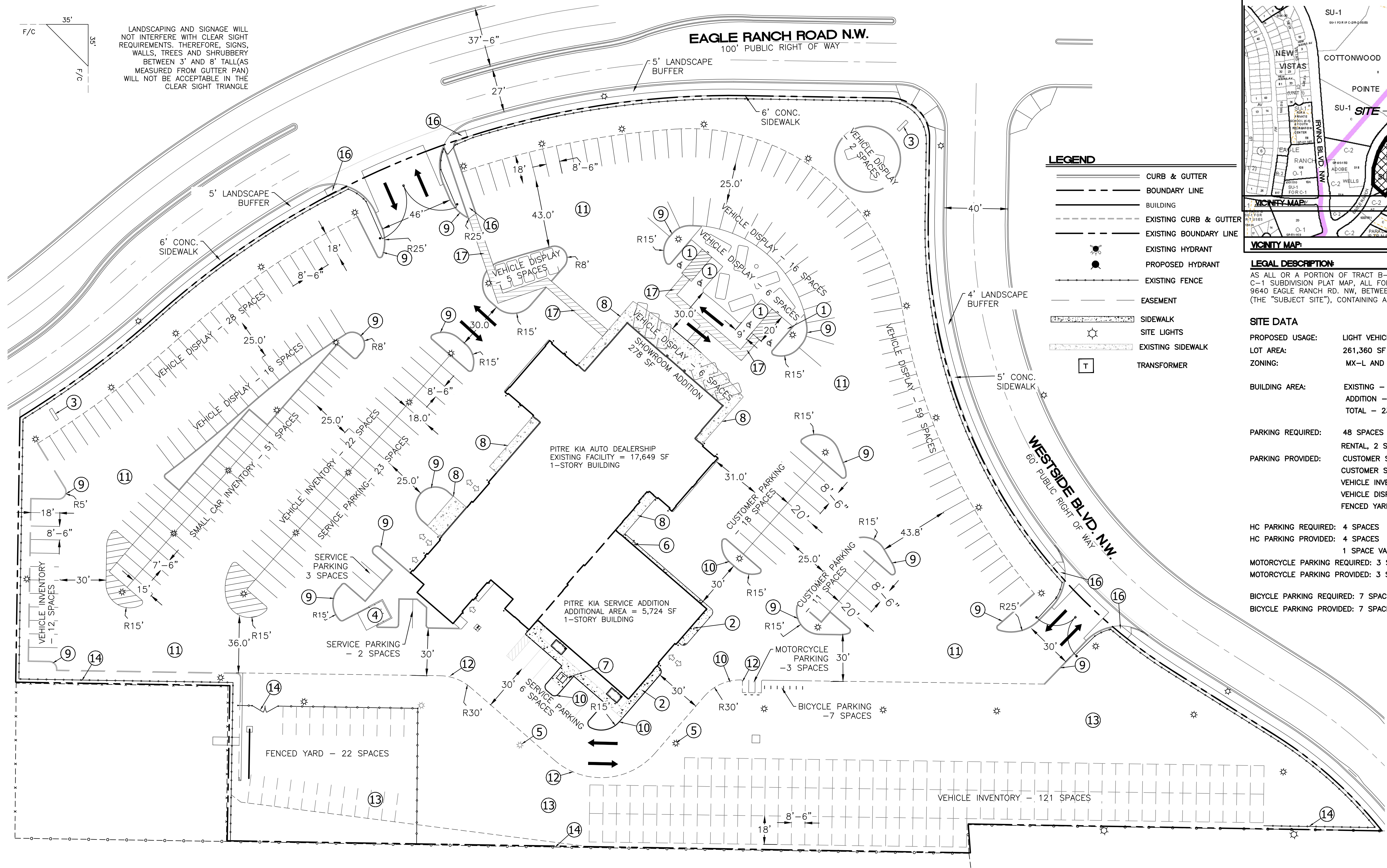


LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

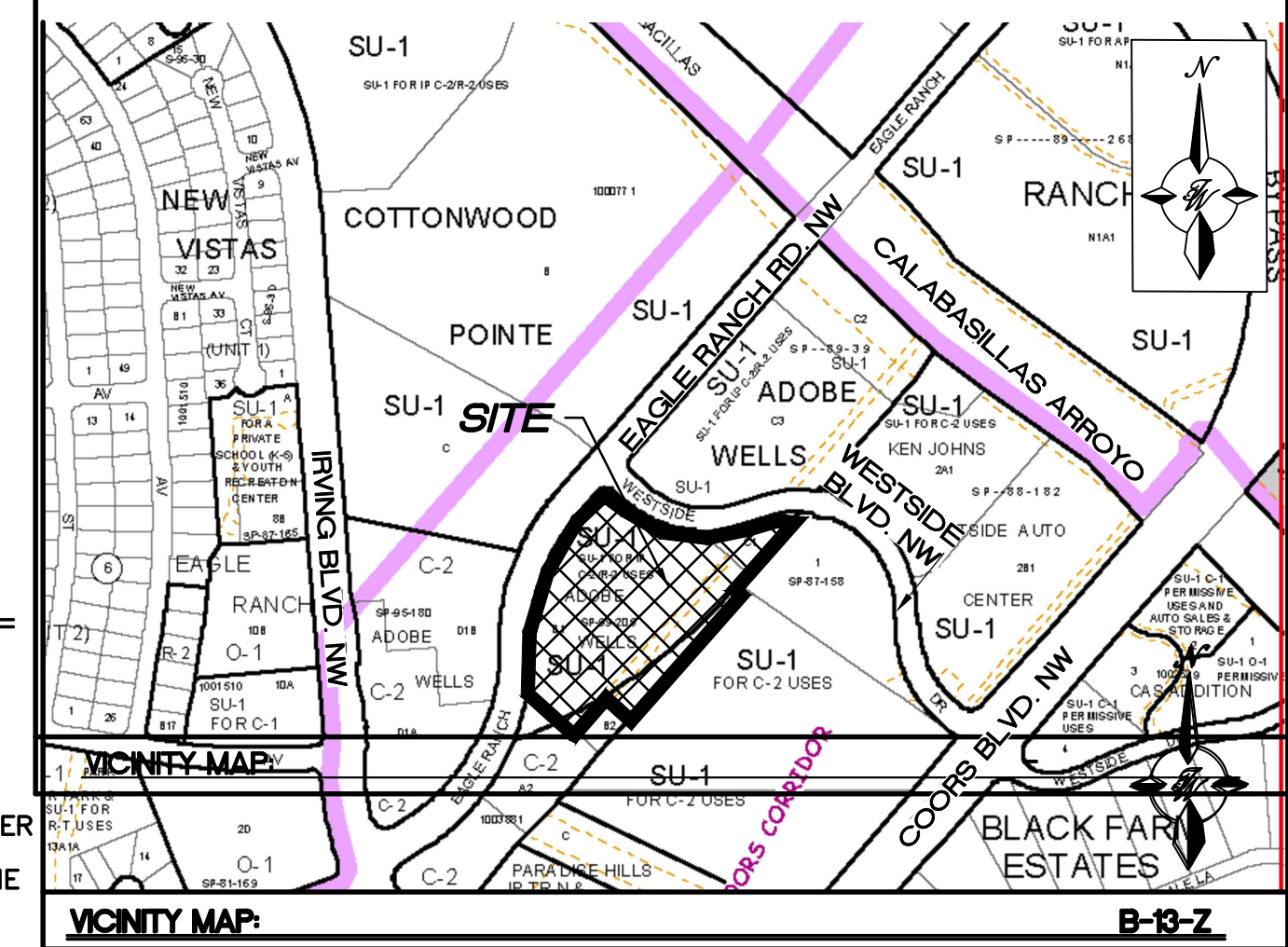


EAGLE RANCH ROAD N.W.
100' PUBLIC RIGHT OF WAY

WESTSIDE BLVD. N.W.
60' PUBLIC RIGHT OF WAY

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- ▭ BUILDING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ⊙ EXISTING HYDRANT
- ⊙ PROPOSED HYDRANT
- - - EXISTING FENCE
- - - EASEMENT
- ⊙ SIDEWALK
- ⊙ SITE LIGHTS
- ⊙ EXISTING SIDEWALK
- ⊙ TRANSFORMER



LEGAL DESCRIPTION:
AS ALL OR A PORTION OF TRACT B-1 PLAT OF TRACT B-1 AND B-2; AND TRACT C-1 SUBDIVISION PLAT MAP, ALL FOR ADOBE WELLS SUBDIVISION, LOCATED AT 9640 EAGLE RANCH RD. NW, BETWEEN IRVING BLVD. NW, AND WESTSIDE DR. NW, (THE "SUBJECT SITE"), CONTAINING APPROXIMATELY 6.3 ACRES.

SITE DATA

PROPOSED USAGE:	LIGHT VEHICLE SALES AND RENTAL
LOT AREA:	261,360 SF (6 ACRES)
ZONING:	MX-L AND NR-BP
BUILDING AREA:	EXISTING - 17,649 SF
	ADDITION - 6,002 SF
	TOTAL - 23,651 SF

PARKING REQUIRED: 48 SPACES (LIGHT VEHICLE SALES AND RENTAL, 2 SPACES/1000 GFA)

PARKING PROVIDED: CUSTOMER SALES PARKING= 33 SPACES
CUSTOMER SERVICING PARKING= 34 SPACES
VEHICLE INVENTORY= 206 SPACES
VEHICLE DISPLAY= 136 SPACES
FENCED YARD= 22 SPACES

HC PARKING REQUIRED: 4 SPACES
HC PARKING PROVIDED: 4 SPACES
1 SPACE VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED: 3 SPACES
MOTORCYCLE PARKING PROVIDED: 3 SPACES

BICYCLE PARKING REQUIRED: 7 SPACES (10% OF REQUIRED PARKING)
BICYCLE PARKING PROVIDED: 7 SPACES

SETBACKS:
FRONT 20' MINIMUM
SIDE 10' MINIMUM
BACK 10' MINIMUM

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL NOTES:

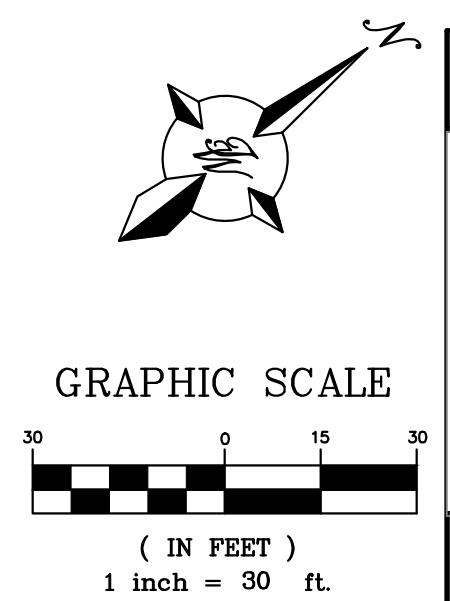
- ALL BROKEN SIDEWALK SHALL BE REMOVED AND REPLACED ALONG WITH IMPROVEMENTS

EXECUTIVE SUMMARY:

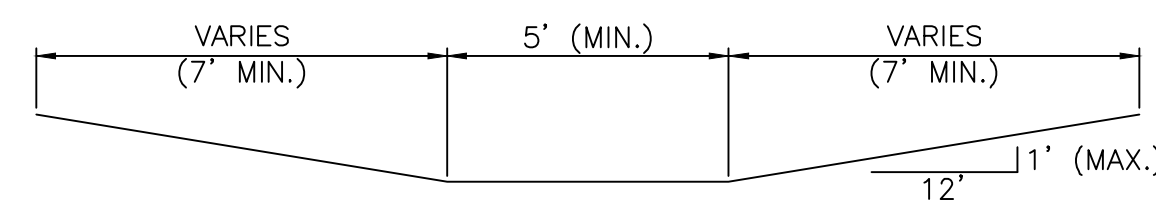
THE SITE IS LOCATED IN THE SE QUADRANT OF EAGLE RANCH ROAD AND WESTSIDE DRIVE IN NW ALBUQUERQUE NM. THE IMPROVEMENTS ON THE 6.0 ACRE PROPERTY (TWO TRACTS) INCLUDE THE EXPANSION OF THE PITRE KIA AUTO DEALERSHIP TO INCLUDE AN ADDITIONAL 5,700 SF BUILDING TO EXPAND ON THE EXISTING SERVICING OPERATIONS. IN ADDITION TO THIS BUILDING EXPANSION, THE PARKING LOT WILL BE MODIFIED TO FACILITATE AN ADDITIONAL DRIVE AISLE ALONGSIDE THE BUILDING EXPANSION AND ASSOCIATED PARKING MODIFICATIONS. FURTHERMORE THESE IMPROVEMENTS WILL INCORPORATE THE RELOCATION OF THE EXISTING GAS AND ELECTRICAL UTILITY CONNECTIONS FOR THE BUILDING. ALL OTHER EXISTING INFRASTRUCTURE WILL REMAIN AS IS. ACCESS TO THE SITE IS FROM TWO EXISTING ENTRANCES, ONE OFF OF EAGLE RANCH ROAD AND ONE OFF OF WESTSIDE BLVD.

KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. DET-1)
- NEW CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. DET-1)
- REMOVED AND REPLACED MONUMENT SIGN
- EXISTING DUMPSTER
- RELOCATED SITE LIGHT
- RELOCATED GAS METER
- RELOCATED ELECTRICAL TRANSFORMER
- EXISTING FLUSH CONCRETE SIDEWALK
- EXISTING CURB AND GUTTER
- NEW CURB AND GUTTER
- EXISTING ASPHALT PAVING
- NEW ASPHALT PAVING
- EXISTING DIRT/GRAVEL LOT
- EXISTING FENCING
- NEW ELECTRIC VEHICLE CHARGER
- EXISTING ACCESSIBLE RAMP TO BE UPGRADED/REHABILITATED
- 6' PEDESTRIAN ACCESS



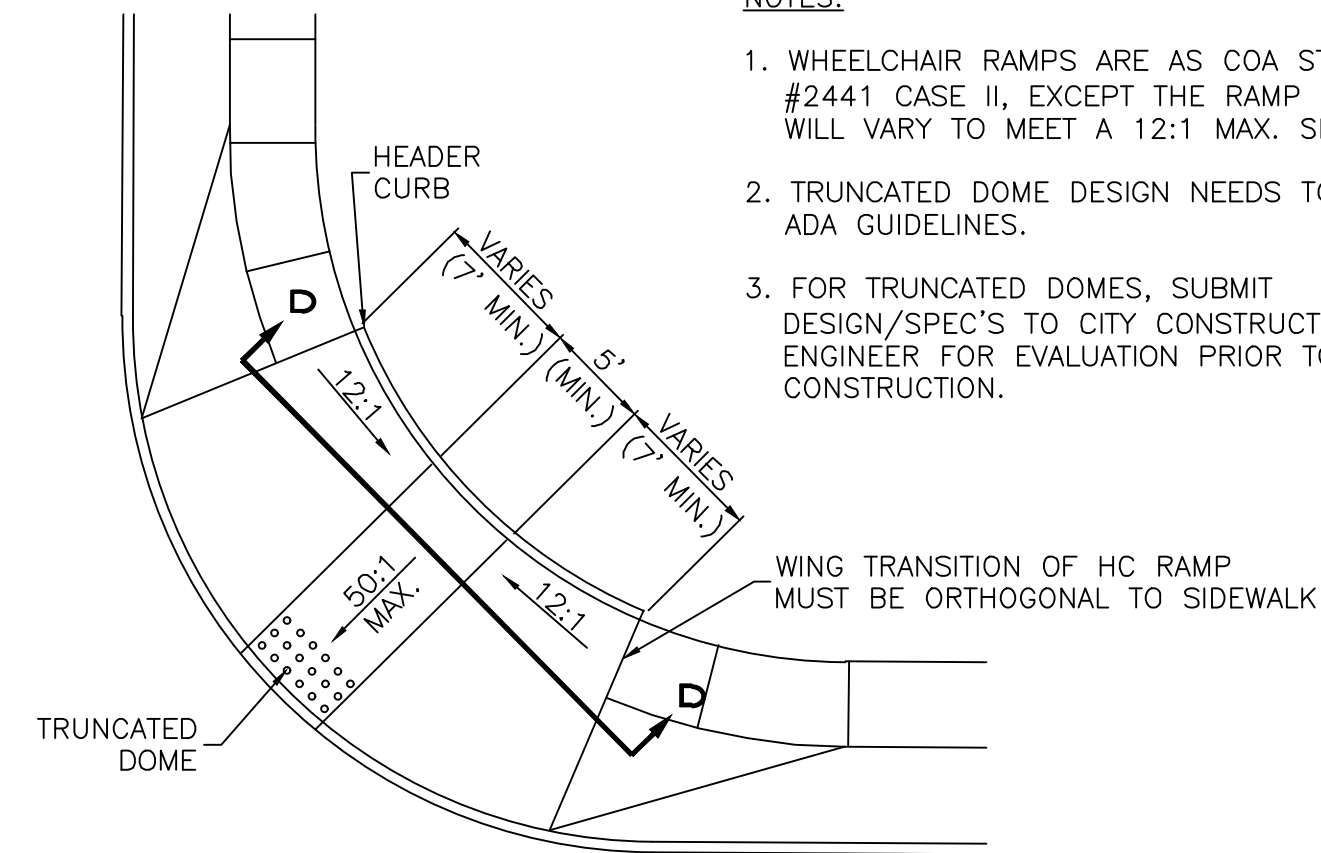
	KIA_WESTSIDE AUTO_DEALERSHIP	ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 06/18/25 RONALD R. BOHANNAN P.E. #7868	DRAWN BY MR DATE 06/18/2025
	FINAL TRAFFIC CIRCULATION PLAN	SHEET # TCL-1	JOB # 2024019



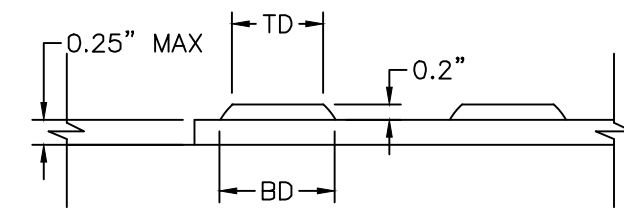
SECTION D-D
NTS

NOTES:

1. WHEELCHAIR RAMPS ARE AS COA STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 MAX. SLOPE.
2. TRUNCATED DOME DESIGN NEEDS TO FOLLOW ADA GUIDELINES.
3. FOR TRUNCATED DOMES, SUBMIT DESIGN/SPEC'S TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

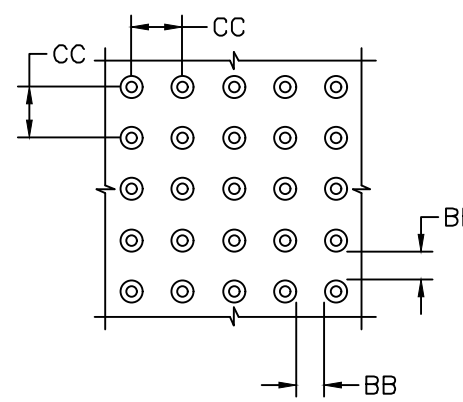


WHEELCHAIR RAMP DETAIL (TYP.)
NTS



DOME SECTION

BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

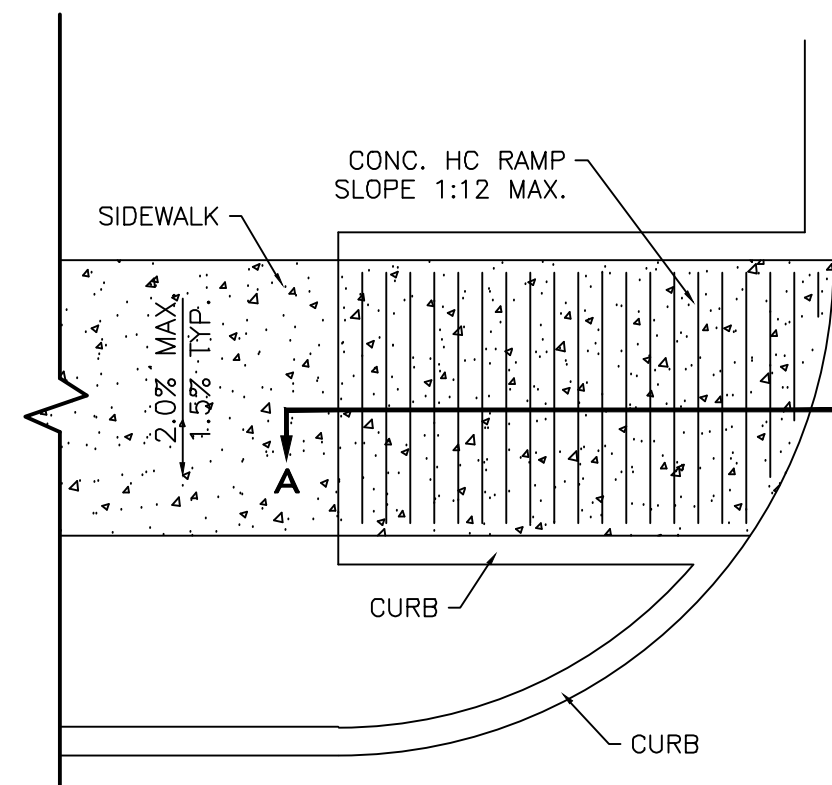


DOME SPACING

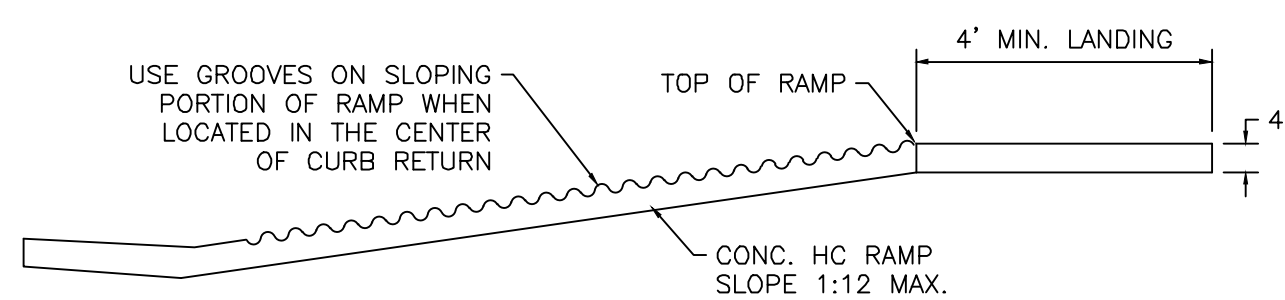
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



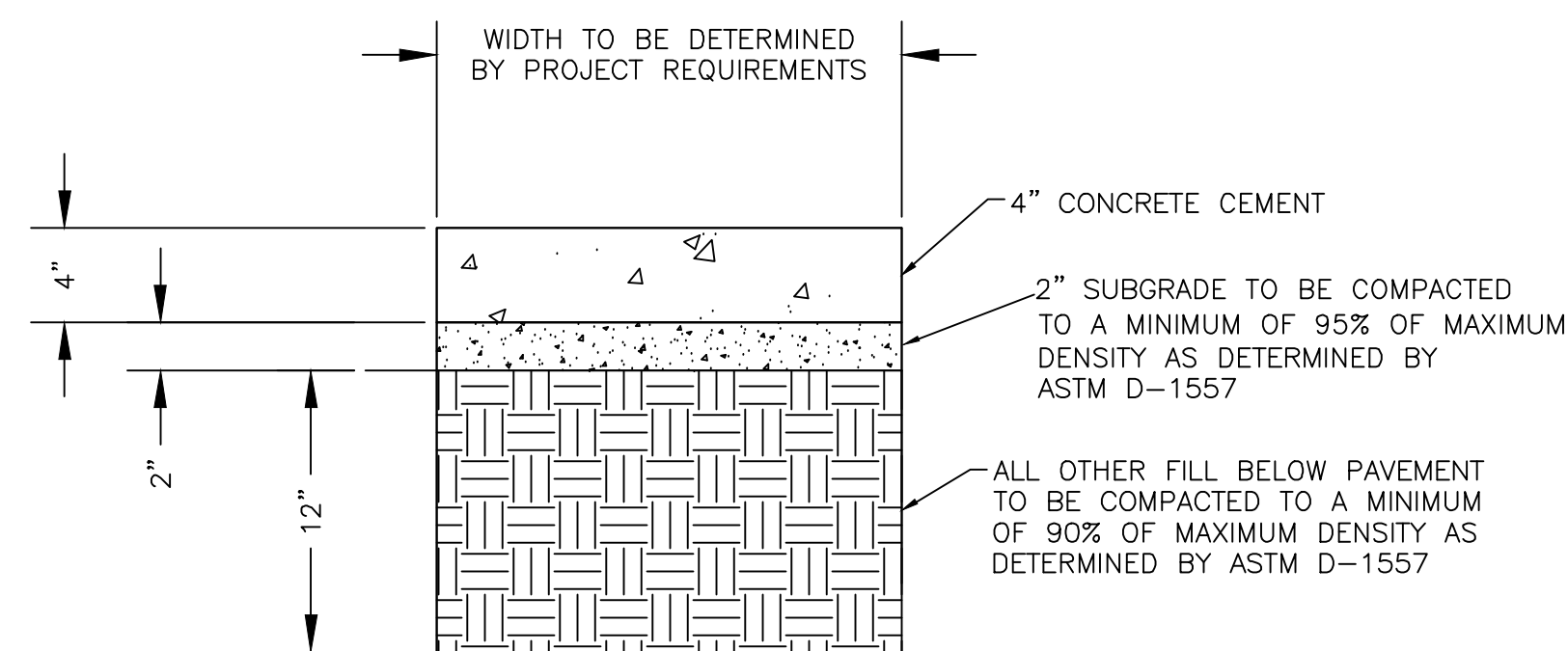
PLAN



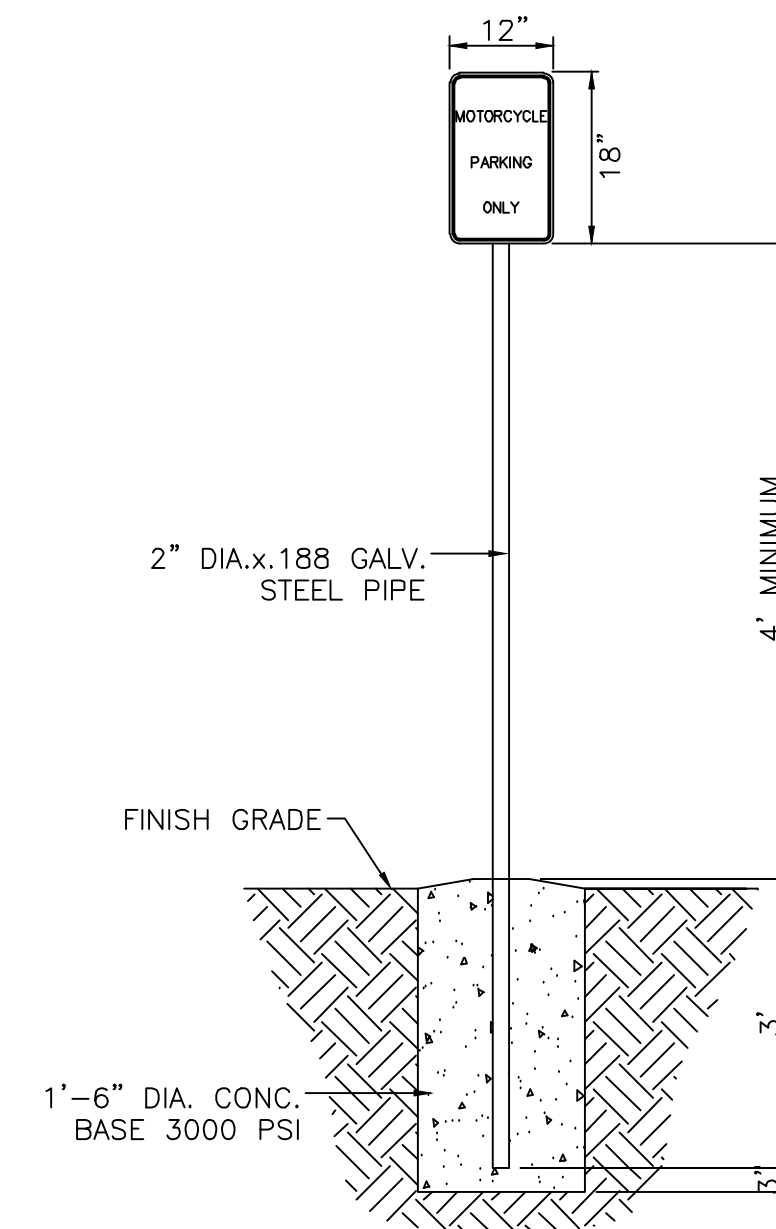
SECTION A-A

UNIDIRECTIONAL HC RAMP

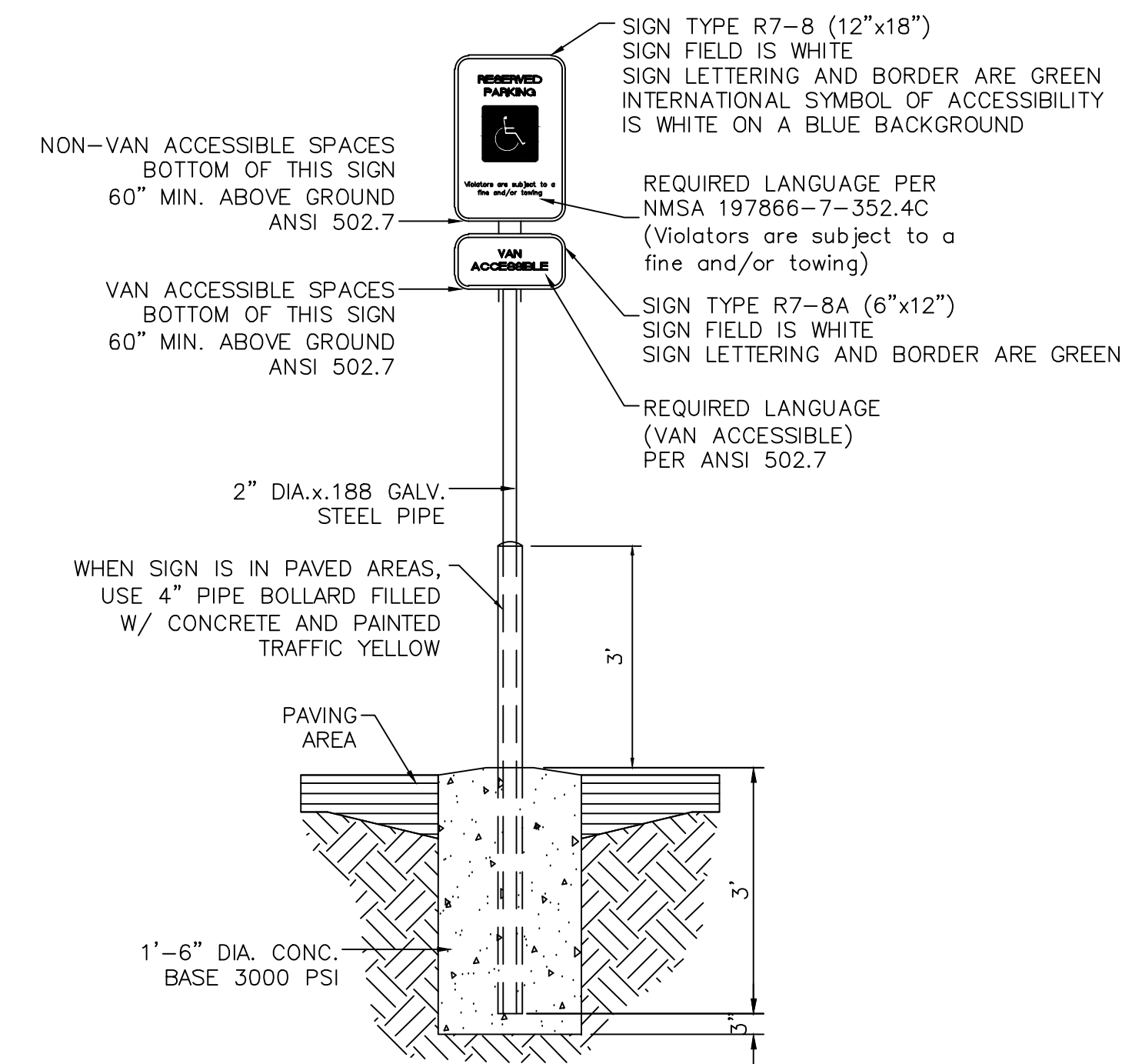
SCALE: NTS



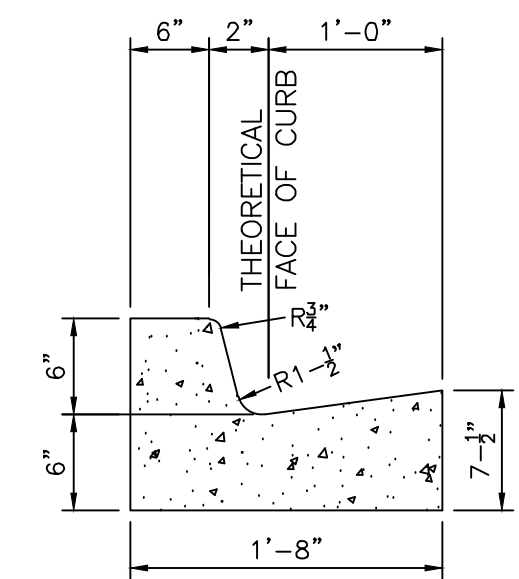
CONCRETE SIDEWALK SECTION



MOTORCYCLE PARKING SIGN
NTS



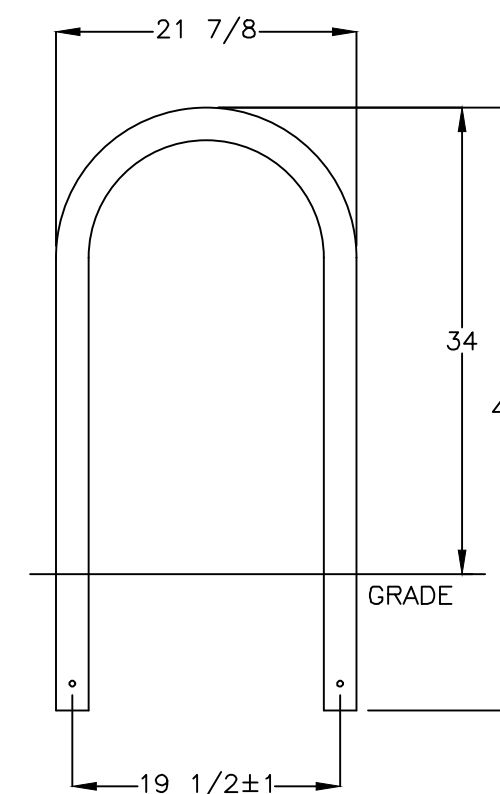
ACCESSIBLE PARKING SIGN
NTS



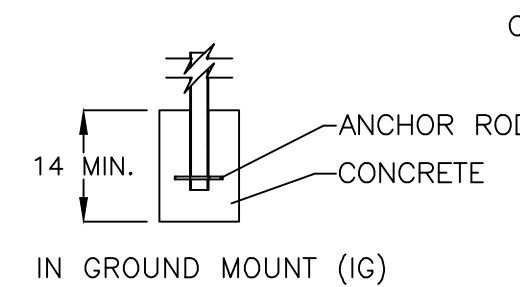
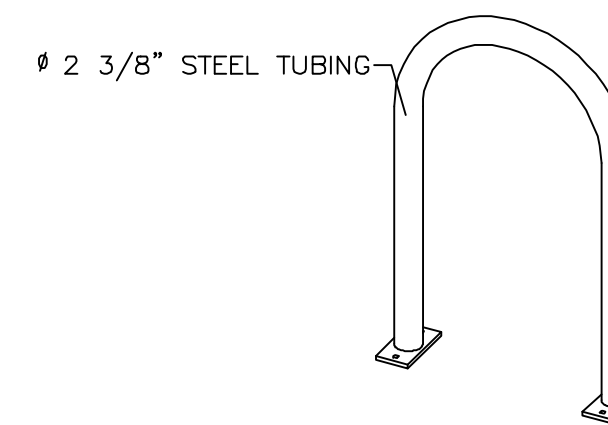
CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12" MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

6" PRIVATE CURB & GUTTER
NTS

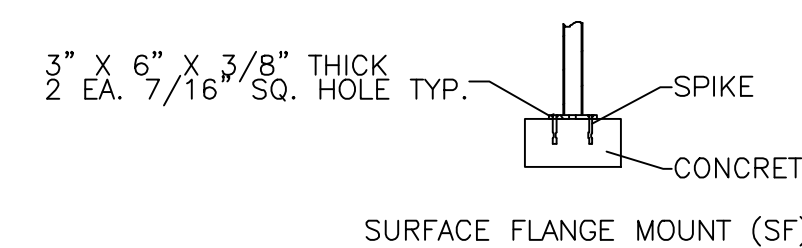


MADRAX DIVISION GRABER MANUFACTURING, INC. 1080 UNEX DRIVE WAUNAKEE, WI 53597 P(800) 448-7931, P(608) 849-1080, F(608) 849-1081 WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



PRODUCT: U238-IG(SF) DESCRIPTION: 'U' BIKE RACK 2 BIKE, SURFACE OR IN GROUND MOUNT DATE: 10-4-18 ENG: SMC

CHECK DESIRED MOUNT



- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

U-BIKE RACK

	KIA WESTSIDE AUTO DEALERSHIP	DRAWN BY RMG
	CONSTRUCTION DETAILS	DATE 11/06/2024
11/06/2024 RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2024019_DET SHEET # DET-1 JOB # 2024019