE INSTALLED PRIOR TO CONCRETE USE ONSITE AND REMOVED ONLY AFTER CONCRETE WORK IS COMPLETE.

PHASE III: FINAL STABILIZATION AND CONSTRUCTION COMPLETION

1. INITIATE REVEGETATION OR LANDSCAPING IMMEDIATELY UPON KNOWING WORK IN A DISTURBED AREA HAS PERMANENTLY STOPPED AND THE AREA IS NOT COVERED BY PERMANENT STRUCTURES, UNLESS INFEASIBLE. SECTION 6.5 OF THE SWPPP NARRATIVE DISCUSSES PERMANENT STABILIZATION AND ASSOCIATED DEADLINES.
- 2.THE OPERATORS SHALL REMOVE TEMPORARY BMPS ONLY AFTER FINAL STABILIZATION IS COMPLETE.
3. THE OPERATORS MAY TERMINATE THE NPDES PERMIT AFTER MEETING THE FINAL STABILIZATION CRITERIA.





SWPPP
Stormwater
Erosion Control
Reclamation
Seeding

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VISION BUILD, INC.
EAGLE RANCH RETAIL
SWPPP NOTES

DESIGNED BY:
K. FETTER, P.E.
DRAWN BY:
O. CHAVEZ

SHEET:
2 - SWPPP
NOTES

GENERAL NOTES

THE NPDES COMPLIANCE SWPPP DRAWING AND ASSOCIATED DOCUMENTATION IS AND SHALL BE CONSIDERED A LIVING DOCUMENT ALLOWING FOR MODIFICATIONS AS SITE CONDITIONS CHANGE OR DICTATE.

ALL SITE FEATURES (EXISTING/PROPOSED GRADES, EXISTING CONSTRUCTION, FUTURE CONSTRUCTION, ETC.) SHOWN IS PER INFORMATION FROM OTHERS.

MINIMUM REQUIREMENTS TO FURTHER DEVELOP OR MODIFY THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DRAWING SHALL BE BASED ON THE CURRENT EDITION OF THE NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT (NMSHTD), NPDES LAW AND CITY OF ALBUQUERQUE ORDINANCE § 14-5-2-11.

ALL OPERATORS SHALL SUBMIT A NOTICE OF INTENT (NOI). THE NOI SHALL BE ACTIVE AND POSTED ON THE EPA'S WEBSITE PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES.

LOCATE TEMPORARY WASHOUT, ANCHORED TOILETS, CONSTRUCTION ENTRANCE AND PARKING, STAGING, REFUELING, TRASH CONTAINMENT AREA TO MINIMIZE SITE DISTURBANCE DURING CONSTRUCTION ACTIVITY.

THE OPERATOR IS REQUIRED TO REGULARLY PERFORM STREET SWEEPING AND CLEAN - UP MEASURES IN THE EVENT OF SEDIMENT TRACK - OUT.

THE FOLLOWING ARE STANDARD EROSION CONTROL REQUIREMENTS PER THE CITY OF ALBUQUERQUE STORMWATER QUALITY DEPARTMENT (JUNE 16, 2023):

ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:

THE CITY ORDINANCE § 14-5-2-11, THE ESC ORDINANCE;
THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP); AND
THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL

ALL BEST MANAGEMENT PRACTICES (BMPs) MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMPs SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMPs AND PRIOR TO BEGINNING CONSTRUCTION.

SEE SECTION 3.5 OF THE SWPPP NARRATIVE OR THE CONTRACTOR'S SCHEDULE FOR BMP SCHEDULING OR PHASING.

SELF-INSPECTIONS - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), AT A MINIMUM A ROUTINE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.

CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.

FINAL STABILIZATION AND NOTICE OF TERMINATION (NOT) - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), SELF-INSPECTIONS MUST CONTINUE UNTIL THE SITE IS "DETERMINE AS STABILIZED BY THE CITY". THE PROPERTY OWNER/OPERATOR IS RESPONSIBLE FOR DETERMINING WHEN THE "CONDITIONS FOR TERMINATION CGP COVERAGE" PER CGP PART 8.2 ARE SATISFIED AND THE FOR FILING THEIR NOT WITH THE EPA. EACH OPERATOR MAY TERMINATE GCP COVERAGE ONLY IF ONE OR MORE OF THE CONDITIONS IN PART 8.2.1, 8.2.2 OR 8.2.3 HAS OCCURRED. AFTER FILING THE NOT WITH THE EPA, THE PROPERTY OWNER IS RESPONSIBLE FOR REQUESTING A DETERMINATION OF STABILIZATION FROM THE CITY.

WHEN DOING WORK IN THE CITY RIGHT-OF-WAY (E.G., SIDEWALK, DRIVE PADS, UTILITIES, ETC.) PREVENT SEDIMENT FROM ENTERING THE STREET. IF SEDIMENT IS PRESENT IN THE STREET, THE STREET SHOULD BE SWEEP DAILY OR PRIOR TO A RAIN EVENT OR CONTRACTOR INDUCED WATER EVENT (E.G. CURB CUT OR WATER TEST).

WHEN CUTTING THE STREET FOR UTILITIES, THE SEDIMENT SHALL BE PLACED ON THE UPHILL SIDE OF THE STREET CUT AND THE AREA SWEEP AFTER WORK IS COMPLETE. A WATTLE OR MULCH SOCK MAY BE PLACED AT THE TOE OF THE EXCAVATED DIRT PILE IF SITE CONSTRAINTS DO NOT ALLOW PLACING THE EXCAVATED DIRT ON THE UPHILL SIDE OF THE STREET CUT.

EROSION AND SEDIMENT CONTROL (ESC) PLANS MUST SHOW LONGITUDINAL STREET SLOPE AND STREET NAMES. ON STREETS WHERE THE LONGITUDINAL SLOPE IS STEEPER THAN 2.5%, WATTLES OR MULCH SOCKS OR J-HOOKED SILT FENCE SHALL BE SHOWN IN THE FRONT YARD SWALE OR ON THE SIDE OF THE STREET.



					DATE
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VISION BUILD, INC.
EAGLE RANCH RETAIL
SWPPP NOTES





SWPPP

Stormwater

Erosion Control

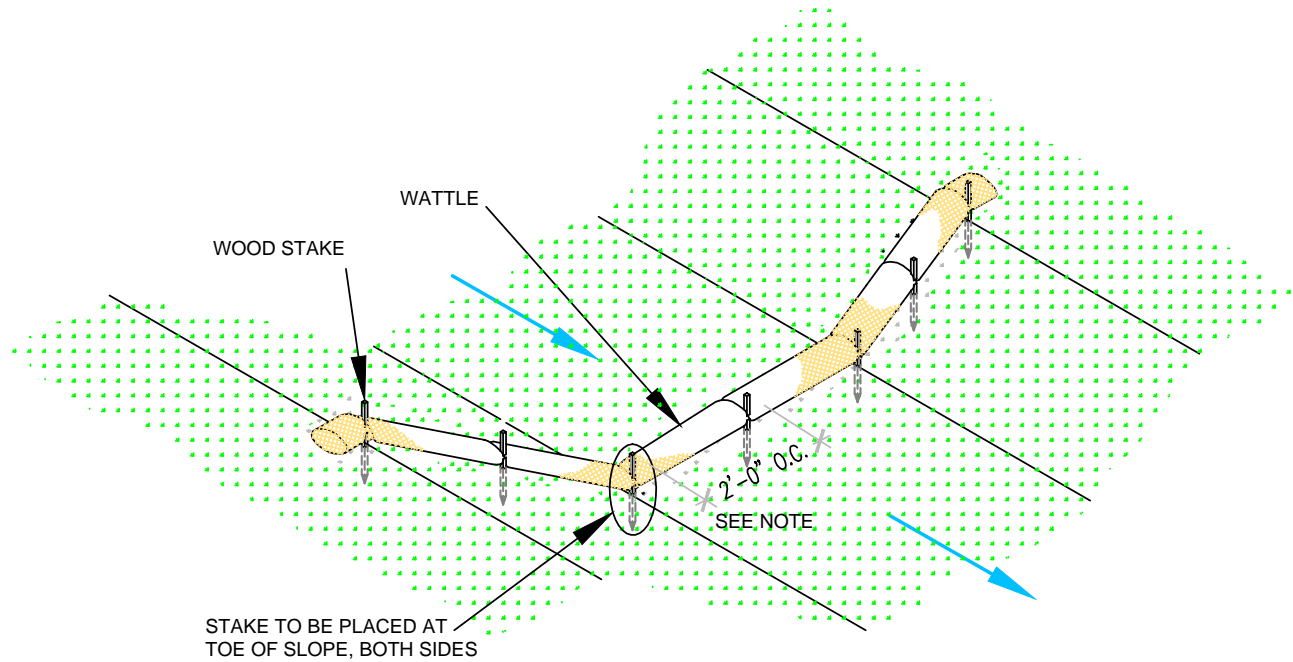
Reclamation

Seeding

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DESIGNED BY:
K. FETTER, P.E.
DRAWN BY:
O. CHAVEZ

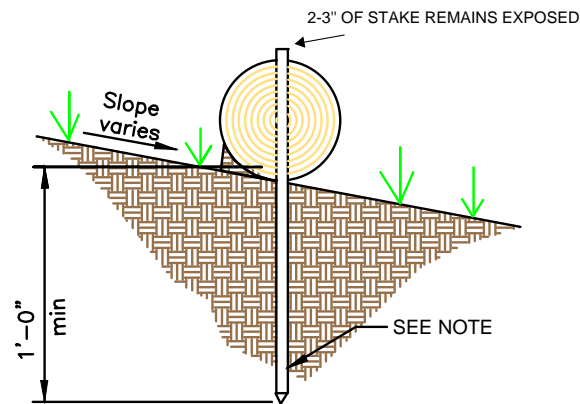
SHEET:
3 - GENERAL
NOTES



WATTLE WITHOUT BLANKET

NTS

2' FOR DRAWING ONLY. 8' MAX
SPACING BETWEEN STAKES



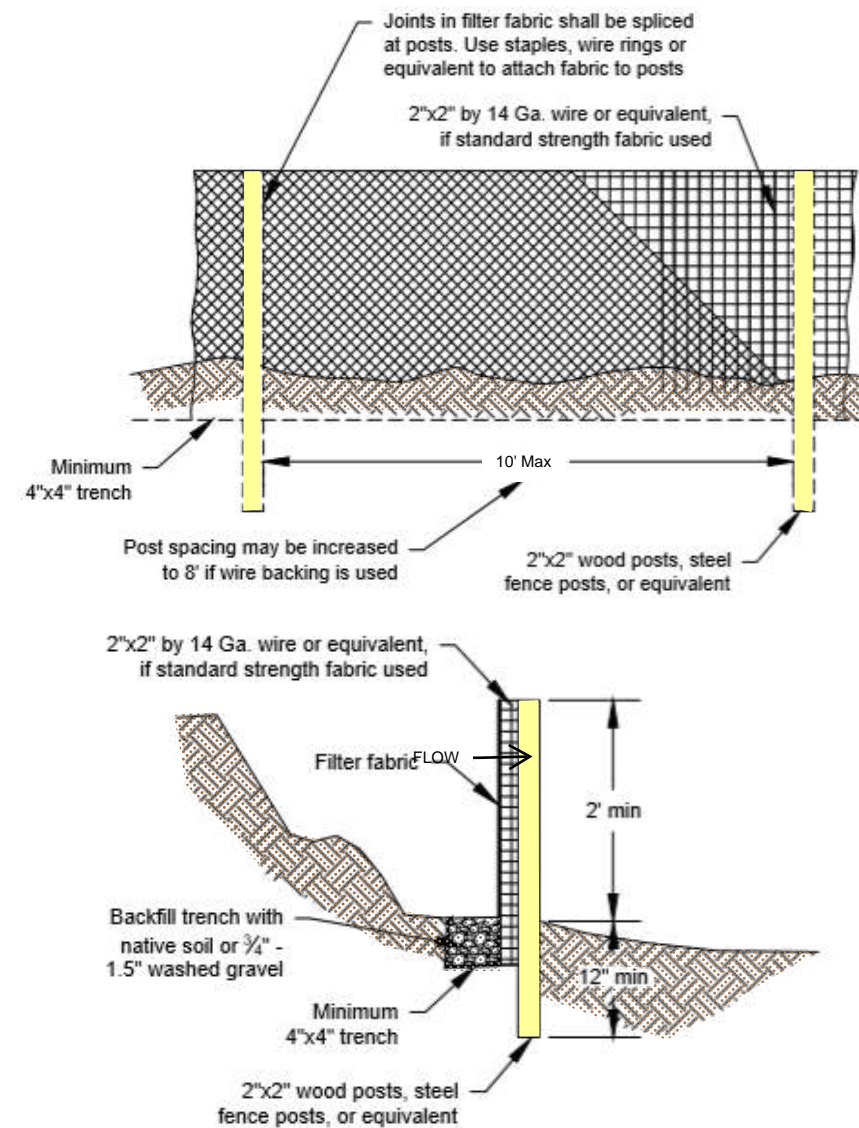
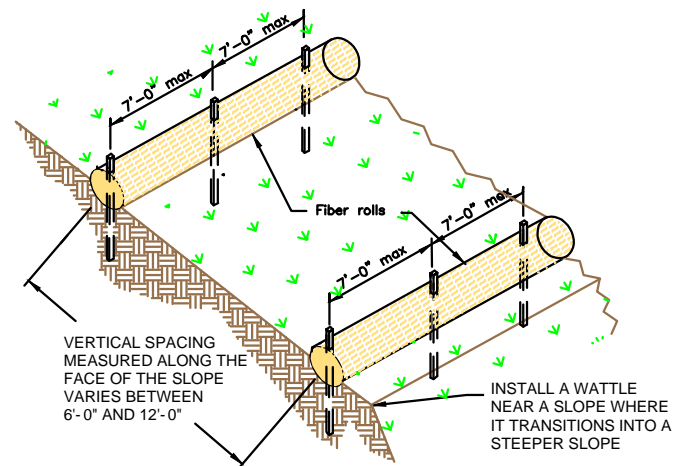
WATTLE

NTS

SECURE WATTLE WITH 18-24" STAKES EVERY 3-4' AND STAKES ON EACH END OF THE WATTLE.

DRIVE STAKES PERPENDICULAR TO THE SLOPE FACE AND THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" OF THE STAKE ABOVE THE WATTLE.

VERTICAL SPACING DEPENDENT ON SLOPE GRADIENT.



SILT FENCE

NTS

SILT FENCE IS TO BE PLACED PERPENDICULAR TO THE SLOPE OF THE SITE.

DIG A 4"X4" MINIMUM TRENCH UPSTREAM OF THE SILT FENCE. DRIVE STAKES AT LEAST 1' DEEP ON THE DOWNSTREAM EDGE.

RUN THE SILT FENCE ON THE INSIDE OF THE STAKES AND SECURE WITH HOG RINGS, WIRE, ZIP TIES OR STAPLES.

IF ONE CONTINUOUS PIECE OF FABRIC IS NOT AVAILABLE, OVERLAP THE FABRIC AT LEAST THE WIDTH OF THE STAKE AND SECURE WITH HOG RINGS, WIRE, ZIP TIES OR STAPLES.

COVER TRENCH WITH BACKFILLED COMPACTED SOIL, GRAVEL OR ROCK.



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VISION BUILD, INC.
EAGLE RANCH RETAIL
BMP DETAILS

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DRAWN BY:
O. CHAVEZ

SHEET:

4



SWPPP
Stormwater
Erosion Control
Reclamation
Seeding

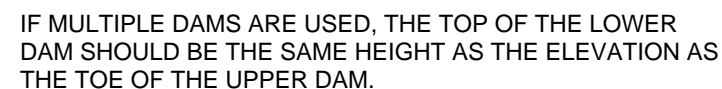
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ONCE/IF THE SPOILS STOCKPILE IS DEPLETED OR MOVED,
REMOVE THE WATTLES AND REUSE THEM IN THE NEXT
LOCATION.



ONCE THE TRANCH IS BACKFILLED, WATTLES MAY BE REMOVED AND REUSED IN THE NEXT SECTION OF EXCAVATION PROVIDED THEY ARE IN GOOD CONDITION.



2-3" OF THE WOODEN STAKE SHOULD BE PRESENT ABOVE THE WATTLE.



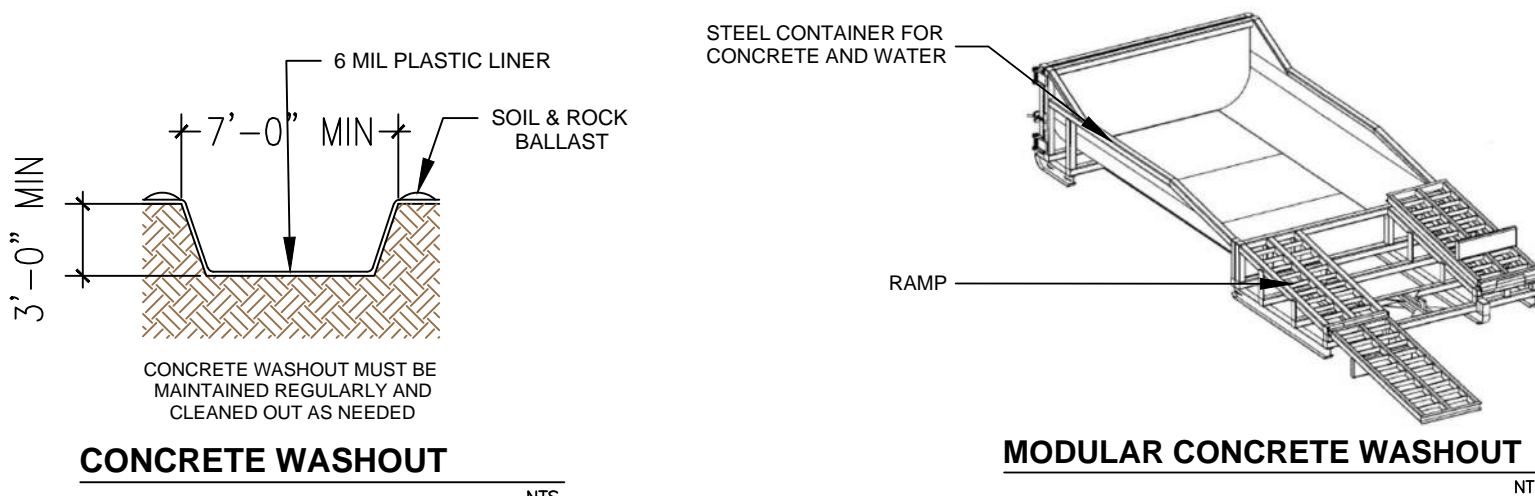
USE EQUIPMENT TO COMPACT EARTHEN BERM BY ROLLING OVER BERM TO MINIMIZE SPREAD.



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5

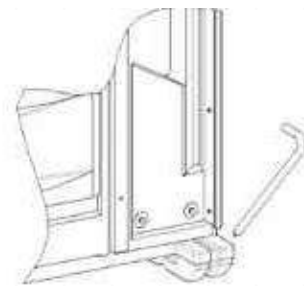


LOCATE WASHOUT AT LEAST 50 FT FROM STORMDRAINS, OPEN DITCHES, WATER BODIES OR PROJECT PERIMETER. A SIGN SHOULD BE INSTALLED ADJACENTLY TO THE WASHOUT.

WASH OUT WASTE INTO THE WASHOUT WHERE THE CONCRETE CAN SET, BE BROKEN UP AND DISPOSED OF CORRECTLY.

DO NOT CREATE RUNOFF BY DRAINING WATER TO BERMED AREA OR BY COLLECTING THE WATER WASTE WHEN WASHING CONCRETE TO REMOVE PARTICLES AND EXPOSE THE AGGREGATE.

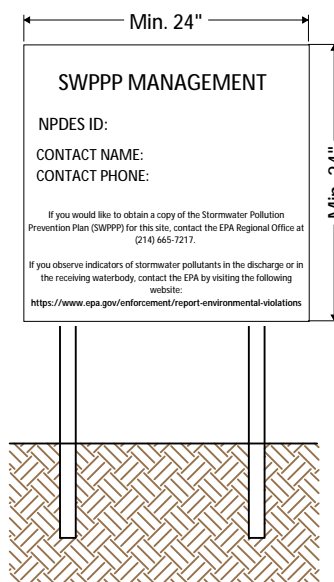
DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET, STORMDRAIN SYSTEMS OR OFF THE PROJECT SITE.



PORTABLE TOILET STAKING

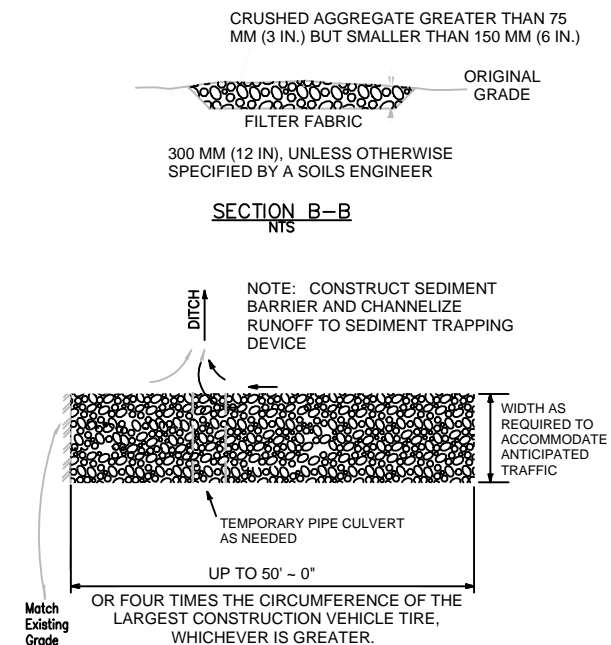
PLACE THE PORTABLE TOILET ON LEVEL GROUND. A FLAT
PAVED SURFACE IS BEST IF AVAILABLE.

DRIVE THE STAKES OVER THE SKIDS OF THE PORTABLE
TOILET, AROUND ALL SIDES.



NPDES Permit must be positioned at the most active part of the project where it can be viewed by the public (e.g. project entrance).

NPDES POSTING BOARD



STABILIZED CONSTRUCTION ENTRANCE

CONSTRUCT THE ENTRANCE ON A LEVEL SURFACE WHERE AN UNPAVED ROAD MEETS A PAVED ROAD. TYPICALLY AT PROJECTS ACCESS AREA.

GRADE THE ENTRANCE TOWARD THE CONSTRUCTION SITE
TO PREVENT RUNOFF.

INSPECT THE ENTRANCE TO KEEP TRASH AND DEBRIS OUT OF THE WAY.

AFTER PRECIPITATION EVENTS, INSPECT THE ENTRANCE FOR ANY REPAIRS THAT MAY BE NEEDED.

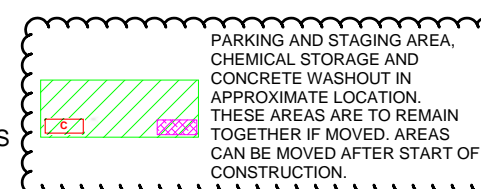
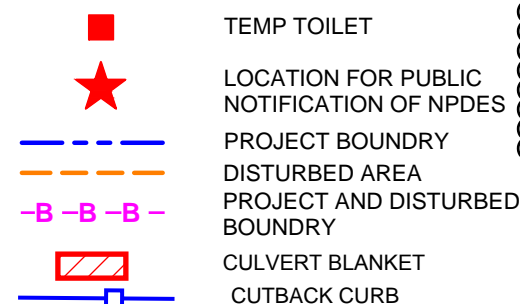
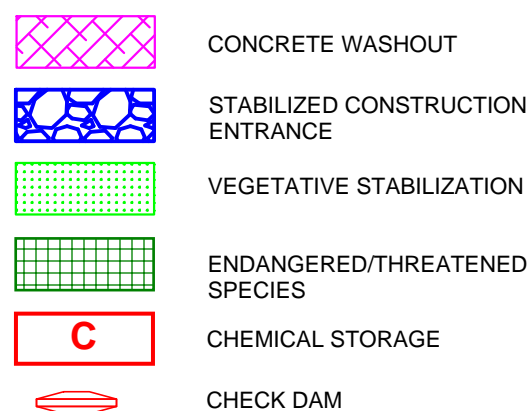
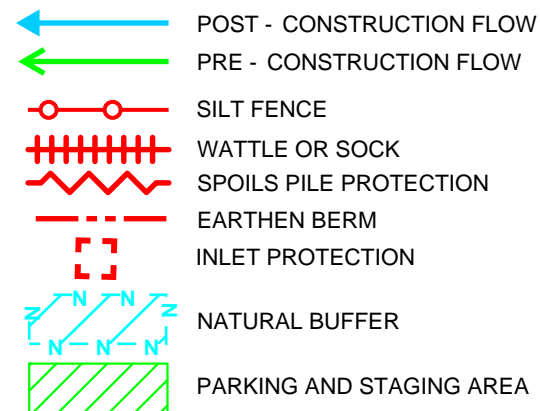


**VISION BUILD, INC.
EAGLE RANCH RETAIL
BMP DETAILS**

DESIGNED BY:
K. FETTER, P.E.
DRAWN BY:
O. CHAVEZ

SHEET:

7

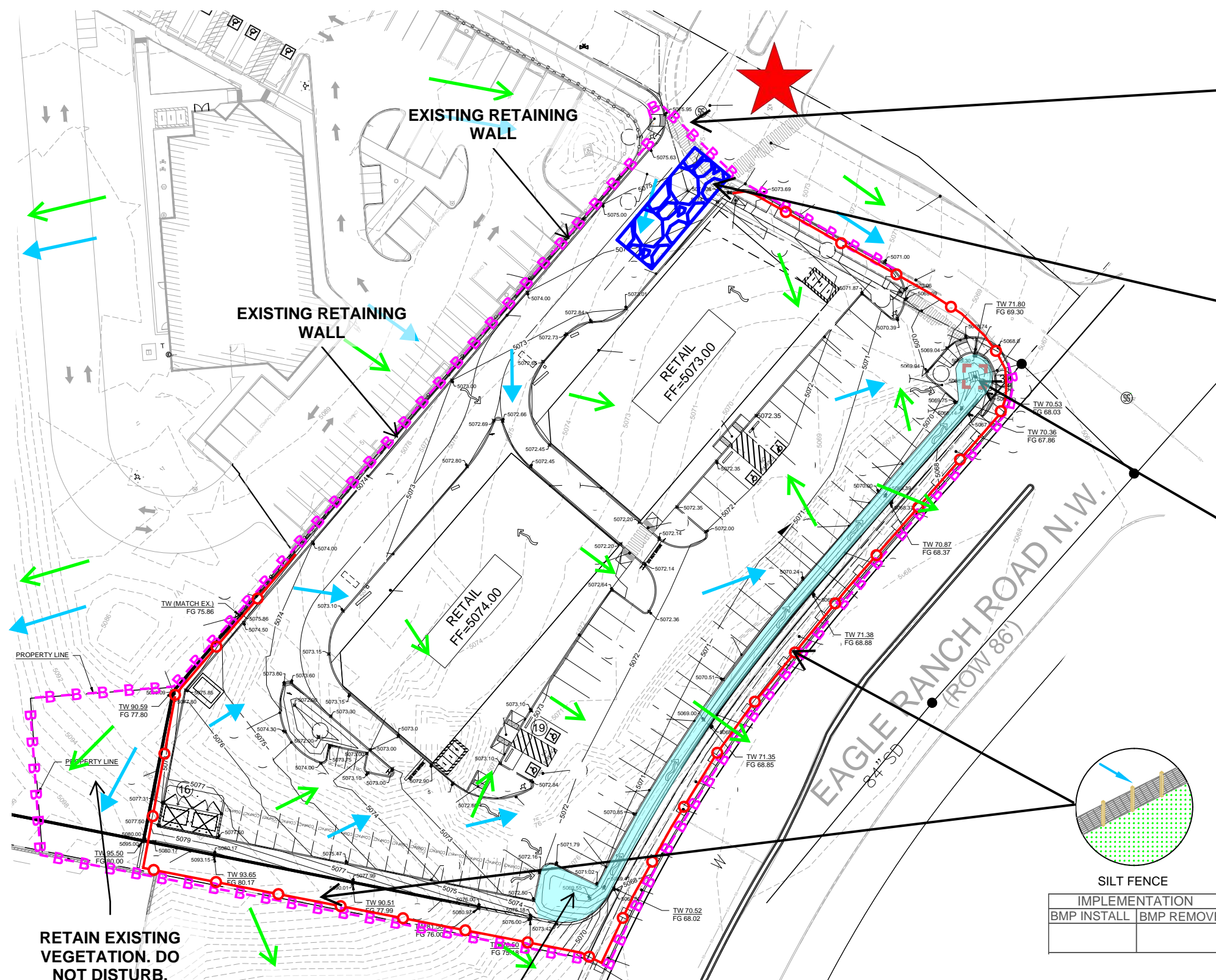


DRAWING KEY

- SWPPP
- Stormwater
- Erosion Control
- Reclamation
- Seeding



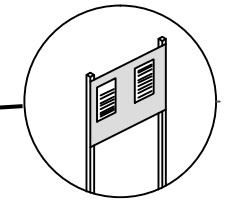
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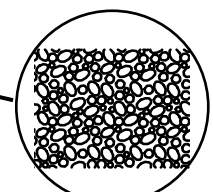
RETAIN EXISTING
VEGETATION. DO
NOT DISTURB.

CONSTRUCT
DETENTION POND
BEFORE OTHER
EARTHWORK
ACTIVITIES.

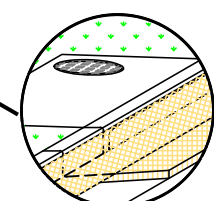
BOTH OPERATORS HAVE CONTROL OVER TRACT C-2 DURING CONSTRUCTION ACTIVITIES.



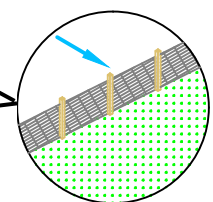
NPDES PERMITTING	
IMPLEMENTATION	
BMP INSTALL	BMP REMOVE



STABILIZED CONSTRUCTION ENTRANCE	
IMPLEMENTATION	
BMP INSTALL	BMP REMOVE



INLET PROTECTION	
IMPLEMENTATION	
BMP INSTALL	BMP REMOVE



SILT FENCE	
IMPLEMENTATION	
BMP INSTALL	BMP REMOVE



				DATE
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VISION BUILD, INC.
EAGLE RANCH RETAIL
TESCP



- SWPPP
- Stormwater
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DESIGNED BY:
K. FETTER, P.E.
DRAWN BY:
O. CHAVEZ

SHEET:
8

[DATE: 3/6/2025 8:29 AM] [AUTHOR: jocky.in] [PLOTTER: DWG To PDF.pc3] [STYLE: WHP-Standard.ctb] [LAYOUT: C-1.0 DRAINAGE PLAN] [PATH: P:\Eagle Vista, LLC\229023-A000280.00\Execution\Drawings\Civil\229023-A000280.00 Grading & Drainage Plan.dwg]

[LAYOUT: C-1.0 DRAINAGE PLAN]

[LAYOUT: C-1.0 DRAINAGE PLAN]

[LAYOUT: C-1.0 DRAINAGE PLAN]

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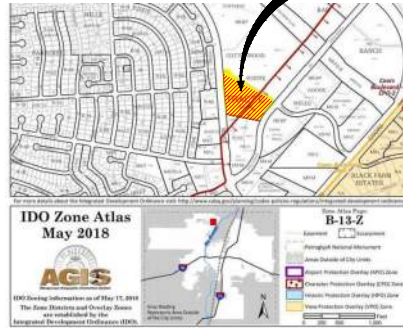
[LAYOUT: C-1.0 DRAINAGE PLAN]

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[LAYOUT: C-1.0 DRAINAGE PLAN]

[LAYOUT: C-1.0 DRAINAGE PLAN]

[LAYOUT: C-1.0 DRAINAGE PLAN]



VICINITY MAP

DRAINAGE PLAN NOTES:
1. AMENDMENT TO CURRENT APPROVED PLAN DATED 07-10-2018.
2. AMENDMENT TO APPROVED SITE PLAN 07-10-2018.

PROJECT LOCATION

LEGAL DESCRIPTION
TRACT 'C' PLAT OF TRACTS A, B & C COTTONWOOD POINTE BEING A REPLAT OF TRACTS E, F & G ADOBE WELLS SUBDIVISION CONT. 6.7675 AC.

DRAINAGE BASIN AREA
1.50 ACRE; 65,340 SF

FLOODPLAIN NOTES
NO PORTION OF THIS SITE LIES WITH A FLOOD PLAIN AS DESIGNATED ON THE FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 35001C01080, EFFECTIVE DATE 9/28/2008. SEE SHEET C-2.0 GRADING PLAN FOR FIRM MAP.

DRAINAGE CRITERIA
CALCULATIONS FOR EXISTING PEAK DISCHARGE AND VOLUMETRIC RUNOFF WERE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL ARTICLE 6-2, HYDROLOGY'S DRAINAGE CRITERIA FOR THE 100-YR, 6 HOUR DESIGN STORM.
ARTICLE 6-12 STORMWATER QUALITY, DRAINAGE ORDINANCE DEFINES THE 90TH PERCENTILE STORM EVENT AS 0.42 INCHES.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 3/6/2025
BY: [Signature]
HydroTeam 6 B13D002C
THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO PREVENT VIOLATION OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM INITIATING CORRECTIVE ACTION FOR VIOLATIONS OF ORDINANCES OR PLANS, SPECIFIC ACTIONS ON CONSTRUCTION DOCUMENTS, WHICH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
THE APPROVAL OF THESE PLANS/REPORTS SHALL BE VALID FOR TWO YEARS AFTER THE APPROVAL DATE OF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

DRAINAGE PLAN
SCALE: N.T.S.

HYDROLOGIC STUDY

EXISTING CONDITIONS
THE SITE IS PRESENTLY A VACANT LOT THAT WAS PART OF AN PROPOSED PHASE-III OF A RETAIL DEVELOPMENT THAT IS LOCATED WEST OF EAGLE RANCH ROAD NW, THE NORTH SIDE OF THE PROPERTY IS ADJACENT TO THE ACCESS ROAD AND SIDEWALK, THE WEST SIDE OF THE LOT WAS DIVIDED BY AN EXISTING RETAINING WALL PART OF THE PHASE I OF PROJECT, SOUTH SIDE OF THE LOT IS A VACANT UNDEVELOPED AS WELL.

SITE DRAINAGE TRENDED TO FLOW FROM THE SOUTHWEST CORNER WITH A MAX 25% SLOPE TO THE THE EAST CORNER FROM THE PROJECT SITE AS SURFACE SHEET FLOW AT SLOPE APPROXIMATELY 6-8%. THERE IS EXISTING ASPHALT PAVEMENT, CONCRETE CURB & GUTTER AND SIDEWALK ALONG THE NORTH BOUNDARY. ALL EXISTING FLOW DISCHARGE TO THE INTERSECTION OF THE ACCESS ROAD AND EAGLE RANCH ROAD. ALL DRAINAGE GOING TO THE CITY OF ALBUQUERQUE STORM DRAIN SYSTEM. SEE EXISTING DRAINAGE PLAN FOR EXISTING BASINS.

PROPOSED CONDITIONS
THE PROPOSED SITE IMPROVEMENTS FOR THE SITE WILL CONSIST OF AN NEW PAVED PARKING LOT FOR SUPPORT OF TWO FUTURE RETAIL BUILDING, NEW DUMPSTER PAD, NEW RETAINING WALL WILL BE CONSTRUCTED FROM THE EXISTING RETAINING LOCATION ALONG THE LOT LINES AT THE SOUTHWEST CORNER, NEW SIDEWALKS AND RETAINING WALL WILL BE PROVIDED ALONG EAGLE RANCH ROAD.

THE PROPOSED DRAINAGE BASIN WILL BE CONSISTED AS THE SAME FROM EXISTING BASIN. SEE PROPOSED DRAINAGE PLAN FOR BASIN MAP. PROPOSED BASIN CONSISTED AREAS OF THE NEW ASPHALT PARKING, CONCRETE WALKS, CONCRETE CURB & GUTTER, BUILDINGS AND NEW LANDSCAPE AREA, DRAINAGE SHEET FLOW WILL COLLECTED THROUGH DETENTION PONDS WITHIN (1) PARKING LANDSCAPE ISLAND WITH CURB CUT OVERFLOWS, AND ALL FLOW WILL GO THROUGH THE PARKING LOT WITH CURB CUTS INTO THE PROPOSED DETENTION SWALE AND POND ALONG THE EAST SIDE OF THE PROJECT. ALL THE FLOWS WILL DISCHARGE TO THE PROPOSED NEW STORM DRAIN INLET(NORTH EAST CORNER, END OF POND) THAT WILL TIE INTO THE EXISTING STORM DRAIN SYSTEM. THE SERIES OF THE DETENTION PONDS WILL INTERCEPT THE 90 PERCENTILE RUNOFF AND TO RETAIN THE DIFFERENCE OF THE HISTORIC RUNOFF FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THE DETENTION PONDS WILL BE CONSTRUCTED WITH GRAVEL MULCH WITH LANDSCAPING.

PARKING SWQV POND
VOLUME=0.007 AC-FT
SWQV WATER SURFACE
LEVEL = 5073.50

PROPOSED
RETAINING WALL

PROPERTY LINE

PROPOSED DRAINAGE PLAN

DRAINAGE SUMMARY:
EX. BASIN DISCHARGE TO EXISTING ROADWAY:
DISCHARGE = 4.36 CFS, VOLUME = 0.12 AC-FT.
PROPOSED BASIN DISCHARGE TO EXISTING STORM SYSTEM WITHIN NEW INLET ON SITE:
DISCHARGE = 5.86 CFS, VOLUME = 0.25 AC-FT.
NET DISCHARGE = +1.50 CFS, VOLUME = +0.13 AC-FT
PROPOSED DETENTION PONDS STORAGE ON SITE: VOLUME = 0.06 AC-FT
REQUIRED 90TH PERCENTILE STORAGE = 0.04 AC-FT.

HYDROLOGIC STUDY CONCLUSION
THE EXISTING 100-YR RUNOFF DISCHARGE & VOLUME FROM THE SITE IS 4.36 CFS & 0.12 AC-FT FOR THE 100-YR, 6HR EVENT. THE PROPOSED RUNOFF FROM THE SITE IS 5.86 CFS & 0.25 AC-FT. NET INCREASE RUN-OFF IS 1.50 CFS & VOLUME IS 0.13 AC-FT. THE DETENTION PONDS PROVIDED ONSITE IS 0.06 AC-FT.
ALL DRAINAGE WILL DISCHARGE INTO THE EXISTING STORM DRAIN SYSTEM (EXISTING 84" STORM) DRAIN LINE DOWNSTREAM.
THE PROPOSED RETAIL DEVELOPMENT WILL SEE MINIMUM IMPACT ON THE DOWNSTREAM AREAS.

THE DETENTION POND HAVE BEEN DEVELOPED ON SITE FOR TWO REASONS:
1) TO MITIGATE STORM WATER RUNOFF FROM EXISTING TO PROPOSED CONDITION.
2) TO MANGE 90th PERCENTILE STORM EVENT FIRST FLUSH GENERATED BY CONTRIBUTING IMPERVIOUS SURFACES.

STORM WATER QUALITY CALCULATIONS
90th PERCENTILE RAINFALL = 0.42 INCHES
TOTAL IMPERVIOUS AREA OF PROPOSED DEVELOPMENT = 1.25 ACRES.
SWQV = 1.25 AC x 0.42 IN. = 0.52 AC-IN = 0.04 AC-FT.

REQUIRED SWQV = 0.04 AC-FT
PROVIDED SWQV VOLUME = 0.06 AC-FT

100-YR & 90th PERCENTILE STORM EVENTS HYDROLOGIC CALCULATIONS

BASIN	AREA (ACRES)	LAND TREATMENT				100-YR			90th Percentile Storm Events		
		A (%)	B (%)	C (%)	D (%)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)	Impervious Area(ACRES)	90th Percentile Storm (IN)
EX 1	1.50	0.0	0.0	97.0	3.0	2.91	0.99	4.36	0.12		
TOTALS	1.50							4.36	0.124		
PRO 1	1.50	0.0	0.0	17.0	83.0	3.91	2.02	5.86	0.25	1.25	0.42
TOTALS	1.50							5.86	0.253		
PROPOSED VS. EXISTING DIFFERENCE								1.50	0.129		

REFERENCE:
ARTICLE 6-2, HYDROLOGY, DEVELOPMENT PROCESS MANUAL, CITY OF ALBUQUERQUE, EFFECTIVE AS OF JUNE 8, 2020
ARTICLE 6-12 STORMWATER QUALITY, DRAINAGE ORDINANCE DEFINES THE 90th PERCENTILE STORM EVENT AS 0.42 INCHES.
PRECIPITATION ZONES = ZONE 1

DETENTION POND - Parking Island				
ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (AC-FT)
5072.0	95	0	0.00	0.00
5073.0	235	165	0.004	0.004
5073.5	360	149	0.003	0.007
TOTAL STORAGE			314	0.007

DETENTION POND - 1				
ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (AC-FT)
5068.0	30	0	0.00	0.00
5069	460	245	0.006	0.006
5070.0	1550	1005	0.02	0.029
5070.5	2150	925	0.02	0.050
TOTAL STORAGE			2175	0.050

C-1.0

EAGLE RANCH RETAIL
TCL SITE PLAN - FOUNDATION ONLY
9641 EAGLE RANCH ROAD NW
ALBUQUERQUE, NM 87114
PROJECT #1620

REVISION DATE



DATE
3-6-2025

SHEET NUMBER

C-1.0

106.00 ROW
IRVING BLVD N.W.

TRACT "B"
COTTONWOOD POINTE
VOL 2001C, FOLIO 77
03-13-2001

PHASE IV

TRACT "C"
COTTONWOOD POINTE
VOL 2001C, FOLIO 77
03-13-2001
294959 Sq. Feet
6.771 Acres

TRACT "B"
COTTONWOOD POINTE
VOL 2001C, FOLIO 77
03-13-2001

PHASE I
NMDMV
6,181 S.F.
30 SPACES REQ.
61 SPACES PROV.
BUILDING HT. 17'-0"

PHASE II
9641 EAGLE RANCH
ROAD NW

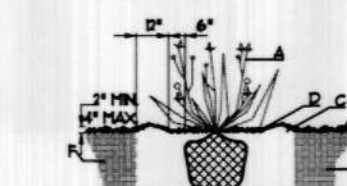
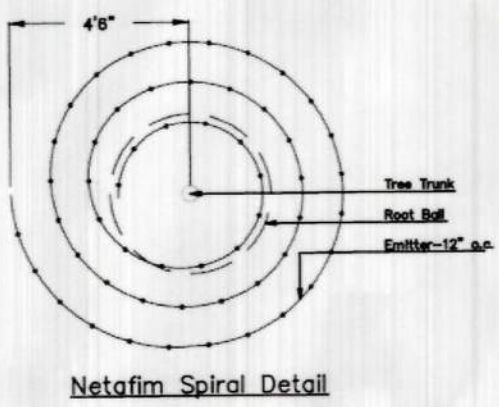
PHASE III
72,023 S.F.
36 SPACES REQ.
72 SPACES PROV.
BUILDING HT. 24'-0"

EAGLE RANCH ROAD N.W.
86' ROW

GENERAL NOTES:

- A. ALL UNUSED CURB CUTS AS WELL AS BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK OR CURB AND GUTTER PER CARQ STANDARD SECTION 2400 DETAILS FOR PAVING.

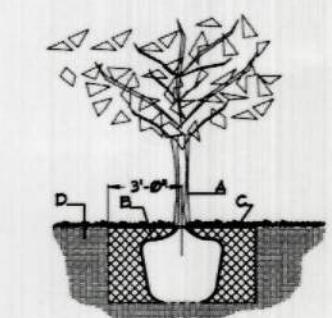
SOUTH 10' x 10' PNM EASEMENT
VOL 2001C, FOLIO 77



TREE PLANTING DETAIL

- GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND OVER THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL IRIGULAR SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:
A. BACKFILL WITH EXISTING SOIL.
B. 3\"/>



FEBCO MODEL 165



LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	130516 (sf)
TOTAL BUILDING AREA (sf)	20581 (sf)
TOTAL LOT AREA (sf)	109935 (sf)
LANDSCAPE REQUIREMENT	X .5
TOTAL LANDSCAPE REQUIRED (5%)	16485 (sf)
TOTAL LANDSCAPE PROVIDED	16563 (sf)

2" Cal.	Urbentia Ash	50' x 40'	1600	1000	L
2" Cal.	Urbentia Ash	50' x 40'	1600	1000	L
5 Gal.	Purple Leaf Plum	20' x 30'	400	2400	L
10 Gal.	Desert Willow	14'x12' 144	3456	M	
5 Gal.	Spartan Juniper	15' x 8' 64	92	M	
1 Gal.	Cherry Sage	2x3 9	35	M	
1 Gal.	Palmer's Agave	3x4 16	48	M	
1 Gal.	Feather Reed Grass	25x2 4	92	M	
1 Gal.	Trailing Gerdander	1x2 4	200	M	
1 Gal.	Red Yucca	3x4 16	48	M	
1 Gal.	Haiden Grass	5x5 25	25	1050	M
8'-10'	Austrian Pine	35' x 25'	625	3025	M
2" Cal.	Serviceberry	35x20 400	2000	M	
5 Gal.	India Hawthorn	3x5 25	825	M	
5 Gal.	Japanese Barberry	4x4 16	368	L	
5 Gal.	Barbaris thunbergii	'Atrapurplea'			

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

No changes shall be made to this plan without the express written permission of the Landscape Architect. Any deviation from the approved plan shall be removed and replaced at the Contractors Expense.

IRRIGATION NOTES:

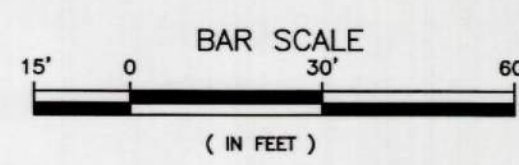
Irrigation shall be a complete underground system with trees to receive (5) 1/2 GPH Drip Emitters and shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Subirrigation systems to be tied to 1/2" polytubes with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season. Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

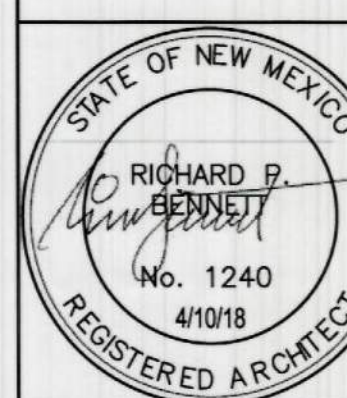
Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE SITE PLAN



NMDMV 9651 EAGLE RANCH RD NW
LANDSCAPE PLAN
ALBUQUERQUE, NEW MEXICO
PROJECT #1619

REVISION DATE



RBA
ARCHITECTURE, PC
PLANNING
DESIGN

DATE
4-10-2018

SHEET NUMBER

LS-1.0