



March 6, 2018

Dennis Lorenz, P.E.
Lorenz Design & Consulting
2501 Rio Grande NW, Suite A
Albuquerque, NM 87104

**RE: Eagle Ranch MVD-Retail (Phase 1: MVD Building)
9651 Eagle Ranch Rd NW (Tract C, Cottonwood Pointe)
Request for Certificate of Occupancy – 30 Day Temporary
Hydrology Final Inspection - Approved
Engineer's Stamp Date 8/22/17 (B13D002C)
Certification Dated: 3/1/18**

Dear Mr. Lorenz,

Based on the certification received 3/1/18, this submittal can be approved for
TEMPORARY (30-Day) Certificate of Occupancy.

Prior to Hydrology approval for Permanent C.O, the following items must be constructed
according to the approved Grading and Drainage Plan:

1. First Flush Pond "B" needs to be deepened to 12" below top of grate in order to
provide first flush ponding, per detail G, C-3.0:





2. The rock for the emergency spillway needs to be replaced with d50=4" rock, per detail H, C-3.0:



3. The northern edge of the site needs to be regraded and stabilized to prevent cross-lot drainage from crossing onto the adjoining property:



PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



4. Grades need to be restored near the apartment entrance, leaving a cut-bank at property line is not acceptable:



If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development and Review Services

C: Email Serna, Yvette M.; Fox, Debi; Tena, Victoria C.; Sandoval, Darlene M.

CITY OF ALBUQUERQUE



March 5, 2018

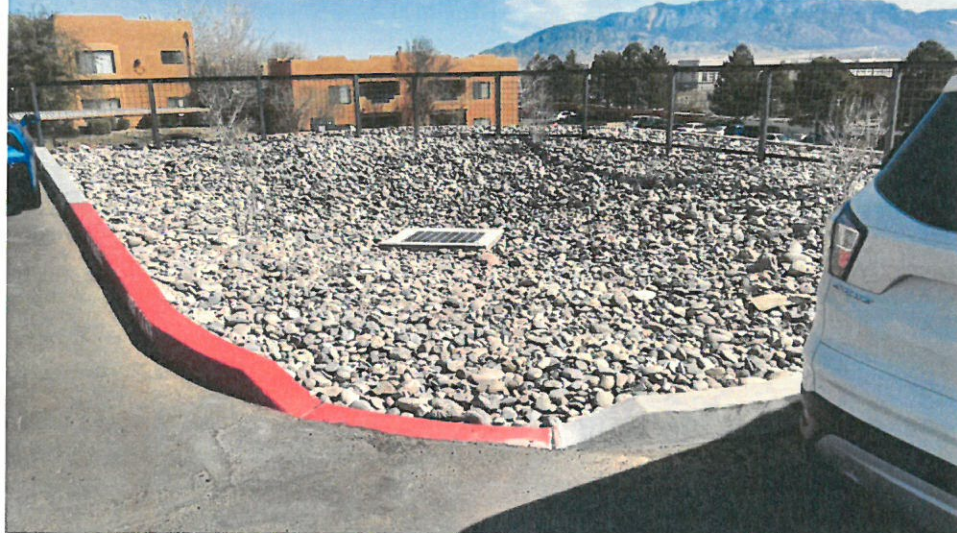
Dennis Lorenz, P.E.
Lorenz Design & Consulting
2501 Rio Grande NW, Suite A
Albuquerque, NM 87104

**RE: Eagle Ranch MVD-Retail (Phase 1: MVD Building)
Eagle Ranch Rd (Tract C, Cottonwood Pointe)
Request for Certificate of Occupancy – Permanent
Hydrology Final Inspection - Disapproved
Engineer's Stamp Date 8/22/17 (B13D002C)
Certification Dated: 3/1/18**

Dear Mr. Lorenz,

Based on the certification received 3/1/18, this submittal cannot be approved for release of Certificate of Occupancy by Hydrology. Prior to Hydrology approval, the following items must be constructed according to the approved Grading and Drainage Plan:

1. First Flush Pond "B" needs to be deepened to 12" below top of grate in order to provide first flush ponding, per detail G, C-3.0:

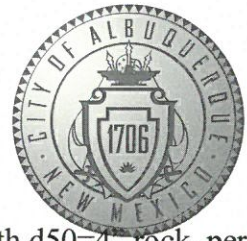


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Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development and Review Services

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

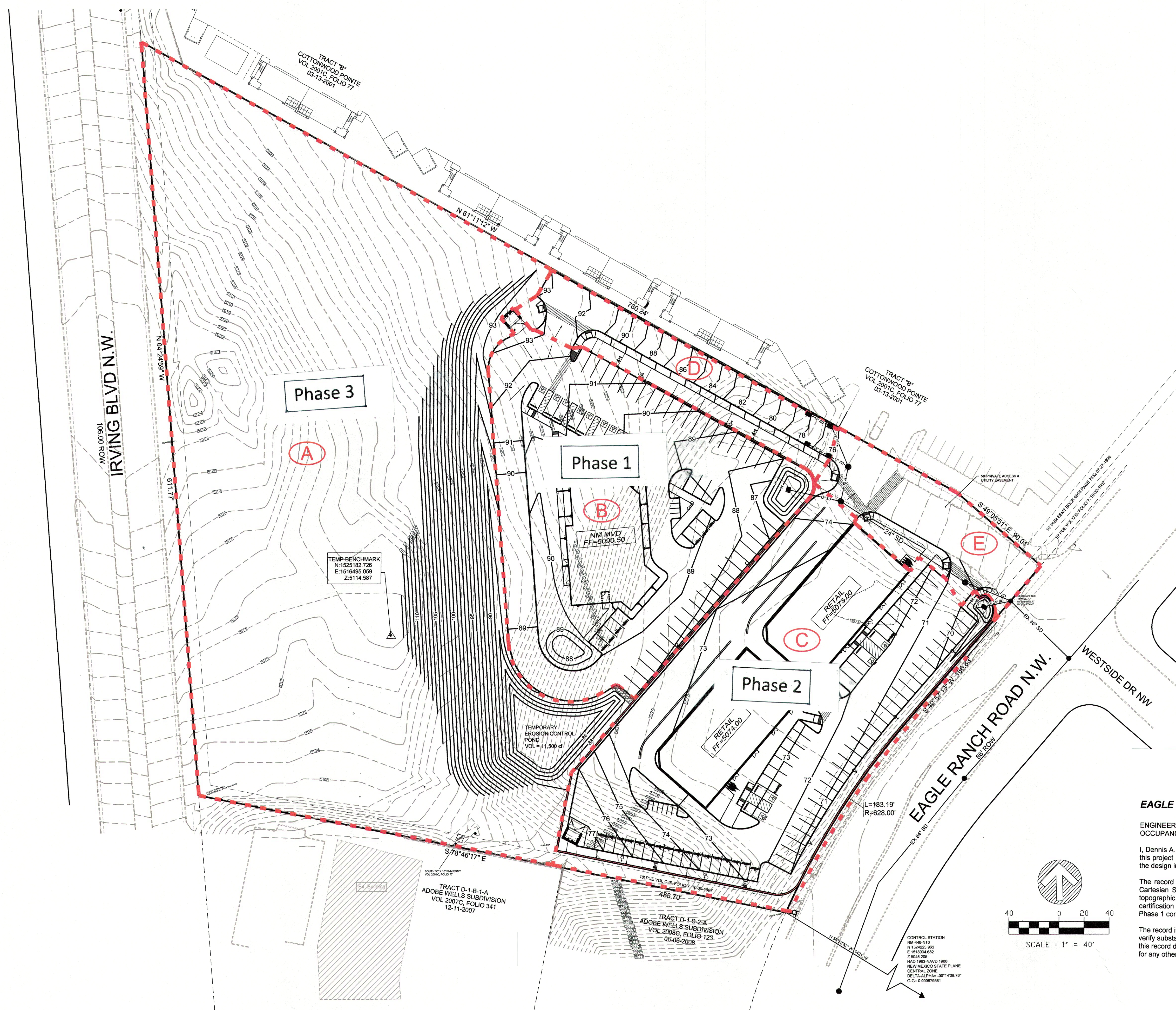
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



LEGEND		
ITEM	EXISTING	PROPOSED
PROPERTY LINE	—	—
SPOT ELEVATION	× 75.5	● 01.5
CONTOUR W/ ELEVATION	— 5800 —	— 5800 —
BLOCK WALL	▨	▨
RETAINING WALL	▬	▬
STORM DRAIN	— 84" SD —	▬ 24" SD ▬
DIRECTION OF FLOW	—	←
DRAINAGE SWALE	—	←
RIDGE LINE	—	—
SLOPE GRADING	—	3:1
CONCRETE CURB	▬	▬
DRAINAGE BASIN ID	—	(A)
DRAINAGE BASIN BOUNDARY	—	▬

PROJECT DATA

PROPERTY ADDRESS:
EAGLE RANCH ROAD NW
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:
TRACT C
COTTONWOOD POINTE
ALBUQUERQUE, NEW MEXICO

SURVEY:
ALL PROJECT SURVEYING BY
CONSTRUCTION SURVEY
TECHNOLOGIES, INC.

IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DRAINAGE ORDINANCE, EFFECTIVE MAY 12, 2014, ALL NEW DEVELOPMENT PROJECTS ARE REQUIRED TO MANAGE THE RUNOFF WHICH OCCURS DURING THE 90TH PERCENTILE STORM EVENT. IN ORDER TO COMPLY WITH THIS CRITERIA, WHERE PRACTICAL, ALL SURFACE DRAINAGE SHALL BE ROUTED THROUGH LANDSCAPED AREAS BEFORE RELEASE INTO DOWNSIDE DRAINAGE FACILITIES. THIS PLAN RECOMMENDS ALL LANDSCAPED AREAS BE DEPRESSED A MINIMUM OF 3-INCHES BELOW THE ADJACENT PAVED SURFACE TO RETAIN THE FIRST FLUSH RUNOFF.

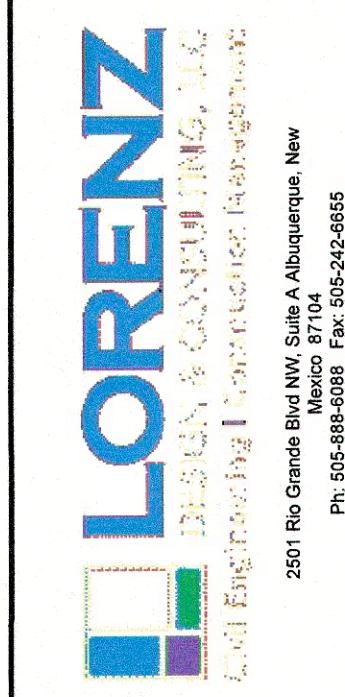
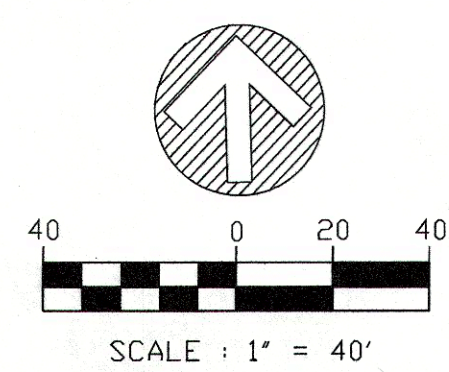
EAGLE RANCH (Phase 1) – NM MVD

ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 8-22-17.

The record information edited onto the original design document has been provided to me by Cartesian Surveys, Inc., Brian Martinez, NMPS 18374, as supplemental data to the original topographic survey, and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for Phase 1 construction only.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



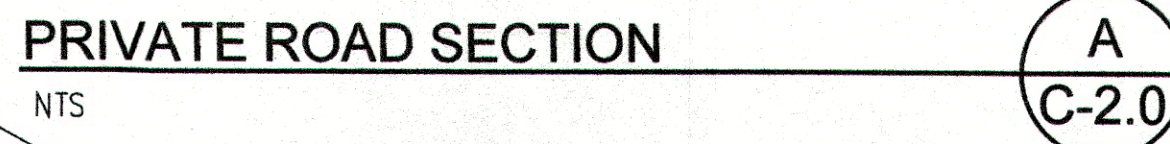
EAGLE RANCH NM MVD - RETAIL
Albuquerque, New Mexico
GRADING & DRAINAGE PLAN
Overall Site & Drainage Basins

REVISION DATE



DATE
AUGUST 2017

SHEET NUMBER
C-1.0



I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 6-22-17.

The record information edited onto the original design document has been provided to me by Cartesian Surveys, Inc., Brian Martinez, NMRRPS 18374, as supplemental data to the original topographic survey, and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for Phase 1 construction only.

The record information presented herein is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

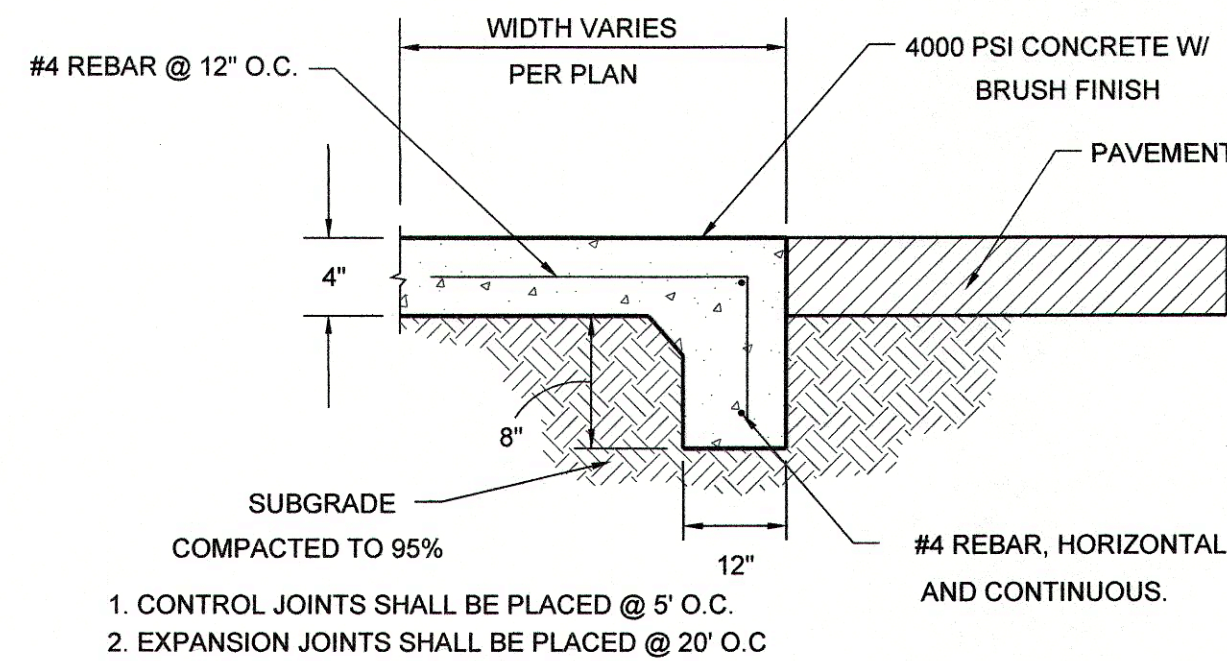
3" - ASPHALTIC CONCRETE PAVEMENT
GRADATION "B" PER SPECIFICATIONS

*12" COMPACTED SUBGRADE
OR GRANULAR SUB-BASE @
95% ASTM D-1557

COMPACTED SUBGRADE
@ 90% ASTM D-1557

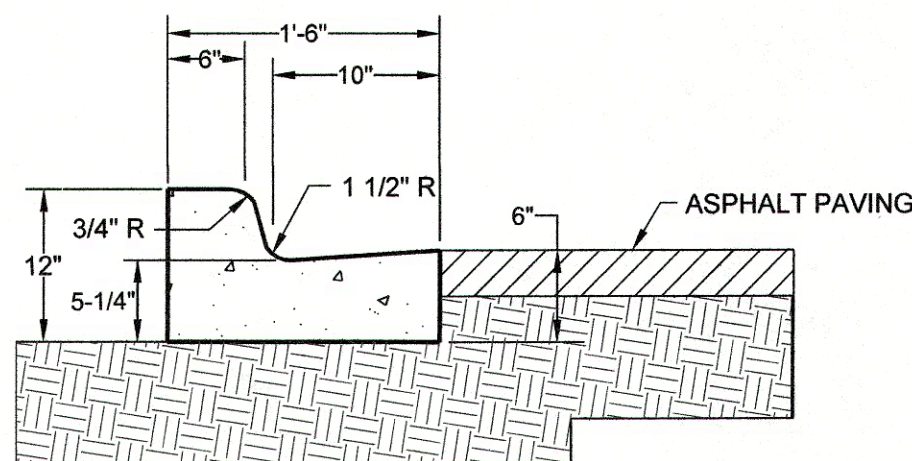
ASPHALT PAVEMENT SECTION

A
C-3.0



TURN DOWN SIDEWALK AT ACCESSIBLE ZONES

B
C-3.0



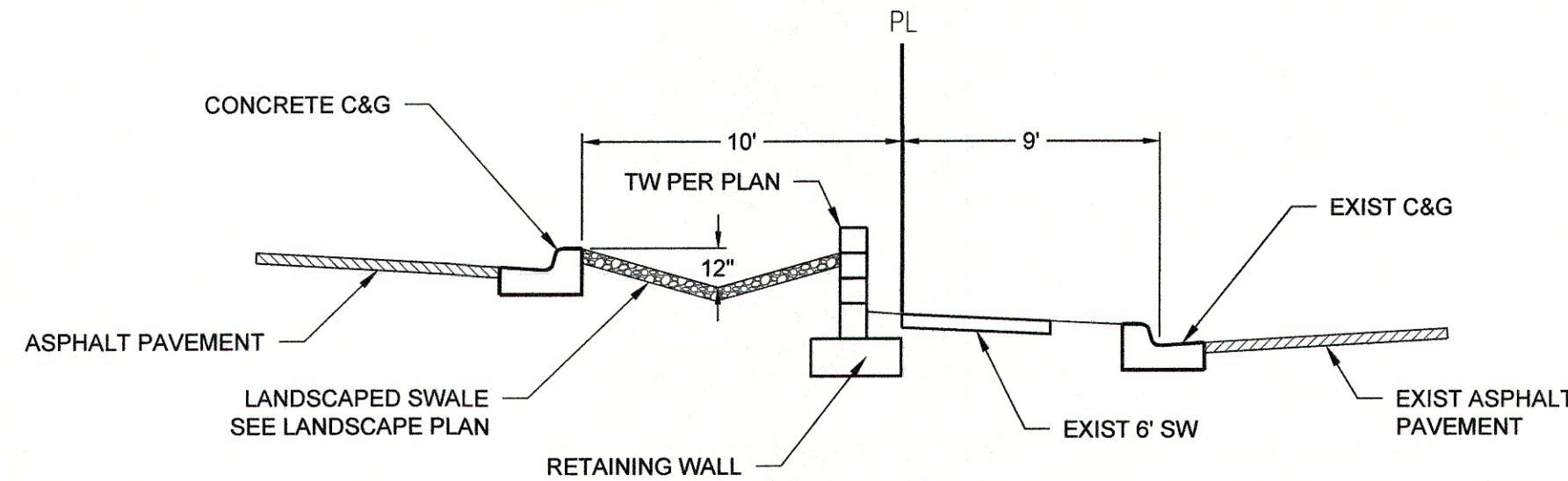
CONCRETE CURB AND GUTTER

C
C-3.0

CUT SLOPE/SWALE SECTION

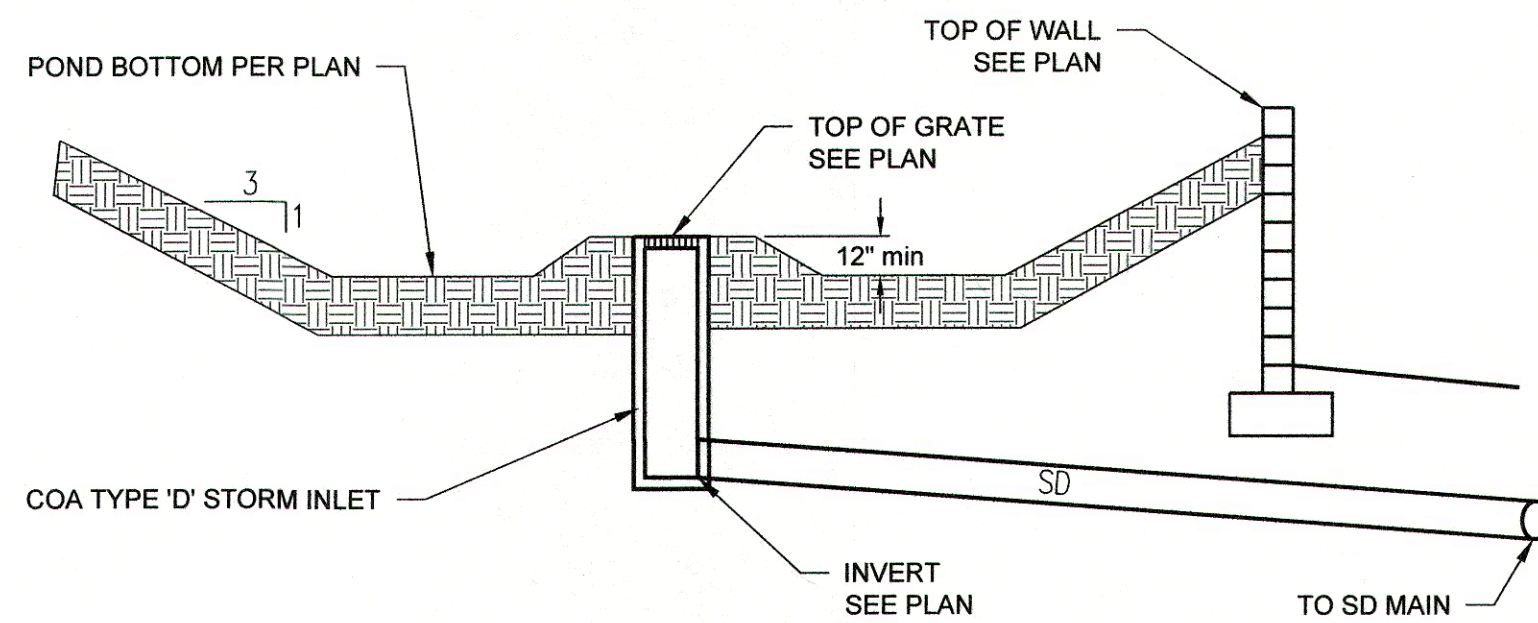
NTS

E
C-3.0



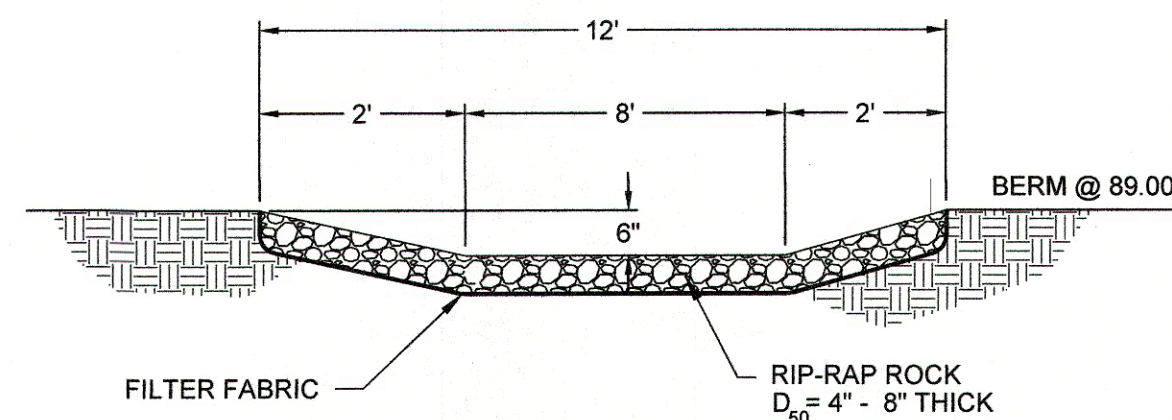
LANDSCAPED SWALE SECTION

F
C-3.0



TYPICAL POND SECTION

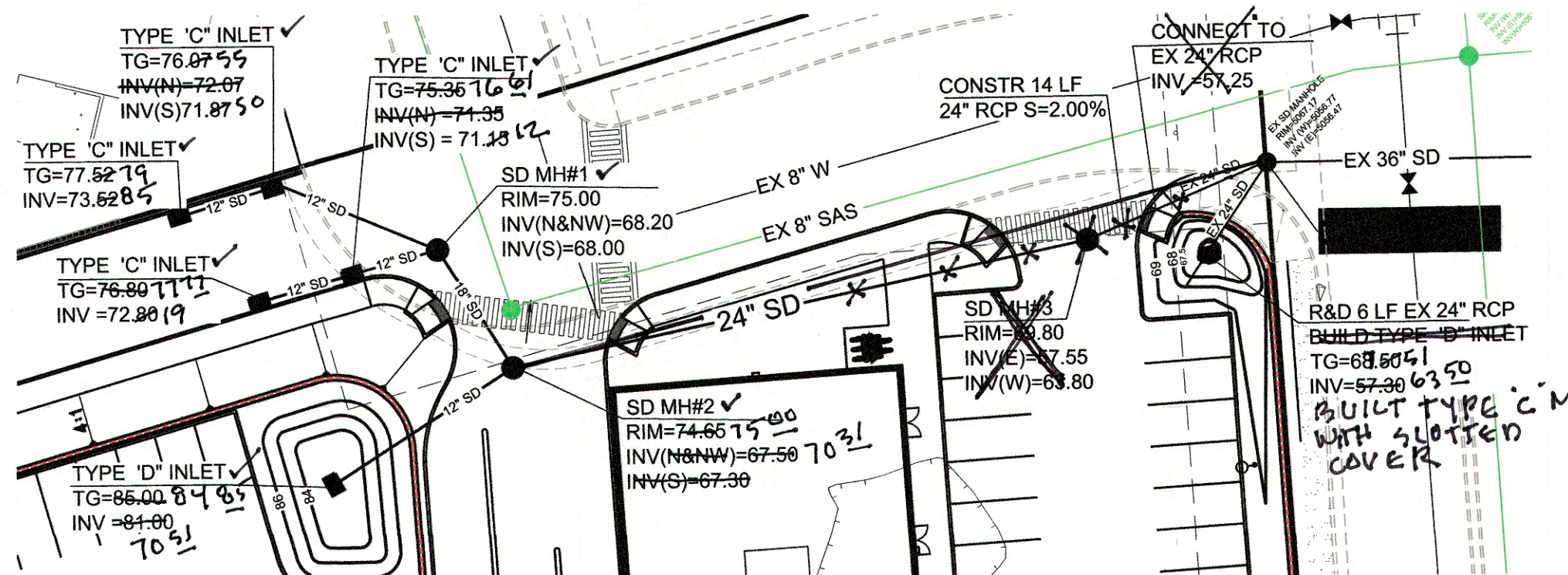
G
C-3.0



OVERFLOW SPILLWAY

NTS

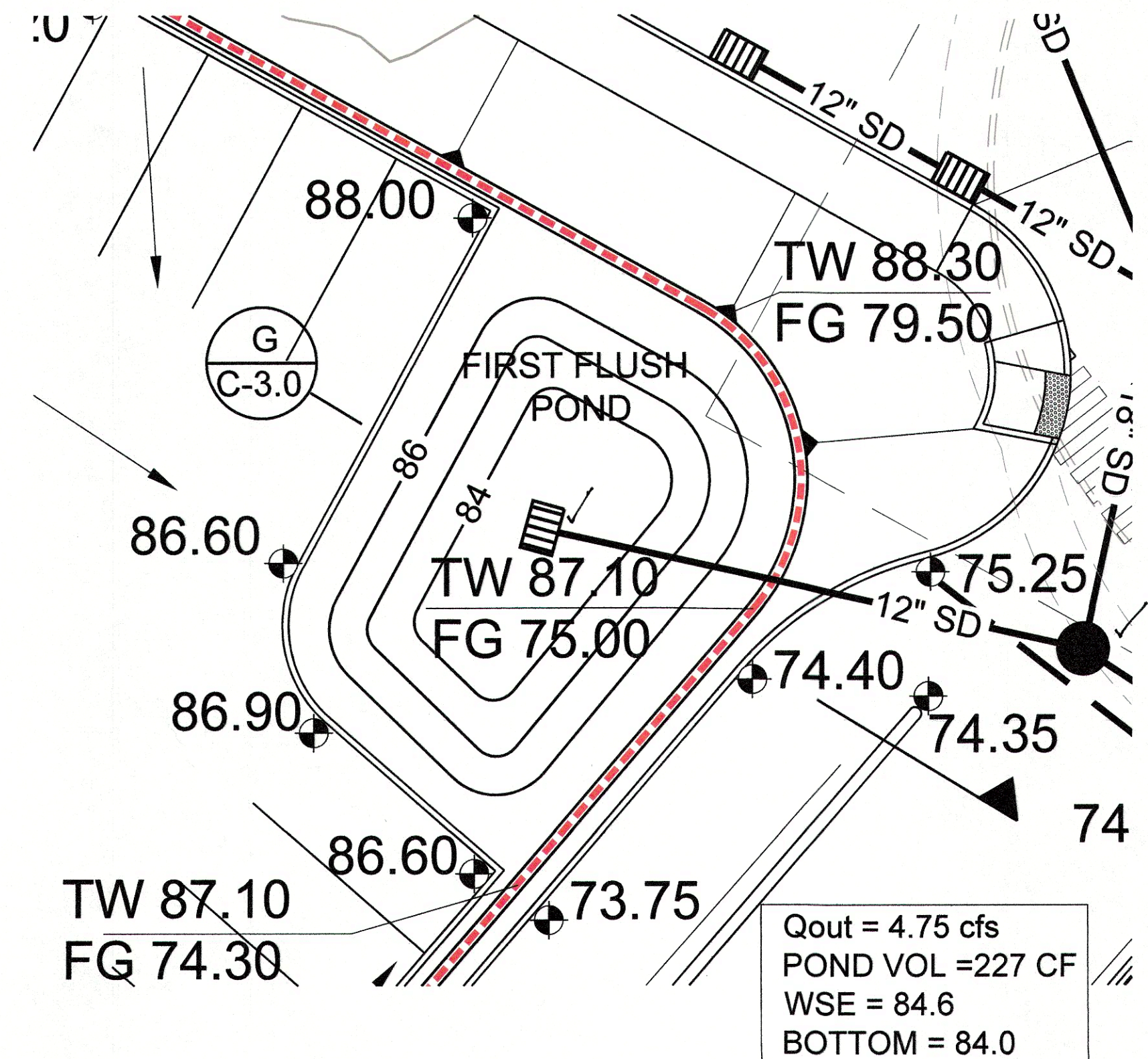
H
C-3.0



STORM DRAIN PLAN

1" = 30'

J
C-3.0



FIRST FLUSH POND "B" DETAIL

1" = 10'

NOT BUILT
PHASE 2 IMPROVEMENT

K
C-3.0

