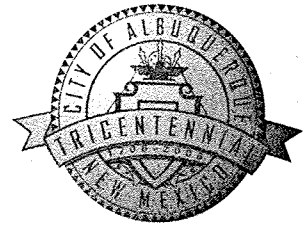


CITY OF ALBUQUERQUE



October 1, 2007

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Re: Eagle Vista Apartments, Preliminary Grading Plan
Engineer's Stamp dated 9-19-07 (B13/D002C)

Dear Mr. McGee,

Based upon the information provided in your submittal dated 9-20-07, the above referenced plan is approved for Site Development for Building Permit action by the DRB.

If you have any questions, you can contact me at 924-3695.

P.O. Box 1293

Albuquerque

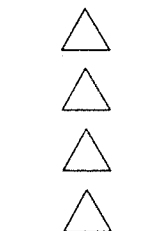
New Mexico 87103

www.cabq.gov

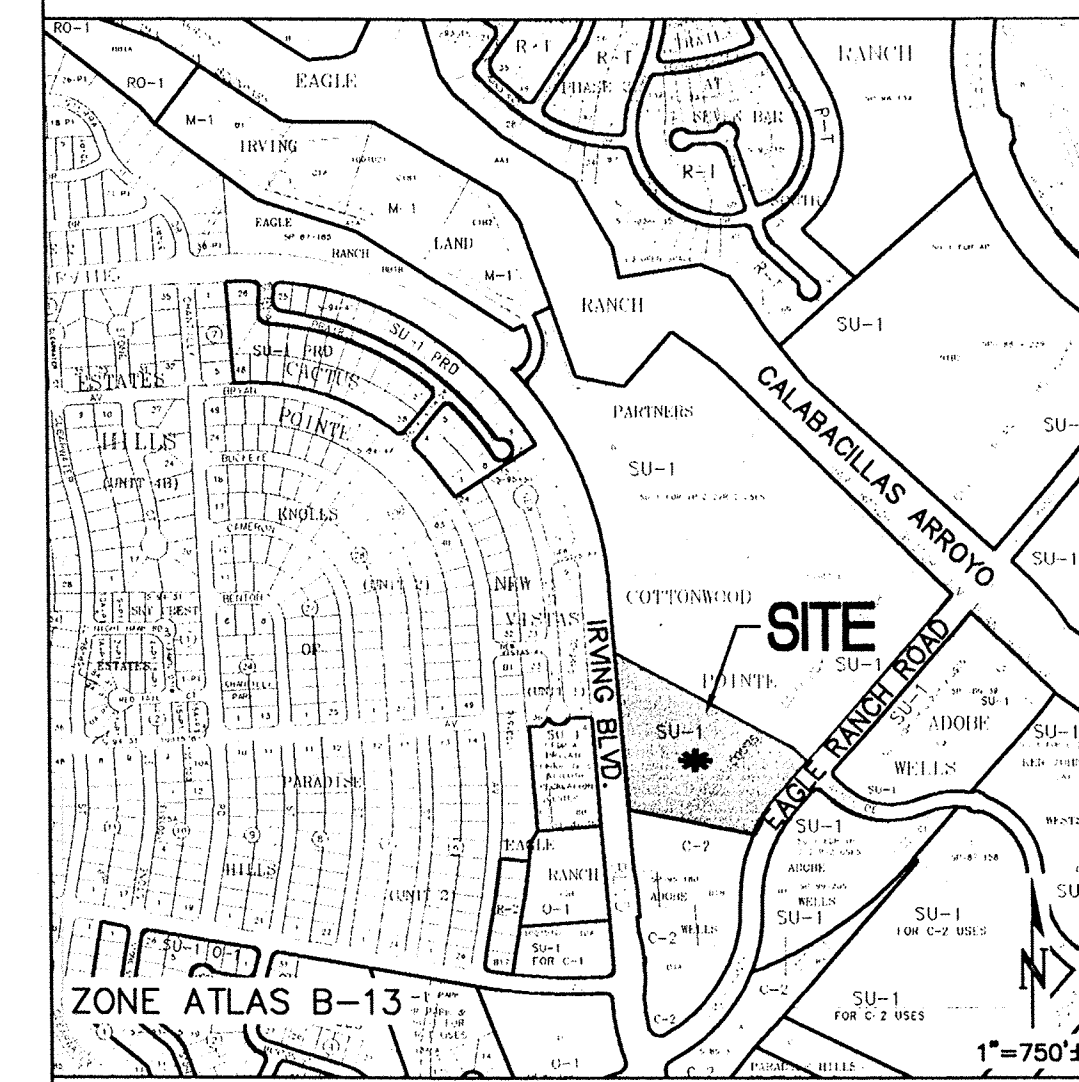
Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

C: file
Brad Bingham



ZONE ATLAS MAP B-13



LEGEND

- EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED SPOT ELEVATION
FLOW ARROW
FF 83.0
FINISH FLOOR ELEVATION
PROPOSED RETAINING WALL
STORM DRAIN / LINE
BLDG. SHADING REFERENCES
CHANGES IN FF ELEVATION
PERVIOUS PAVING WITH AREA #

GENERAL INFORMATION

PROPERTY: THE SITE IS AN UNDEVELOPED SU-1 PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-13. THE SITE IS BOUND TO THE EAST BY EAGLE RANCH ROAD, TO THE WEST BY IRVING BLVD., TO THE NORTH BY AN APARTMENT COMPLEX AND TO THE SOUTH BY UNDEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE RESIDENTIAL APARTMENT BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, LANDSCAPING AND CLUBHOUSE.

LEGAL: LOT C, COTTONWOOD POINTE, ALBUQUERQUE, NM

ADDRESS: IRVING BLVD. N.E.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #108, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: A PRIVATE STORM DRAIN SYSTEM WILL BE INSTALLED TO COLLECT ON-SITE RUNOFF AND ROUTE TO THE EXISTING PUBLIC STORM DRAIN STUP PROVIDED FOR THIS PROPERTY'S USE AND LOCATED NEAR THE NORTHEAST PROPERTY CORNER. RUNOFF IS THEN CARRIED NORTH IN AN 84" STORM DRAIN TO THE CALABACILLAS ARROYO. NEW DEVELOPED RUNOFF IS BASED ON 5% GRASS, 15% GRAVEL, AND 80% IMPERVIOUS SURFACING. FREE DISCHARGE IS APPROPRIATE FOR THE SITE AS DOWNSTREAM CAPACITY IS AVAILABLE.

PERVIOUS PAVING (EPC CONDITION NO. 3)

A TOTAL OF 5,676 SF OF PERVIOUS PAVING IS PROPOSED WHICH IS 5.0% OF THE TOTAL PAVED AREA OF 113,495 SF.

CALCULATIONS

CALCULATIONS: 1599 - Eagle Vista Apts. : 03-29-07			
Based on Drainage Design Criteria for City of Albuquerque Section 22.2. DPM, Vol 2, dated Jan., 1993			
ON-SITE			
AREA OF SITE:	294797 SF	=	6.8 Ac.
HISTORIC FLOWS:			
On-Site Historic Land Condition	Area a = 0 SF	On-Site Developed Land Condition	Area a = 0 SF
Area b = 147398 SF		Area b = 14740 SF	
Area c = 147398 SF		Area c = 44219 SF	
Area d = 0 SF		Area d = 235837 SF	
Total Area = 294797 SF		Total Area = 294797 SF	
DEVELOPED FLOWS:			
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	Weighted E =	EaAa + EbAb + EcAc + EdAd	
Historic E = 0.83 in.	Developed E = 1.76 in.		
ON-SITE VOLUME OF RUNOFF: V360 = E*A / 12			
Historic V360 = 20390 CF	Developed V360 = 43188 CF		
ON-SITE PEAK DISCHARGE RATE: Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43.560			
For Precipitation Zone 1			
Qpa = 1.29	Qpc = 2.87		
Qpb = 2.03	Qpd = 4.37		
Historic Qp = 16.6 CFS	Developed Qp = 27.3 CFS		

RETAINING WALLS

INTERNAL AND PERIMETER SITE RETAINING WALLS REQUIRED TO ACHIEVE PROPOSED GRADES WILL BE CONSTRUCTED WITH A MAXIMUM RETAINING OF 6'. CHANGES IN ELEVATION EXCEEDING 6' WILL REQUIRE TERRACING WITH A SECOND PARALLEL WALL LOCATED 6' (MIN.) FROM THE FIRST.

PERVIOUS PAVING CALCULATION

AREA #	DIMENSION	SQUARE FOOTAGE
A1	18'x81'	1,458
A2	20'x43'	860
A3	IRREGULAR (LESS ENTRY ISLAND) NET	3,676 (318)
	TOTAL	5,676 S.F.

NO RETAINING ALONG
NORTH PROPERTY
LINE

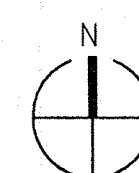
NO RETAINING ALONG
EAST PROPERTY LINE

RETAINING ALONG
SOUTH PROPERTY
LINE VARIES (0' TO 6')

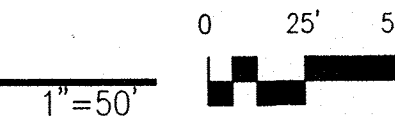
RETAINING ALONG
WEST PROPERTY LINE
VARIES (0' TO 11')

DIFFERENCE BETWEEN
UPPER IRVING BLVD.
GRADE AND LOWER
ON-SITE GRADE AT
PROPOSED RETAINING
WALL(S)

DIFFERENCE BETWEEN
UPPER ADJACENT
PROPERTY GRADE AND
LOWER ON-SITE
GRADE AT PROPOSED
RETAINING WALL(S)



PRELIMINARY GRADING PLAN



ZONE ATLAS MAP B-13



LEGEND

- 95 — EXISTING CONTOUR
- 78.3 — PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF 83.0** FINISH FLOOR ELEVATION
- — PROPOSED RETAINING WALL
- — STORM DRAIN / LINE
- BLDG. SHADING REFERENCES
CHANGES IN FF ELEVATION
- A1** PERVIOUS PAVING WITH AREA #

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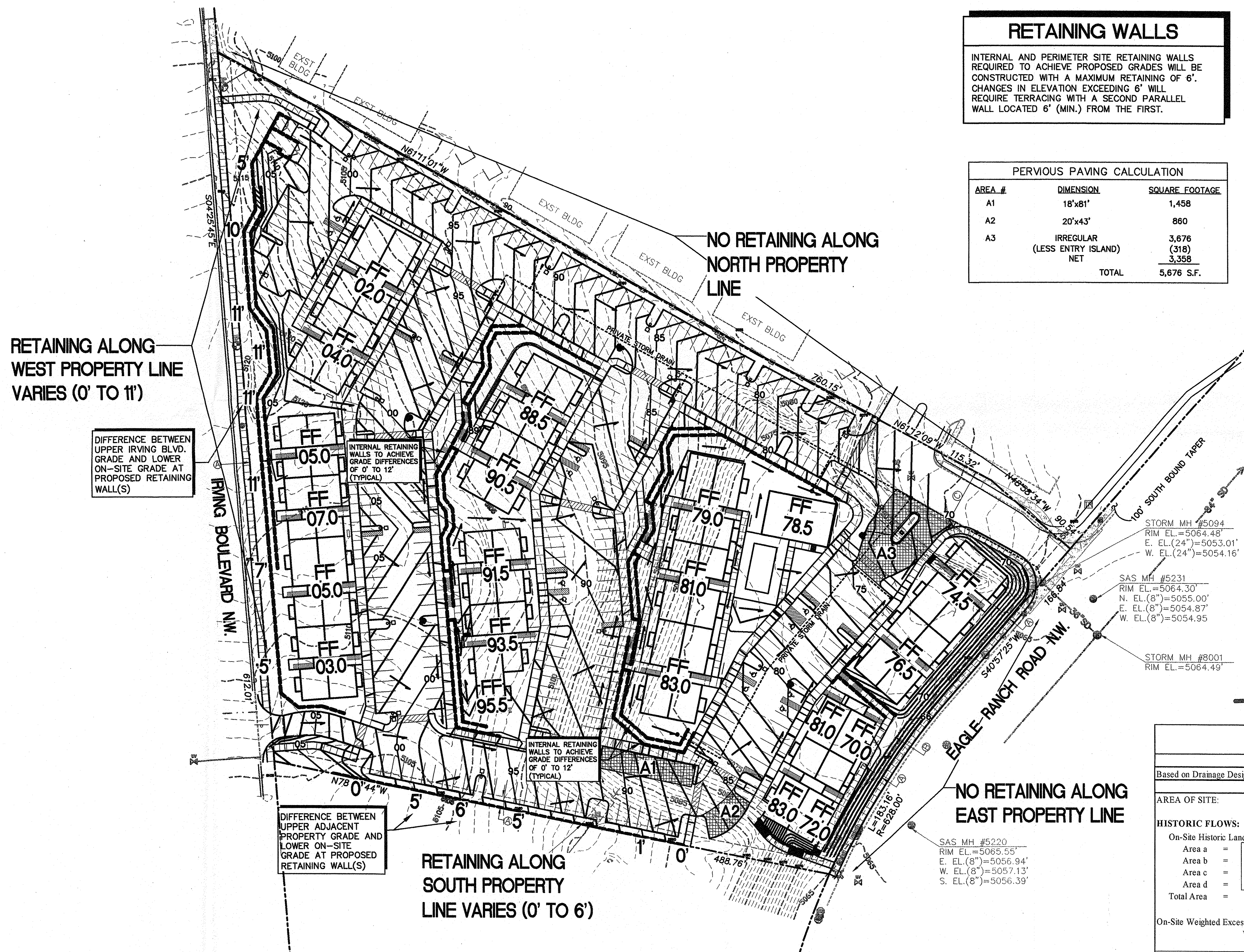
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RETAINING WALLS

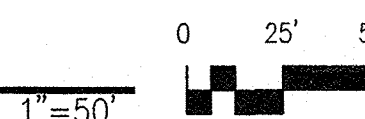
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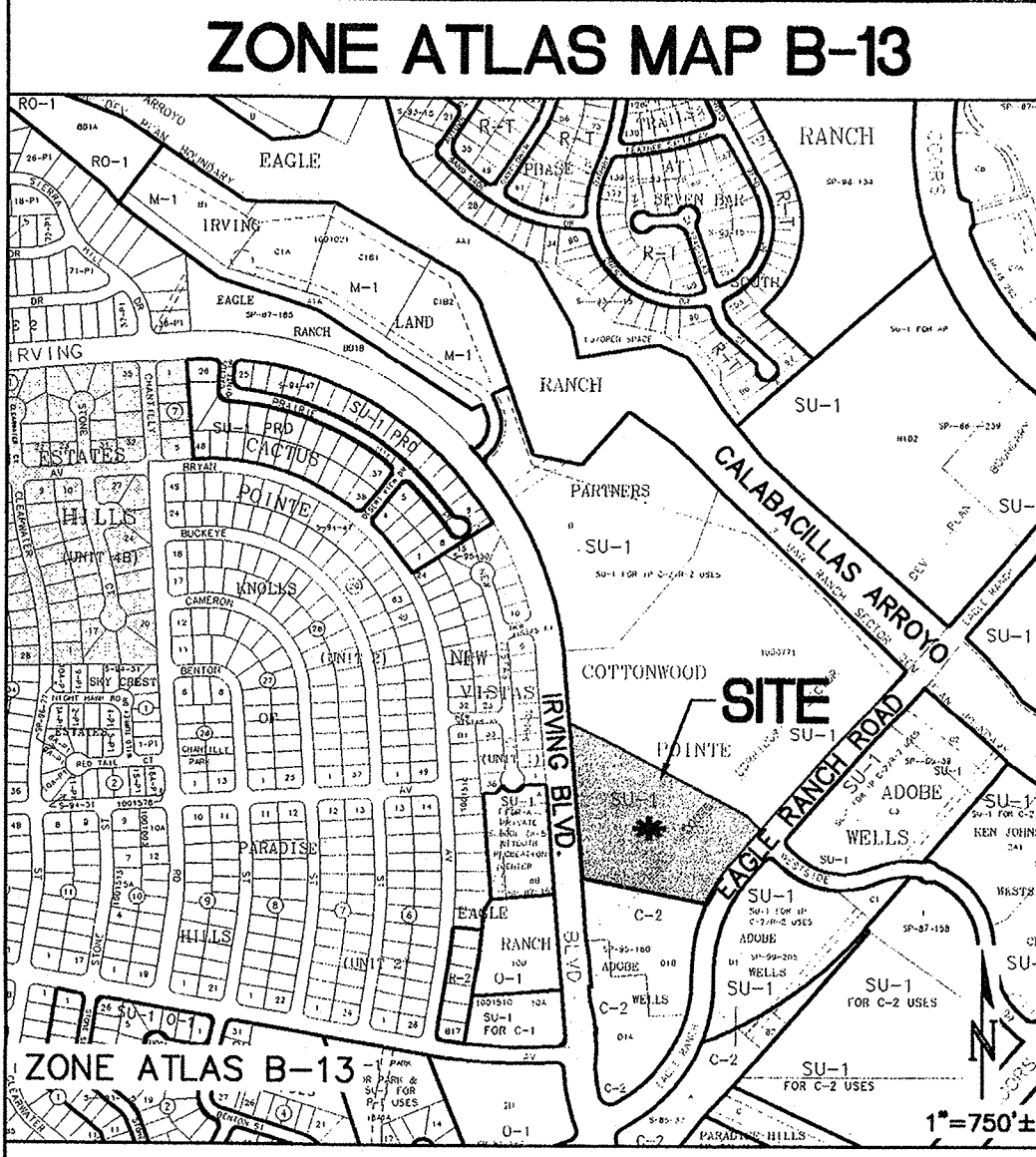


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	Area c =	147398 SF	
	Area d =	0 SF	
	Total Area =	294797 SF	
DEVELOPED FLOWS:			
On-Site Developed Land Condition	Area a =	0 SF	
	Area b =	14740 SF	
	Area c =	44219 SF	
	Area d =	235837 SF	
	Total Area =	294797 SF	
EXCESS PRECIP:			
Precip. Zone	Ea =	0.44	
	Eb =	0.67	
	Ec =	0.99	
	Ed =	1.97	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	EaAa + EbAb + EcAc + EdAd		
	Aa + Ab + Ac + Ad		
Historic E =	0.83 in.	Developed E =	1.76 in.
On-Site Volume of Runoff: V360 = E*A / 12			
Historic V360 =	20390 CF	Developed V360 =	43188 CF
On-Site Peak Discharge Rate: Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560			
For Precipitation Zone 1			
Qpa =	1.29	Qpc =	2.87
Qpb =	2.03	Qpd =	4.37
Historic Qp =	16.6 CFS	Developed Qp =	27.3 CFS



LEGEND

	WATER LINE W/ FITTING
	FIRE HYDRANT
	SAS MANHOLE
	CLEANOUT

- KEYED NOTES** ○
- A BUILDING FIRELINE
 - B FIRE HYDRANT
 - C BUILDING SEWERLINE

- EXISTING EASEMENTS** ○
- A 10' PUBLIC UTILITY EASEMENT (10-30-1987, VOL. C35, FOLIO 7)
 - B 10' PNM UNDERGROUND EASEMENT (07-27-1999, BK 9918, PG 7352)
 - C 50' PRIVATE ACCESS EASEMENT (03-13-2001, BK. 2881C, PG 77)

STORM MH #5094
RIM EL.=5064.48'
E. EL.(24")=5053.0
W. EL.(24")=5054.1

SAS #5231
RIM EL.=5064.30'
N. EL.(8")=5055.00'
E. EL.(8")=5054.87'
S. EL.(8")=5054.95

STORM MH #8001
RIM EL.=5064.49'

10' PNM EASEMENT
(11/27/00 - BK. A12, PG. 6614)

SAS MH #5220
RIM EL.=5065.55'
E. EL.(8")=5056.94'
W. EL.(8")=5057.13'
S. EL.(8")=5056.39'