

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 18, 2024

David McEachern  
RBA Architecture, PC  
1104 Park Ave SW  
Albuquerque, NM 87102  
[david@rba81.com](mailto:david@rba81.com)

**Re: Eagle Ranch Retail**  
**9641 Eagle Ranch Rd NW,**  
**Traffic Circulation Layout**  
Engineer's Stamp Dated 6-12-24 (B13D002C)

Dear Mr. McEachern,

The TCL submittal received 6-12-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



106.00 ROW  
IRVING BLVD N.W.

TRACT "B"  
COTTONWOOD POINTE  
VOL 2001C, FOLIO 77  
03-13-2001

TRACT "B"  
COTTONWOOD POINTE  
VOL 2001C, FOLIO 77  
03-13-2001

FUTURE PHASE III  
DEVELOPMENT

TRACT "C"  
COTTONWOOD POINTE  
VOL 2001C, FOLIO 77  
03-13-2001  
294,959 Sq. Feet  
6.771 Acres

#### KEYED NOTES

1. CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER CABQ STANDARDS 2415A, REF: DET. A8/AS-2.0.
2. MIN. 6" WIDE CONC. SIDEWALK, REF: SITE PLAN FOR ACTUAL WIDTH.
3. ASPHALT PAVING. GRADE SHOULD NOT EXCEED 8% AND MAJOR CIRCULATION SHOULD NOT EXCEED 5%.
4. 4" WIDE PAINTED STRIPE PER DETAIL A4/AS-2.0, TYP.
5. HANDICAP SYMBOL TYPICAL (6) PLACE REF: DETAIL A9/AS-2.0.
6. PAINTED BLUE STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1.B NMSA 1978), REF: DETAIL A4/AS-2.0.
7. STANDARD HANDICAP PARKING STALL PER DTL. A4/AS-2.0.
8. STANDARD HANDICAP VAN PARKING SPACE PER DTL. A4/AS-2.0.
9. ACCESSIBLE PARKING SIGNAGE PER DETAIL A5/AS-2.0.
10. MOTORCYCLE PARKING SPACES 4'x8" AND SIGNAGE PER DTL. A14/AS-2.0.
11. BIKE RACK FOR (6) BICYCLES, REF DETAIL A13 & A13A/AS-2.0.  
A. 30" TALL x 18" WIDE.  
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOTE ALLOWED
12. RETAINING WALL - SEE CIVIL
13. FIRE HYDRANT AS REQUIRED BY FIRE DEPT.
14. TEMPORARY DUMPSTER ON CONCRETE PAD. THERE IS A HILL ON THE SOUTHERN PROPERTY THAT THEY ARE GOING TO REMOVE, THEN WE WILL MOVE THE DUMPSTER BACK AND BUILD IT OUT FOR A DOUBLE DUMPSTER TO ACCOMMODATE THE FUTURE BUILDING.
15. PAINTED HANDICAP ACCESSIBLE ROUTE TO BUILDING PER CITY OF ABQ. REQUIREMENTS SEE DTL. A7/AS-2.0.
16. ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE (CABQ) STANDARDS 2443, REF: A4/AS-2.0.
17. CONC. WHEEL STOPS, TYP. REF: DETAIL A15/AS-2.0.
18. PAINTED "DO NOT ENTER" - WHITE ON PAVEMENT PER CABQ STANDARDS REF: DETAIL A19/AS-2.0.
19. "STOP" SIGNAGE AND PAINTED STOP STRIPE PER CABQ STANDARDS. G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" - 6'-0" HIGH A.F.F., TYP.
20. CONC. "ROLLED" CURB SEE DET A17/AS-2.0.
21. LIGHT POLE LOCATION. HEIGHT NOT TO EXCEED 20 FT, SEE DETAIL ON SHEET ES1.0.
22. ELECTRIC WALL PACK LIGHTING, REF: ELECTRICAL
23. END OF EXIST. SIDEWALK
24. EXIST. HANDICAP RAMP
25. EXIST. ASPHALT PAVED ACCESS DRIVE
26. NOT USED.
27. C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.  
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.  
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.  
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.  
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
28. CONC. SIDEWALK. WITH FINAL WITH FINAL PLAT, DHO APPROVED A WAIVER FOR SIDEWALK TO BE SET AT PROPERTY LINE WHICH WILL GIVE US 3 TO 4 FEET LS BUFFER BETWEEN EAGLE RANCH RD AND OUR PROPERTY LINE. DHO ALSO SUGGESTED A 4'x4' TREE WELL EVERY 25' ON NEW SIDEWALK.
29. STREET ADDRESS PER CABQ. REQUIREMENTS.  
CONTRACTOR TO VERIFY LOCATION WITH FIRE MARSHAL
30. FIRE LANE MARKED ON THIS SIDE
31. NEW CROSS WALK TO BE STRIPED PER CABQ. CODE STANDARDS
32. HANDICAP RAMP ACCESS W/TRUNCATED DOMES PER CITY OF ALBUQUERQUE (CABQ) STANDARDS 2443, REF: DETAIL A6/AS-2.0.
33. CLEAR SIGHT TRIANGLE STARTING AT BACK OF SIDEWALK, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS\*. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.  
"DO NOT ENTER" SIGN PER CABQ STANDARDS #2600-603, REF: DETAIL A16/AS-2.0
34. ELEC. TRANSFORMER - REF: ELECTRICAL PLAN AND CONTRACTOR TO COORDINATE W/PNM.
35. PAINTED "ONE-WAY" - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A19/AS-2.0.
36. "ONE WAY" SIGN PER CABQ STANDARD 2600-603, REF: DETAIL A17/AS-2.0.
37. PAINTED "COMPACT" - WHITE ON PAVEMENT PER CABQ STANDARDS.
38. NOT USED.
39. EXISTING STREETLIGHT.
40. CONC. SIDEWALK.
41. EXISTING ACCESSIBLE RAMP.
42. EXISTING SIDEWALK.
43. FUTURE SIDEWALK UNDER PHASE 3.
44. MENU BOARD.
45. ORDER BOARD.
46. MERGE SIGN FOR DRIVE-THRU STACKING, SEE DETAIL A.

#### TRAFFIC CIRCULATION LAYOUT APPROVED

Sertil A. Kawbar 7/16/2024

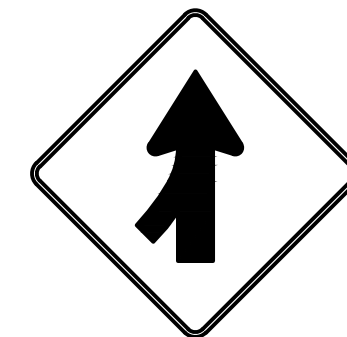
Signed Date

#### PARKING REQUIREMENTS:

BUILDING A REQUIRED:	TOTAL BUILDING SQ. FT.	= 7,200 S.F.
	RETAIL AREA	= 5,810/ 285.7 = 20.33
	RESTAURANT AREA	= 1,390/ 178.5 = 7.79
	TOTAL BUILDING A SPACES	= 28.12 (29) SPACES
	NMBC TABLE 1106.1 26-35 = 2 H.C. SPACES 2023 IDO TABLE 5-5-4 MOTORCYCLE = 26-50 = 2 SPACES	
TOTAL PARKING PROVIDED	= 29 TOTAL SPACES PROVIDED	
BICYCLE SPACES NON-RESIDENTIAL	= 10% OF TOTAL PROVIDED OFF STREET PARKING = 2.9 (3) BIKE SPACES	

#### LEGAL DESCRIPTION:

TRACT C PLAT OF TRACTS A, B & C COTTONWOOD  
POINTE BEING A REPLAT OF TRACTS E, F & G  
ADOBEE WELLS SUBDIVISION CONT 6.7675 AC



A SIGN DETAIL  
3/4"=1'-0"

#### GENERAL NOTES:

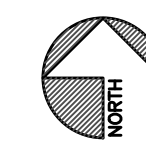
- A. ALL UNUSED CURB CUTS AS WELL AS BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, OR CURB AND GUTTER PER CABQ. STANDARD SECTION 2400 DETAILS FOR PAVING.

#### SITE DATA

SITE:	72,025 S.F.
BUILDINGS:	14,400 S.F. (20%)
PAVING:	36,859 S.F. (50%)
LANDSCAPE:	21,755 S.F. (30%)

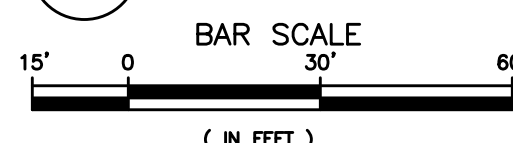
#### LEGEND

EXISTING SEWER LINE	---
NEW SEWER LINE	---
EXISTING WATER LINE	---
NEW WATER LINE	---
NEW GAS LINE	---



#### 1 SITE PLAN

1"=30'-0"



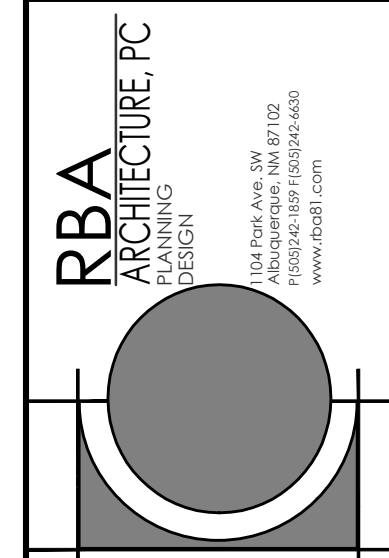
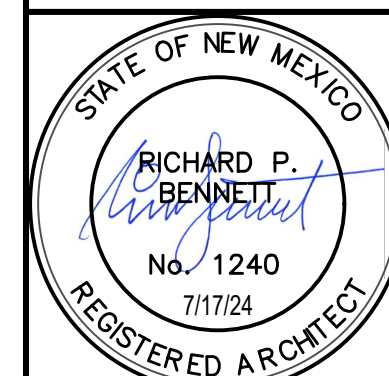
( IN FEET )

#### GENERAL NOTES:

- A. ALL UNUSED CURB CUTS AS WELL AS BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, OR CURB AND GUTTER PER CABQ. STANDARD SECTION 2400 DETAILS FOR PAVING.

EAGLE RANCH RETAIL  
TCL SITE PLAN - FOUNDATION ONLY  
9641 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NM 87114  
PROJECT #1620

REVISION DATE



DATE

07-17-2024

SHEET NUMBER

AS-1.0