

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 6, 2025

Minxuan Lin
NV5
6501 Americas Parkway NE, Suite 400
Albuquerque, NM 87110

RE: Eagle Ranch Retail
9641 Eagle Ranch Rd NW
Grading and Grading Plan
Engineer's Stamp Date: 3/6/2025
Hydrology File: B13D002C

Dear Mr. Lin:

Based upon the information provided in your submittal received 03/06/2025, the Grading and Drainage Plan is **approved** for Grading Permit, Paving Permit, and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the detention pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol. Electronic submittal of the Drainage Covenant and Exhibit A will also be required in the ABQ-PLAN system.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 20, 2025

Minxuan Lin
NV5
6501 Americas Parkway NE, Suite 400
Albuquerque, NM 87110

**RE: Eagle Ranch Retail
9641 Eagle Ranch Rd NW
Grading and Grading Plan
Engineer's Stamp Date: 1-21-2025
Hydrology File: B13D002C**

Dear Ms. Lin:

PO Box 1293

Based upon the information provided in your submittal received 02/06/2025, the Grading and Drainage Plan **is not** approved for Grading Permit and Paving Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

www.cabq.gov

1. Please provide the FIRM Map and floodplain note with effective date.
(Concur, FIRM map provided in revised drawing sheet C-2.0, dated 3/6/2025)
2. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided. (Concur, added benchmark information to revised drawing sheet C-0.1 Existing Survey, dated 3/6/2025)
3. Show the calculation for the Storm Water Quality Volume required. Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area draining to the BMP by 0.42 inches for new development sites. The calculations of both the required and the provided volume of each BMP must be shown on the Grading and Drainage Plan. Each BMP should be labeled on the Grading and Drainage Plan with the required SWQV and associated water surface elevation and the 100-year water surface elevation. (Concur, added requested information to revised drawing sheet C-1.0 Drainage Plan, dated 3/6/2025)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3314 or amontoya@cabq.gov.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

Sincerely,

A handwritten signature in black ink, appearing to read 'Anthony Montoya, Jr.', is written over a light blue rectangular background.

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

TOPOGRAPHIC SURVEY OF
LOTS C-1 AND C-2
COTTONWOOD POINTE SUBDIVISION
EPLAT OF TRACT C, COTTONWOOD POINTE S
PROJECTED SECTION 07, T 11 N, R 3 E, N
ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2023

TRACT B
COTTONWOOD POINTE
VOL 2001C, FOLIO 77
03-13-2001

LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALLILLO COUNTY, NEW MEXICO, BEING AND COMPRISING OF TRACT C, COTTONWOOD POINTE SUBDIVISION, AS IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE BERNALLILLO COUNTY CLERK'S OFFICE ON MARCH 13, 2001, IN BOOK 2001C, PAGE 77. SAID TRACT CONTAINS 6.771 ACRES, MORE OR LESS.

NOTES:

1. BEARINGS ARE GRID BASED--NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL BOUNDARY CORNERS IDENTIFIED AS "SET" ARE 5/8" REBAR WITH CAP OR NAIL WITH WASHER, STAMPED "PS 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN () ARE RECORD
5. U.C.I.S. LOG NUMBER D0120712160376

INTRODUCTION: THIS PROJECT CONTROL WAS ESTABLISHED FOR THE FUTURE IMPROVEMENT AND DEVELOPMENT OF THESE AREAS AND IS INTENDED TO BE USED DURING CONSTRUCTION. PROJECT CONTROL WAS CONSTRAINED TO CONTROL PROVIDED BY WILSON AND COMPANY. REFERENCE PROJECT: NCRTD Park and Ride Facility

PROJECT CONTROL PARAMETERS:

- | | | |
|-------------------------|--------------------------|-------------------------------------|
| | * UNITS | US SURVEY FOOT |
| | * HORIZONTAL DATUM | NAD 1983 CONUS |
| | * VERTICAL DATUM | NAVO 1985 |
| | * GEIOD MODEL | GEOID 18 (CONUS) |
| | * PROJECTION | TRANSVERSE MERCATOR |
| | * STATE PLANE AND/OR UTM | NAD MEXICO STATE PLANE CENTRAL ZONE |
| | * BASIS OF BEARING | GRID |
| | * METHOD | RTK TRIMBLE GPS RECEIVERS |
| STORM MANHOLE
#40000 | | |
| R/W=0.0716 | | |
| INV W=0.0716 | | |
| INV W=0.0770 | | |
| #7 STEEL | | |
| INV E=0.0770 | | |
| #7 STEEL | | |
| | SEWER MANHOLE | |
| | #1001 | |
| | R/W=0.0716 | |
| | INV W=0.0716 | |
| | #7 STEEL | |
| | INV W=0.0691 | |
| | #7 STEEL | |
| | INV E=0.0691 | |
| | #7 STEEL | |
| | INV E=0.0681 | |
| | #7 STEEL | |

SEWER MANHOLE
#42001
R0M=5075.46
INV N=5068.66
8" STEEL
INV W=5068.46
8" STEEL
INV SW=5068.66
4" STEEL
INV E=5068.58
9" STEEL

TRACT C-1
(5.0014 ACRES +/-)

TRACT C
COTTONWOOD POINTE
VOL 2001C, FOLIO 77
03-13-2001


































TRACT C-2
(1.7698 ACRES +/-)

TRACT D-1B-1-A
NF: RIVERPOINT ACQUISITION COMPANY LLC
ADOBE WELLS SUBDIVISION
VOL 2007C, FOLIO 341
12-11-2007

TRACT D-1-B-2
TRACT D-1B-2-A
NF: DESIGN & DEVELOPMENT GROUP LLC
ADOBE WELLS SUBDIVISION
VOL 2008C, FOLIO 123
06-06-2008

TRACT D-1-B-1
1.7080 AC

SYMBOL LEGEND:

- | | |
|---|---------------------------------|
|  | SITE, CONTROL POINT |
|  | ELECTRICAL, POWER POLE |
|  | ELECTRICAL, LIGHT POLE |
|  | UTILITY, ELECTRIC BOX |
|  | UTILITY, ELECTRIC PEDESTAL |
|  | UTILITY, ELECTRIC METER |
|  | UTILITY, ELECTRIC MANHOLE |
|  | UTILITY, ELECTRIC PULL-BOX |
|  | UTILITY, ELECTRIC TRANSFORMER |
|  | UTILITY, ELECTRIC GUY WIRE |
|  | ELECTRICAL, YARD LIGHT |
|  | UTILITY, AIR CONDITIONING UNIT |
|  | UTILITY, GAS METER |
|  | UTILITY, GAS VALVE |
|  | UTILITY, GAS VALVE |
|  | UTILITY, GAS VENT PIPE |
|  | UTILITY, GAS PUMP |
|  | UTILITY, GAS REGULATOR VALVE |
|  | UTILITY, FIRE HYDRANT |
|  | UTILITY, WATER FAUCET |
|  | UTILITY, WATER VALVE |
|  | UTILITY, WATER METER |
|  | UTILITY, WATER MANHOLE |
|  | UTILITY, WATER FILTRATION TANK |
|  | UTILITY, STORM DRAIN INLET |
|  | UTILITY, SANITARY MANHOLE |
|  | UTILITY, CLEANOUT |
|  | UTILITY, TELEPHONE PEDESTAL |
|  | UTILITY, STORM DRAINAGE MANHOLE |
|  | DRAINAGE, CATCH BASIN |
|  | UTILITY, UNKNOWN VAULT |
|  | SITE, SECURITY CAMERA |
|  | SITE, GREASE TRAP |

Quality Level B

LINE TYPE	UTILITY
_____	ELECTRICAL, UNDERGROUND
_____ W _____	UTILITY, WATER LINE
_____ C _____ COMB _____	UTILITY, COMMUNICATIONS
_____ UTL _____ UTL _____	UTILITY, UNKNOWN LINE
_____ R _____ R _____	RIGHT OF WAY
_____ PL _____ PL _____	PROPERTY LINE
_____ GAS _____ GAS _____	GAS LINE
_____ SS _____ SS _____	SANITARY LINE
_____ SO _____	STORM DRAIN LINE
_____ OH _____ OH _____	OVERHEAD LINE
_____ F _____ F _____	FENCE LINE
_____ X _____ X _____	UTILITY, FIBER OPTIC LINE

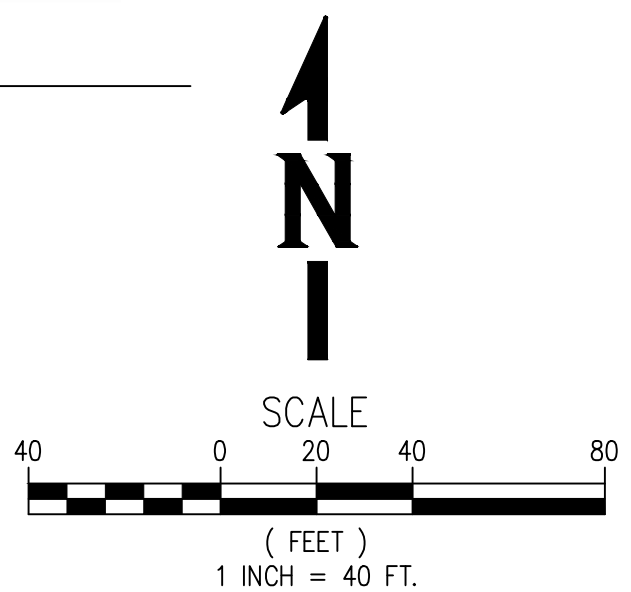
Quality Level D

LINE TYPE	UTILITY
— T50 — T50 —	TELEPHONE/COMM. - CENTURY
— E100 — E100 —	ELECTRIC - PNM
— C100 — C100 —	CATV - COMCAST
— F100 — F100 —	FIBER OPTIC - CENTURYLINK
— N100 — N100 —	NATURAL GAS - NM GAS CO
— W100 — W100 —	WATER - ABCWUA
— S100 — S100 —	SANITARY SEWER - ABCWUA
— D100 — D100 —	STORM DRAIN - ABCWUA
— O100 — O100 —	OH ELECTRIC - PNM

POINT TABLE

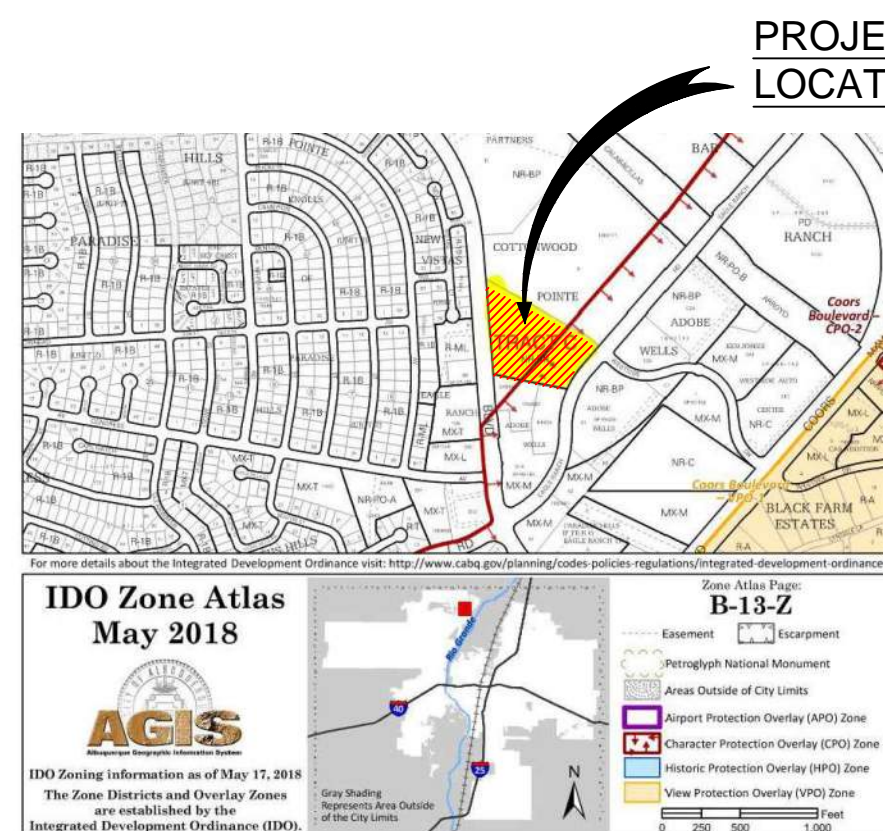
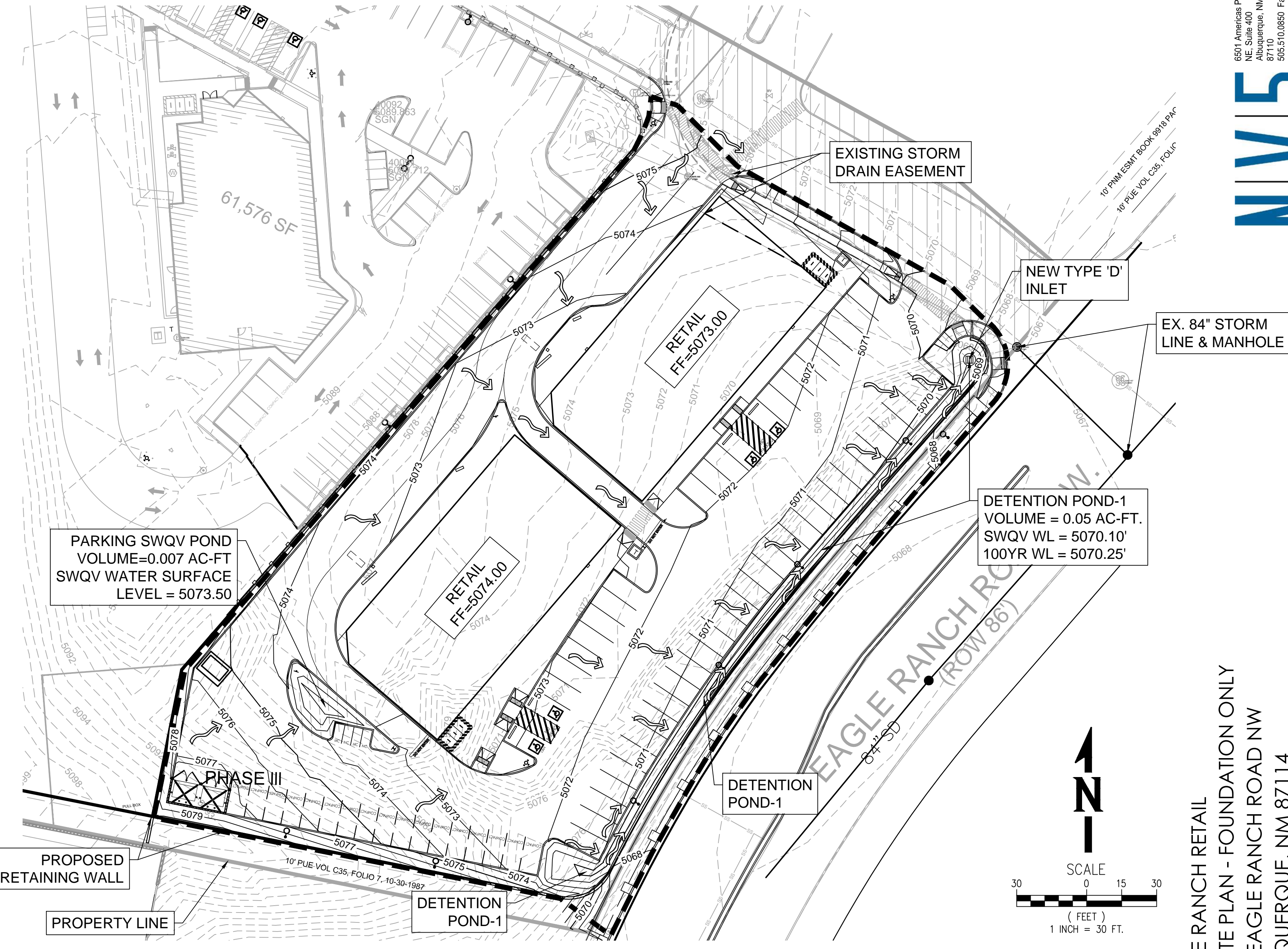
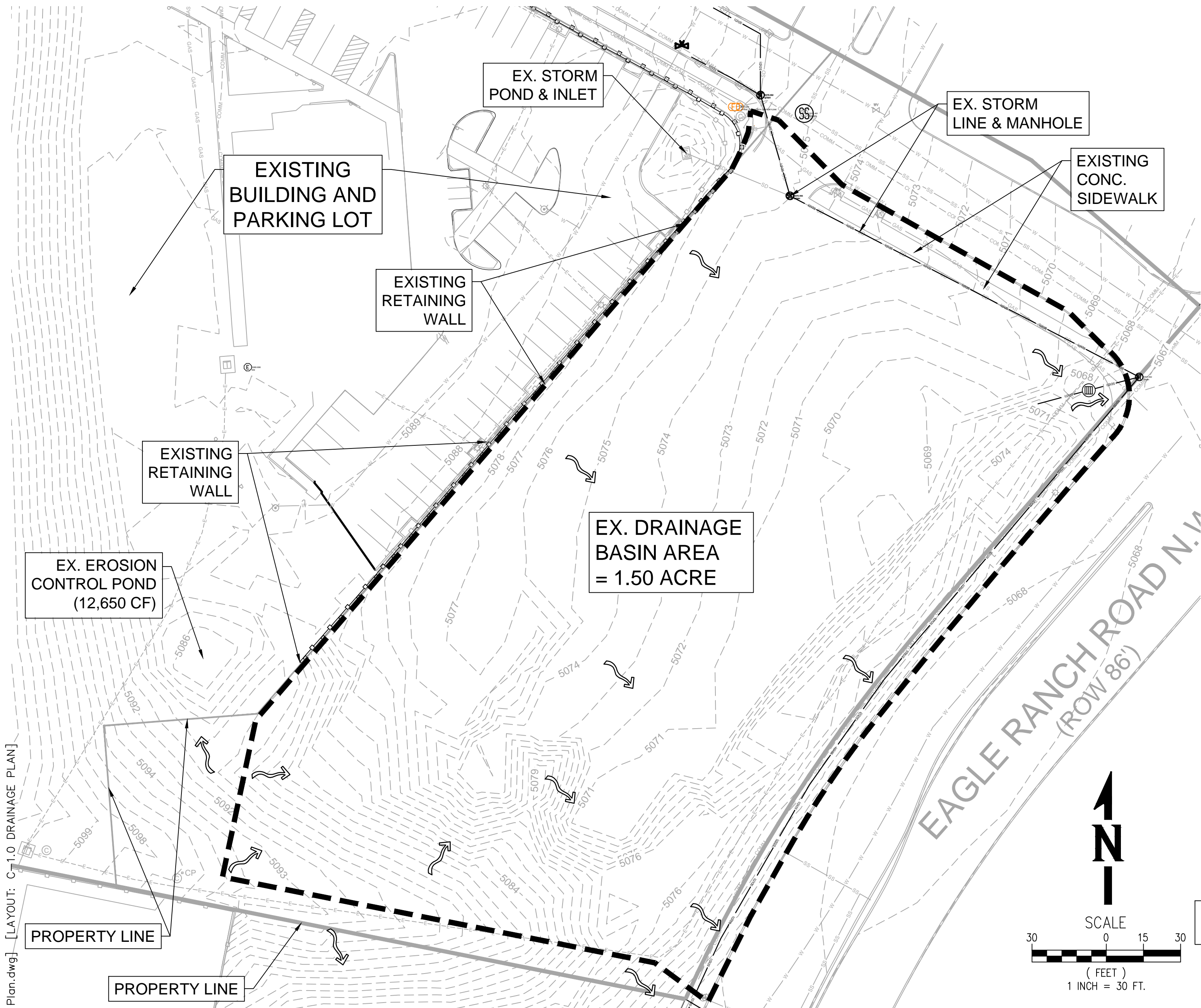
No.	ELEVATION	NORTHING	EASTING	DESCRIPTIONS
1701	5093.62	1,525,471.21	1,516,617.83	TH-1 WATER C-3.37
1702	5068.58	1,525,210.27	1,516,982.90	TH-2 ELECTRIC C-6.35
1703	5068.10	1,525,201.53	1,516,988.31	TH-3 COMM NOT FOUND
1704	5090.66	1,524,985.23	1,516,712.56	TH-6 POWER COULDNT DIG
1705	5068.76	1,524,987.87	1,516,837.37	TH-5 POWER COULDNT DIG
1706	5069.17	1,524,985.13	1,516,833.16	TH-7 COMMS COULDNT DIG
1707	5070.69	1,525,084.75	1,516,899.54	TH-8 ELECTRIC COULDNT DIG
1708	5070.07	1,525,080.32	1,516,897.81	TH-9 COMMS COULDNT DIG
1709	5072.00	1,525,083.18	1,516,895.10	TH-10 COMMS COULDNT DIG
1710	5074.01	1,525,094.11	1,516,885.72	TH-11 ELECTRIC COULDNT DIG

PROJECT
LOCATION

VICINITY MAP

EAGLE RANCH RETAIL
TCL SITE PLAN - FOUNDATION ONLY
9641 EAGLE RANCH ROAD NW
ALBUQUERQUE, NM 87114
PROJECT #1620

6501 Americas Pkwy
NE, Suite 400
Albuquerque, NM
87110
505.510.0850 Fax
505.242.4845
www.nv5.com



LEGAL DESCRIPTION
TRACT 'C' PLAT OF TRACTS A, B & C COTTONWOOD POINTE BEING A REPLAT OF
TRACTS E, F & G ADOBE WELLS SUBDIVISION CONT 6.7675 AC.

DRAINAGE BASIN AREA
1.50 ACRE; 65,340 SF

FLOODPLAIN NOTES
NO PORTION OF THIS SITE LIES WITH A FLOOD PLAIN AS DESIGNATED ON THE
FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 35001C0108G, EFFECTIVE
DATE 9/26/2008. SEE SHEET C-2.0 GRADING PLAN FOR FIRM MAP.

DRAINAGE CRITERIA
CALCULATIONS FOR EXISTING PEAK DISCHARGE AND
VOLUMETRIC RUNOFF WERE PERFORMED IN ACCORDANCE WITH
THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL
ARTICLE 6-2, HYDROLOGIC'S DRAINAGE CRITERIA FOR THE
100-YR, 6 HOUR DESIGN STORM.
ARTICLE 6-12 STORMWATER QUALITY, DRAINAGE ORDINANCE
DEFINES THE 90TH PERCENTILE STORM EVENT AS 0.42 INCHES.

HYDROLOGIC STUDY

EXISTING CONDITIONS
THE SITE IS PRESENTLY A VACANT LOT THAT WAS PART OF AN PROPOSED PHASE-II OF A RETAIL DEVELOPMENT THAT IS LOCATED WEST OF EAGLE RANCH ROAD NW, THE NORTH SIDE OF THE PROPERTY IS ADJACENT TO THE ACCESS ROAD AND SIDEWALK. THE WEST SIDE OF THE LOT WAS DIVIDED BY A EXISTING RETAINING WALL PART OF THE PHASE 1 OF PROJECT. SOUTH SIDE OF THE LOT IS A VACANT UNDEVELOPED AS WELL.

SITE DRAINAGE TRENDED TO FLOW FROM THE SOUTHWEST CORNER WITH A MAX 25% SLOPE TO THE THE EAST CORNER FROM THE PROJECT SITE AS SURFACE SHEET FLOW AT SLOPE APPROXIMATELY 6-8%. THERE IS EXISTING ASPHALT PAVEMENT, CONCRETE CURB & GUTTER AND SIDEWALK ALONG THE NORTH BOUNDARY. ALL EXISTING FLOW DISCHARGE TO THE INTERSECTION OF THE ACCESS ROAD AND EAGLE RANCH ROAD. ALL DRAINAGE GOING TO THE CITY OF ALBUQUERQUE STORM DRAIN SYSTEM. SEE EXISTING DRAINAGE PLAN FOR EXISTING BASINS.

PROPOSED CONDITIONS

THE PROPOSED SITE IMPROVEMENTS FOR THE SITE WILL CONSIST OF AN NEW PAVED PARKING LOT FOR SUPPORT OF TWO FUTURE RETAIL BUILDING. NEW DUMPSTER PAD. NEW RETAINING WALL WILL BE CONSTRUCTED FROM THE EXISTING RETAINING LOCATION ALONG THE LOT LINES AT THE SOUTHWEST CORNER. NEW SIDEWALK AND RETAINING WALL WILL BE PROVIDED ALONG EAGLE RANCH ROAD.

THE PROPOSED DRAINAGE BASIN WILL BE CONSISTED AS THE SAME FROM EXISTING BASIN. SEE PROPOSED DRAINAGE PLAN FOR BASIN MAP. PROPOSED BASIN CONSISTED AREAS OF THE NEW ASPHALT PARKING, CONCRETE WALKS, CONCRETE CURB & GUTTER, BUILDINGS AND NEW LANDSCAPE AREA. DRAINAGE SHEET FLOW WILL COLLECTED THROUGH DETENTION PONDS WITHIN (1) PARKING LANDSCAPE ISLAND WITH CURB CUT OVERFLOWS, AND ALL FLOW WILL GO THROUGH THE PARKING LOT WITH CURB CUTS INTO THE PROPOSED DETENTION SWALE AND POND ALONG THE EAST SIDE OF THE PROJECT. ALL THE FLOWS WILL DISCHARGE TO THE PROPOSED NEW STORM DRAIN INLET(NORTH EAST CORNER, END OF POND) THAT WILL TIE INTO THE EXISTING STORM DRAIN SYSTEM. THE SERIES OF THE DETENTION PONDS WILL INTERCEPT THE 90 PERCENTILE RUNOFF AND TO RETAIN THE DIFFERENCE OF THE HISTORIC RUNOFF FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THE DETENTION PONDS WILL BE CONSTRUCTED WITH GRAVEL MULCH WITH LANDSCAPING.

DRAINAGE SUMMARY:
EX. BASIN DISCHARGE TO EXISTING ROADWAY:
DISCHARGE = 4.36 CFS, VOLUME = 0.12 AC-FT.
PROPOSED BASIN DISCHARGE TO EXISTING STORM SYSTEM WITHIN
NEW INLET ON SITE:
DISCHARGE = 5.86 CFS, VOLUME = 0.25 AC-FT.
NET DISCHARGE = +1.50 CFS, VOLUME = +0.13 AC-FT
PROPOSED DETENTION PONDS STORAGE ON SITE: VOLUME = 0.06
AC-FT
REQUIRED 90TH PERCENTILE STORAGE = 0.04 AC-FT.

HYDROLOGIC STUDY CONCLUSION
THE EXISTING 100-YR RUNOFF DISCHARGE & VOLUME FROM THE SITE IS 4.36 CFS & 0.12 AC-FT FOR THE 100-YR, 6HR EVENT. THE PROPOSED RUNOFF FROM THE SITE IS 5.86 CFS & 0.25 AC-FT. NET INCREASE RUN-OFF IS 1.50 CFS & VOLUME IS 0.13 AC-FT. THE DETENTION PONDS PROVIDED ONSITE IS 0.06 AC-FT.

ALL DRAINAGE WILL DISCHARGE INTO THE EXISTING STORM DRAIN SYSTEM (EXISTING 84" STORM) DRAIN LINE DOWNSTREAM.

THE PROPOSED RETAIL DEVELOPMENT WILL SEE MINIMUM IMPACT ON THE DOWNSTREAM AREAS.

THE DETENTION POND HAVE BEEN DEVELOPED ON SITE FOR TWO REASONS:

- 1) TO MITIGATE STORM WATER RUNOFF FROM EXISTING TO PROPOSED CONDITION.
- 2) TO MANGE 90th PERCENTILE STORM EVENT FIRST FLUSH GENERATED BY CONTRIBUTING IMPERVIOUS SURFACES.

STORM WATER QUALITY CALCULATIONS
90th PERCENTILE RAINFALL = 0.42 INCHES
TOTAL IMPERVIOUS AREA OF PROPOSED DEVELOPMENT = 1.25 ACRES.
SWQV = 1.25 AC x 0.42 IN. = 0.52 AC-IN = 0.04 AC-FT.

REQUIRED SWQV = 0.04 AC-FT
PROVIDED SWQV VOLUME = 0.06 AC-FT

BASIN	AREA (ACRES)	LAND TREATMENT				100-YR				90th Percentile Storm Events		Stormwater Quality Volume(SW/QV) (AC-FT)
		A (%)	B (%)	C (%)	D (%)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)	Impervious Area(ACRES)	90th Percentile Storm (IN)	
EXISTING CONDITIONS												
EX 1	1.50	0.0	0.0	97.0	3.0	2.91	0.99	4.36	0.12			N/A
TOTALS	1.50							4.36	0.124			
PROPOSED CONDITIONS												
PRO. 1	1.50	0.0	0.0	17.0	83.0	3.91	2.02	5.86	0.25	1.25	0.42	0.04
TOTALS	1.50							5.86	0.253			0.04
PROPOSED VS. EXISTING DIFFERENCE								1.50	0.129			0.04

REFERENCE:
ARTICLE 6-2, HYDROLOGY, DEVELOPMENT PROCESS MANUAL, CITY OF ALBUQUERQUE, EFFECTIVE AS OF JUNE 8, 2020
ARTICLE 6-12 STORMWATER QUALITY, DRAINAGE ORDINANCE DEFINES THE 90th PERCENTILE STORM EVENT AS 0.42 INCHES
PRECIPITATION ZONES = ZONE 1

DETENTION POND - Parking Island					
ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMULATIVE STORAGE (FT ³)	CUMULATIVE STORAGE (AC-FT)
5072.0	95	0	0.00	0	0.00
5073	235	165	0.004	165	0.004
5073.5	360	149	0.003	314	0.007
TOTAL STORAGE				314	0.007

DETENTION POND - 1				
ELEVATION	AREA (FT ²)	STORAGE (FT ³)	CUMULATIVE STORAGE (FT ³)	CUMULATIVE STORAGE (AC-FT)
5068.0	30	0	0.00	0.00
5069	480	245	0.006	0.006
5070.0	1550	1005	0.02	0.029
5070.5	2150	925	0.02	0.050
TOTAL STORAGE			2175	0.050

VICINITY MAP

DRAINAGE PLAN NOTES:

1. AMENDMENT TO CURRENT APPROVED PLAN DATED 07-10-2018
2. AMENDMENT TO APPROVED SITE PLAN 07-10-2018.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 3/6/2025
BY: *Justin M. [Signature]*
B13D002C
HydroTrans #

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND WILL NOT PREVENT THE CITY ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE DATE OF THE EXPIRING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

DRAINAGE PLAN
SCALE: N.T.S.

EAGLE RANCH RETAIL
TCL SITE PLAN - FOUNDATION ONLY
9641 EAGLE RANCH ROAD NW
ALBUQUERQUE, NM 87114
PROJECT # 1620

6501 Americas Pkwy
NE, Suite 400
Albuquerque, NM
87110
505.510.0850 Fax
505.242.4845
www.nv5.com

5501 Americas Pkwy
NE, Suite 400
Albuquerque, NM
87110
505.510.0850 Fax
505.242.4845
www.nv5.com

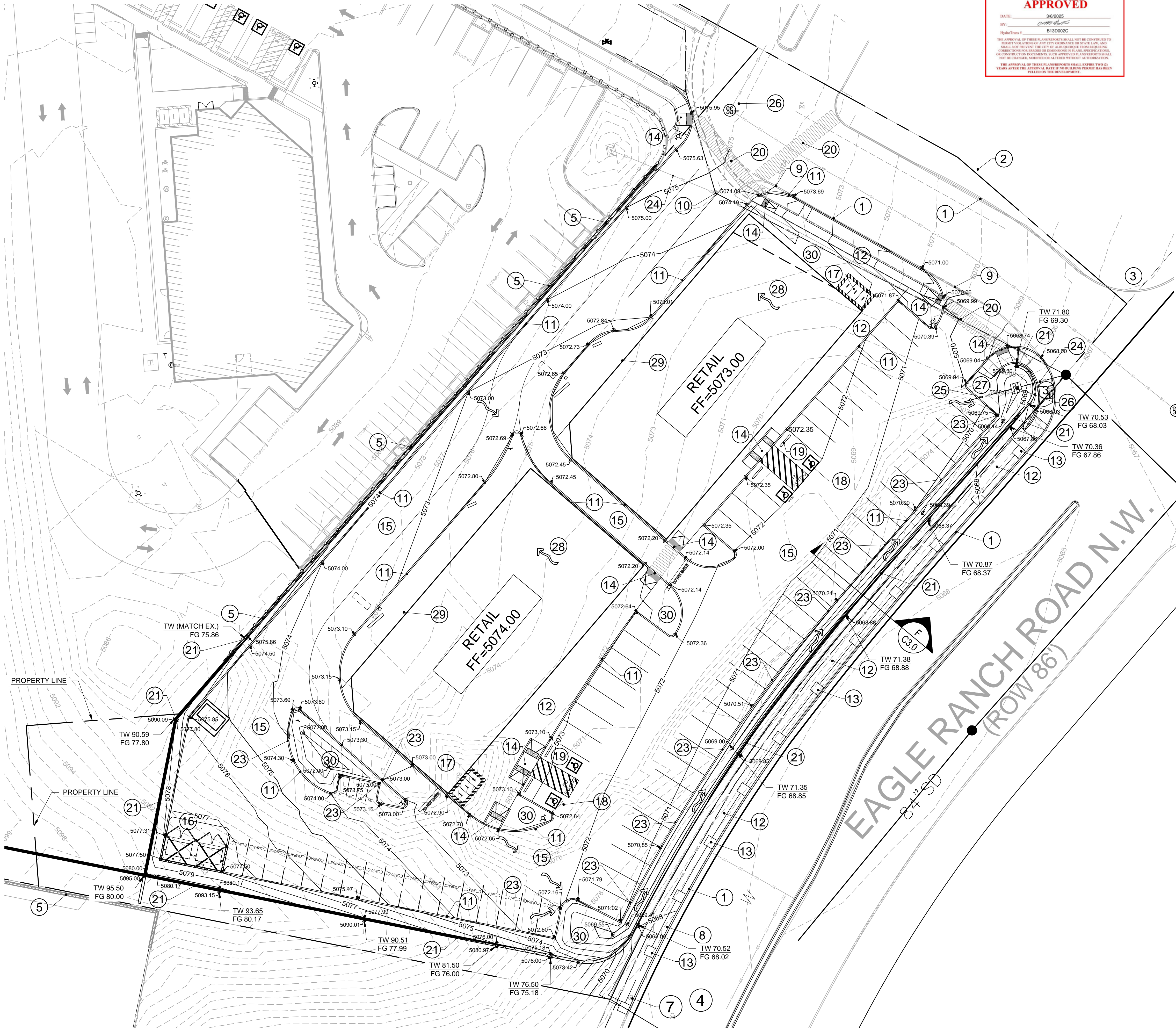
REVISION DATE

RBA
ARCHITECTURE, PC
PLANNING
DESIGN

SHEET NUMBER

C-1.0

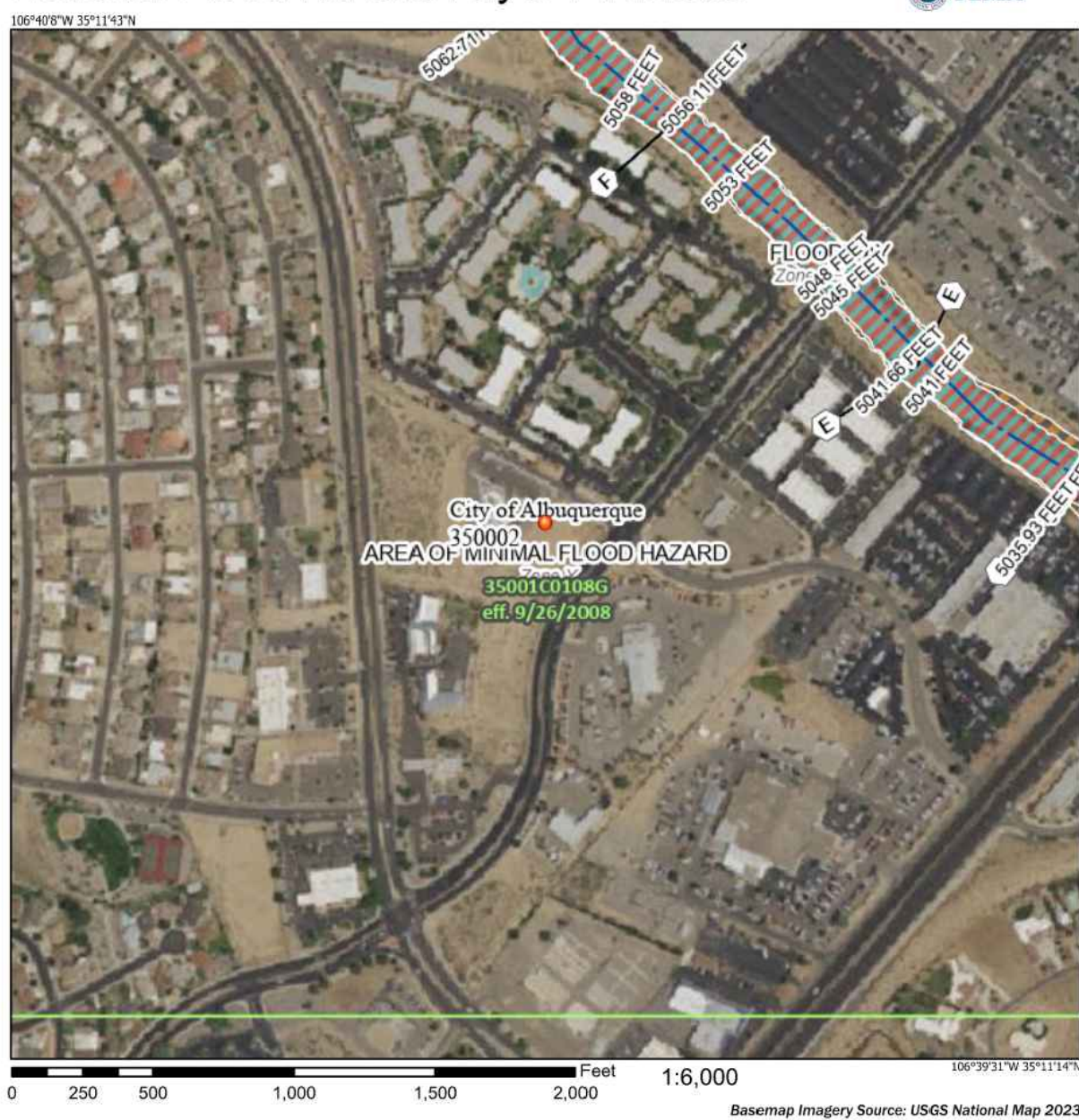
[DATE: 3/5/2025 6:07 PM] [AUTHOR: jacky.lin] [PLOTTER: DWG To PDF.pc3] [STYLE: WHP-Standard.ctb] [LAYOUT: C-2.0 GRADING PLAN] [PATH: P:\Eagle Vista, LLC\229023-A000280.00 Execution Drawings\Civil\229023-A000280.00 Grading & Drainage Plan.dwg]



GRADING PLAN
SCALE: N.T.S.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 3/5/2025
BY: [Signature]
Hydrologist: 8130002C
THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO
WARRANT THE CITY OF ALBUQUERQUE OR ANY CITY ENGINEER OR DESIGNER
SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM RECOVERING
COSTS INCURRED FOR ENGINEERING OR PLANNING SERVICES PROVIDED
OR CONTRACTED FOR AND CANNOT BE USED TO PREVENT A PROFESSIONAL
NOT BE CHARGED, UNDERWRITTEN, OR INSURED BY ANY OTHER
PERSON OR THE DEVELOPER.

National Flood Hazard Layer FIRMette



FIRM MAP (35001C0108G, EFFECTIVE DATE 9/26/2008)

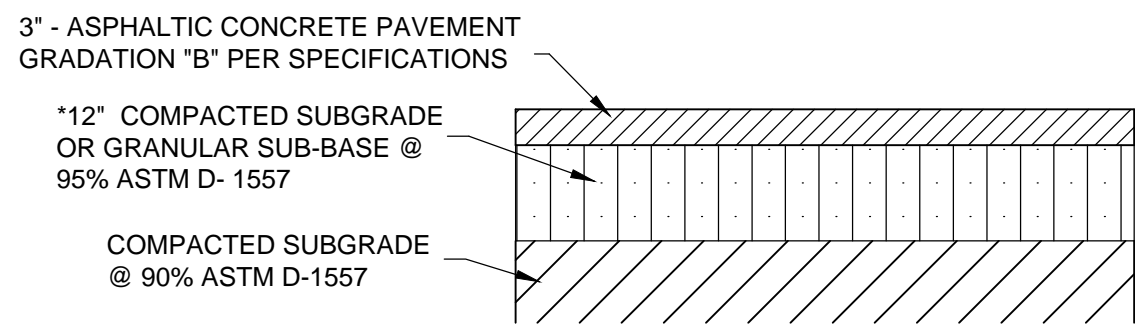
FLOODPLAIN NOTE:
NO PORTION OF THIS SITE LIES WITH A FLOOD PLAIN AS DESIGNATED ON THE FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 35001C0108G, EFFECTIVE DATE 9/26/2008.

KEYED NOTES

- EXISTING CONCRETE CURB.
- EXISTING CONCRETE SIDEWALK.
- EXISTING HANDICAP RAMP.
- EXISTING ASPHALT PAVEMENT.
- EXISTING KEYSTONE RETAINING WALL.
- EXISTING ELECTRIC TRANSFORMER.
- EXISTING FIRE HYDRANT.
- EXISTING WATER METER.
- REM & DISPOSE EXISTING CONCRETE CURB & GUTTER AND SIDEWALK TO LIMITS SHOWN.
- ADJUST EXISTING MANHOLE RIM TO FINISHED GRADE.
- CONSTRUCT 6" CONCRETE CURB & GUTTER. SEE SHEET C-3.0.
- CONSTRUCT SIDEWALK. SEE SITE PLAN.
- NEW 4" X 4" TREE WELLS. SEE SITE AND LANDSCAPE PLAN.
- CONSTRUCT HANDICAP RAMP. SEE SHEET AS-1.2.
- CONSTRUCT ASPHALT PAVEMENT. SEE SHEET C-3.0.
- CONSTRUCT REFUSE ENCLOSURE. SEE SHEET AS-1.2.
- INSTALL BICYCLE RACK. SEE SHEET AS-1.2.
- INSTALL HANDICAPPED PARKING STRIPING AND SIGNAGE. SEE SHEET AS-1.2.
- INSTALL CONCRETE TIRE STOPS.
- INSTALL PEDESTRIAN CROSSWALK STRIPING. SEE SHEET AS-1.2.
- CONSTRUCT RETAINING WALL. DESIGN BY OTHERS.
- CONSTRUCT STORM DRAIN SYSTEM. SEE DETAIL J/C-3.0.
- PROVIDE 12-INCH CURB BLOCKOUT FOR DRAINAGE.
- EXISTING STORM DRAIN LINE TO REMAIN & PROTECTED.
- DEMO & REMOVE EXISTING 12" STORM DRAIN LINE.
- CONSTRUCT TYPE 'D' STORM INLET PER COA STANDARD DETAIL.
- DIRECTION OF ROOF DRAINAGE.
- DOWNSPOUT LOCATION. SEE SHEET A-5.0 FOR ROOF PLAN.
- LANDSCAPING.

EAGLE RANCH RETAIL
TCL SITE PLAN - FOUNDATION ONLY
9641 EAGLE RANCH ROAD NW
ALBUQUERQUE, NM 87114
PROJECT #1620

REVISION	DATE
DATE 3-6-2025	
SHEET NUMBER C-2.0	



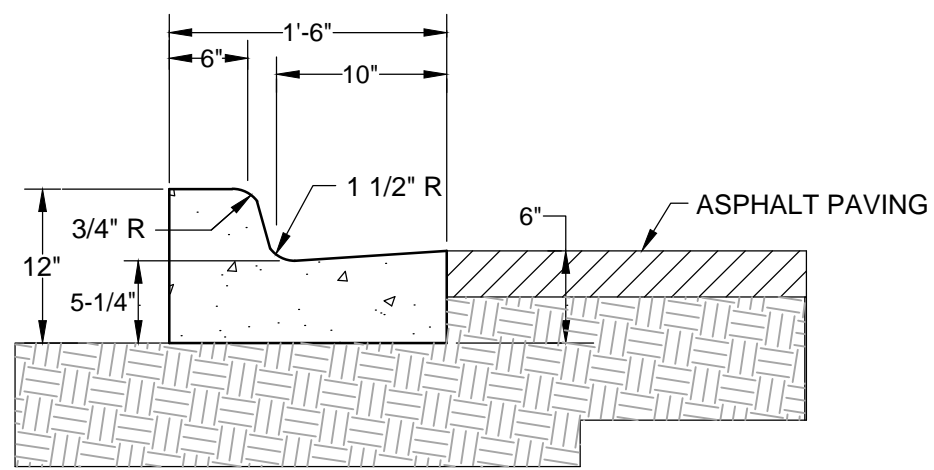
ASPHALT PAVEMENT SECTION

AUTO/PICKUP TRUCK

NTS

(A

C-3.0.

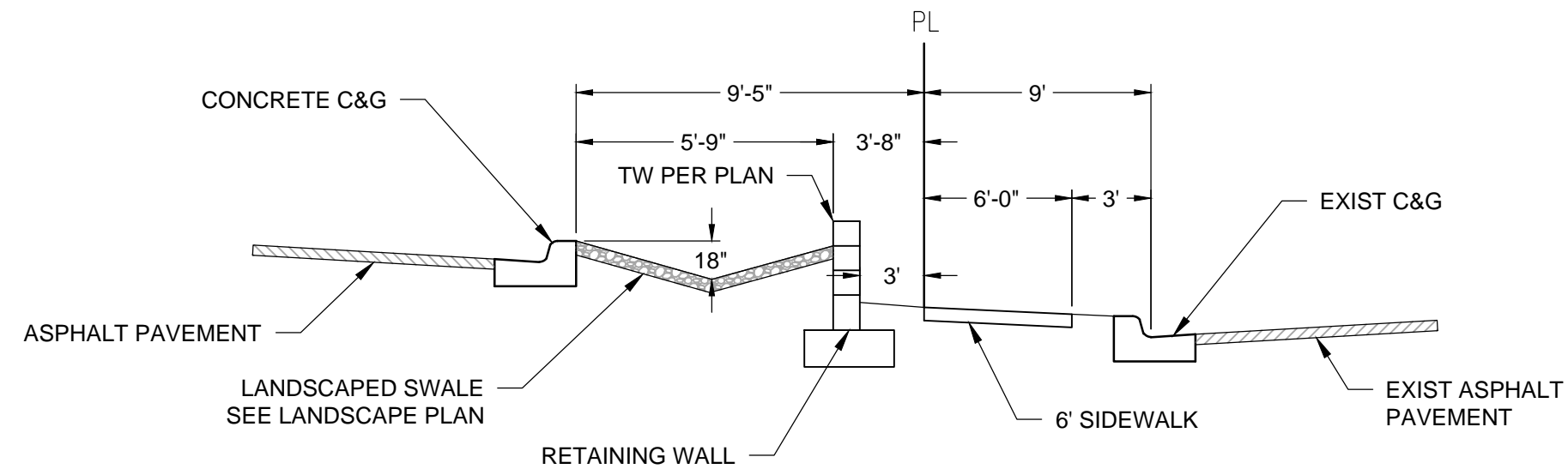


CONCRETE CURB AND GUTTER

NTS

C

C-3



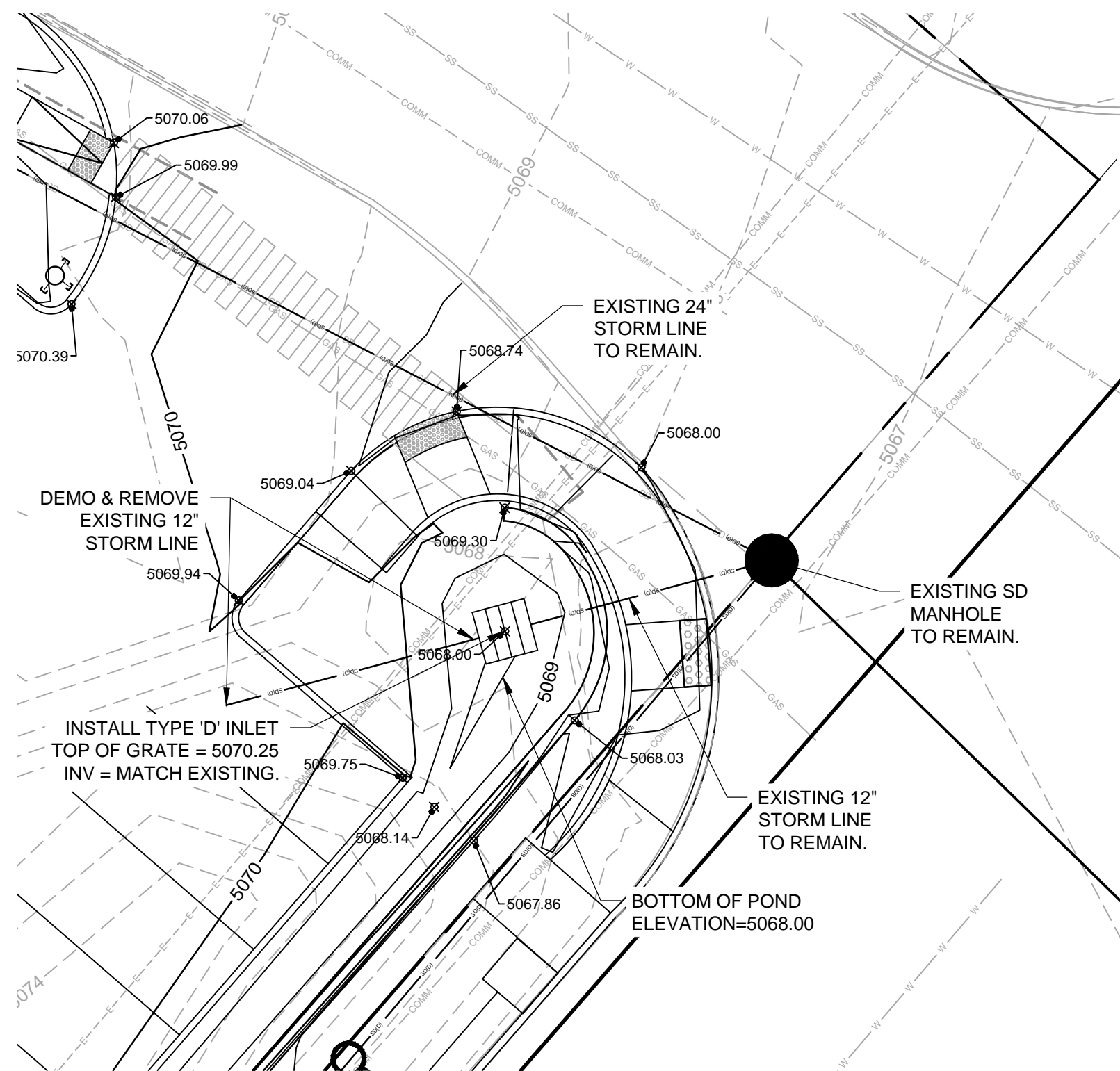
LANDSCAPED SWALE SECTION

NTS

F

C-3.0

C-3.0



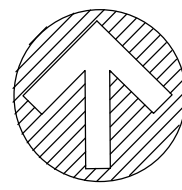
FIRST FLUSH POND "C" DETAIL

$$1'' = 10'$$

L

C-3.0

C-3.0



City of Albuquerque
Planning Department
Development Review Services

HYDROLOGY SECTION

APPROVED

DATE: 3/6/2025
BY: *Ante Hiles*
HydroTrans # B13D002C

THE APPROVAL OF THESE PLANS/PORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/PORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

THE APPROVAL OF THESE PLANS/PORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL OF THE BUILDING PERMIT IS ISSUED ON THE DEVELOPMENT.