CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



March 2, 2023

Hal P. Grubb, P.E. Barghausen Consulting Engineers, Inc. 18215 72nd Avenue South Kent, WA 98032

RE: Costco – Coors Bypass Grading & Drainage Plans

Engineer's Stamp Date: 03/02/23

Hydrology File: B13D003

Dear Mr. Grubb:

Based upon the information provided in your submittal received 01/06/2023, the Grading & Drainage Plans are approved for Building Permit and for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Renée C. Brissette

Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Costco Fuel Expansion Build	ing Permit #Hydrology File #	:	
DRB#	EPC#		
Legal Description:	City Address OR Parcel 9955 Coors By	pass Blvd	
Applicant/Agent: Barghausen Consulting Engineers Inc.	Contact: _ Erin Raya		
Address: 18215 72nd Avenue South Kent, WA 98032	Phone: (425) 251- 6222		
Email: eraya@barghausen.com			
Applicant/Owner: Costco Wholesale	Contact: Erin Raya		
Address: 999 Lake Drive Issaquah, WA 98027	Phone: (425) 251- 6222		
Email: eraya@barghausen.com			
TYPE OF DEVELOPMENT:PLAT (#of lots) _ RE-SUBMITTAL:x _YESNO	_RESIDENCE <u>×</u> DRB SITE ADMIN S	SITE:	
DEPARTMENT: TRANSPORTATION Check all that apply:	HYDROLOGY/DRAINAGE		
TYPE OF SUBMITTAL:	PE OF APPROVAL/ACCEPTANCE SO	OUGHT:	
ENGINEER/ARCHITECT CERTIFICATION	BUILDING PERMIT APPROVAL		
PAD CERTIFICATION	CERTIFICATE OF OCCUPANCY		
X CONCEPTUAL G&D PLAN	CONCEPTUAL TCL DRB APPROV	AL	
GRADING PLAN	PRELIMINARY PLAT APPROVAL		
X DRAINAGE REPORT	SITE PLAN FOR SUB'D APPROVAL		
DRAINAGE MASTER PLAN	SITE PLAN FOR BLDG PERMIT AF	PROVAL	
FLOOD PLAN DEVELOPMENT PERMIT APP.	FINAL PLAT APPROVAL		
ELEVATION CERTIFICATE	SIA/RELEASE OF FINANCIAL GUA		
CLOMR/LOMR	FOUNDATION PERMIT APPROVA	L	
TRAFFIC CIRCULATION LAYOUT (TCL)	GRADING PERMIT APPROVAL		
ADMINISTRATIVE	SO-19 APPROVAL		
TRAFFIC CIRCULATION LAYOUT FOR DRB	PAVING PERMIT APPROVAL		
APPROVAL	GRADING PAD CERTIFICATION		
TRAFFIC IMPACT STUDY (TIS)	WORK ORDER APPROVAL		
STREET LIGHT LAYOUT	CLOMR/LOMR		
OTHER (SPECIFY)	FLOOD PLAN DEVELOPMENT PE	RMIT	
PRE-DESIGN MEETING?	OTHER (SPECIFY)		
DATE SURMITTED: January 4, 2023			



PRELIMINARY DRAINAGE REPORT

Costco Loc. 1016 - Fuel Facility Expansion

9955 Coors Boulevard Bypass N.W. Albuquerque, NM 87114

Prepared for: Costco Wholesale 999 Lake Drive Issaquah, WA 98027

> April 28, 2022 Our Job No. 12735

TABLE OF CONTENTS

- 1.0 EXECUTIVE SUMMARY
- 2.0 INTRODUCTION
- 3.0 PROJECT DESCRIPTION
- 4.0 EXISTING CONDITIONS
- 5.0 DEVELOPED CONDITIONS

APPENDICES

APPENDIX A	VICINITY MAP
APPENDIX B	EXISTING CONDITIONS EXHIBIT
APPENDIX C	DEVELOPED CONDITIONS EXHIBIT
APPENDIX D	SITE RECORD DRAWINGS BY BOHANNAN AND HUSTON, INC. DATED AUGUST 17, 2007

1.0 EXECUTIVE SUMMARY

The proposed Costco Fuel Facility Expansion is located at 9955 Coors Bypass Boulevard Northwest, within a portion of Section 7, Township 11 North, Range 3 East, City of Albuquerque, Bernalillo County, New Mexico.

The project proposes to expand the existing Fuel Facility from the northwest portion of the site to the southeast portion of the site with four (4) new island dispensers. The site is currently developed with a full range of utilities on site. The project proposes to route runoff to existing and flow control devices and provide water quality treatment device to meet the treatment criteria set forth in the 2020 Development Process Manual (DPM) for City of Albuquerque.

The proposed Costco Fuel Facility Expansion will be constructed in the southwest portion of the site and will be designed to match existing paving grades and drainage design as closely as possible. Proposed conditions are further described in Appendix C.

Stormwater Quality is required for projects, per the 2020 Development Process Manual (DPM) for City of Albuquerque. The existing site provided by an existing water quality manhole unit is located offline prior to the offsite discharge to the existing Arroyo De Las Calabacillas that provided stormwater quantity control.

Flow control is currently provided with and existing Arroyo. The existing flow control for the site is provided by offsite discharge to the existing Arroyo De Las Calabacillas with a flow control manhole.

The project is matching or improving the existing volume and flow discharge and is not anticipated to negatively impact downstream capacity or flows.

2.0 INTRODUCTION

The project proposes to expand the existing Fuel Facility from the northwest portion of the site to the southeast portion of the site with four (4) new island dispensers. The site is currently developed with a full range of utilities on site. The project proposes to route runoff to existing and flow control devices and provide water quality treatment device to meet the treatment criteria and flow control provided by a flow control structure that outlet to Arroyo De Las Calabacillas set forth in the 2020 Development Process Manual (DPM) for City of Albuquerque.

3.0 PROJECT DESCRIPTION

The site (AKA subject property) consists of two (2) tracts 4B and 4C (UPC: 101306539323310110), 16.30 acres in total. The proposed development will be limited to approximately 14.10 acres property. The site legal description is "TR N-1B-3-C PLA OF TRACTS N-1-B-2-A, N-1-B-2-B & N-1-B-2-CSEVEN-BAR-RANCH CONT 14.1045 ACRES." Please see Appendix A, Vicinity Map for a graphical depiction of the exact site location.

The site is located outside of a flood hazard area within Zone X on FEMA Flood Insurance Rate Map (FIRM) number 35001C0108G dated September 26, 2008. Existing conditions are further described in Appendix B.

4.0 BACKROUND DOCUMENTS

The project was previously developed in 2007 including the Warehouse, Fuel Facility and associated parking lot.

The previous drainage plans for the Costco Property is included in Appendix E of this report.

5.0 EXISTING CONDITIONS

The entire property is currently developed with asphalt paving, parking, landscaping, and an existing Costco Warehouse and Fuel Facility.

The site generally slopes downward from the northeast property boundary towards the southeast of the site and contains slopes ranging from 2 to 5 percent.

The onsite runoff collects in catch basins and flow to the southeast corner of the site to an offline water quality manhole and flow control manhole the outlets to Arroyo De Las Calabacillas flow channel.

There are no known existing drainage problems with the onsite drainage system or the public system immediately downstream of the project site.

Please refer to Appendix B – Existing Conditions Exhibit for additional information.

TABLE 3.1 Storm Drainage – Project Area Existing Condition			
Pervious Area (SF)	Impervious Area (SF)	Total Area (SF)	Total Area (AC)
1,618	7,782	9,400	0.22

6.0 DEVELOPED CONDITIONS

The project proposes the demolition of the existing parking and appurtenances. The fuel facility expansion will consist of four (4) MPD's, an extended fuel canopy, and the relocation of associated utilities. Other Site improvements will include paved concrete, asphalt parking, maneuvering areas, concrete curbs, sidewalk, and landscaped areas.

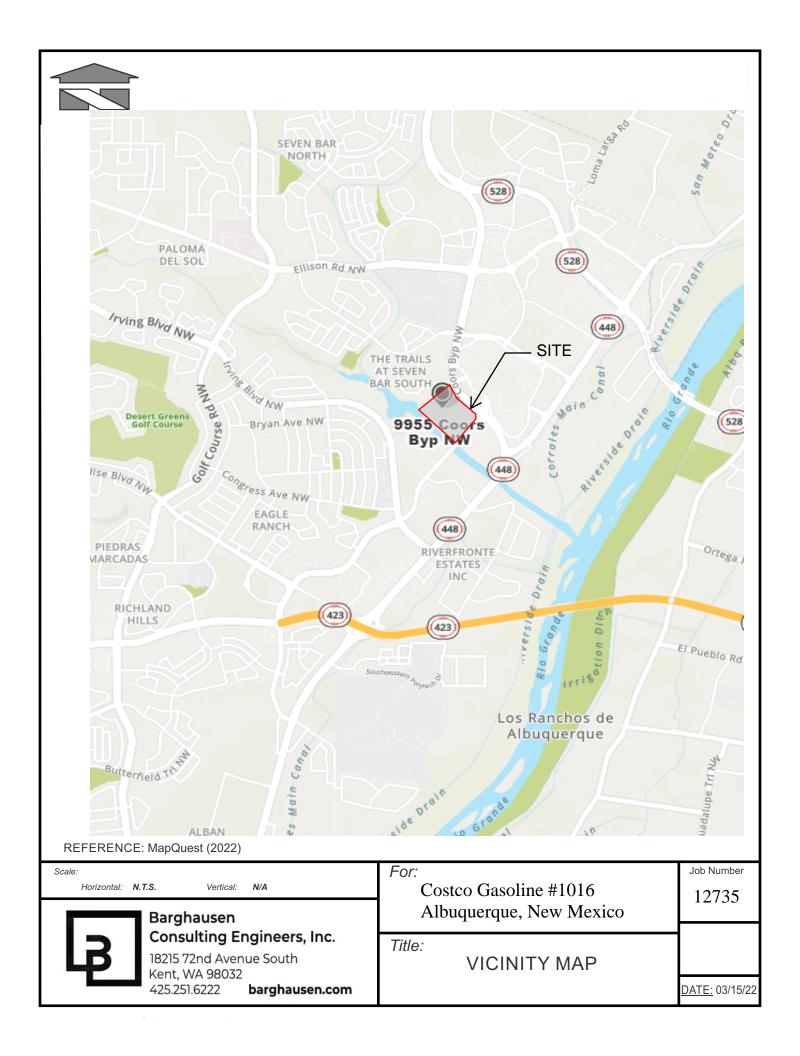
Stormwater will be captured on-site with existing and proposed catch basins. The new fuel facility is proposed to match the existing drainage pattern to extent as feasible. The project proposes to route runoff to existing and flow control devices and provide water quality treatment device to meet the treatment criteria.

The area under the fueling canopy will be hydraulically isolated in accordance with Section 6-12(D)(3) of the DPM. A concrete swale will be constructed along the lower west edge of the fueling area to intercept and convey the runoff to a hydraulically separated storm drain inlet. The runoff will then be directed to an oil/water separator with an emergency shutoff valve and then discharge into the existing storm system.

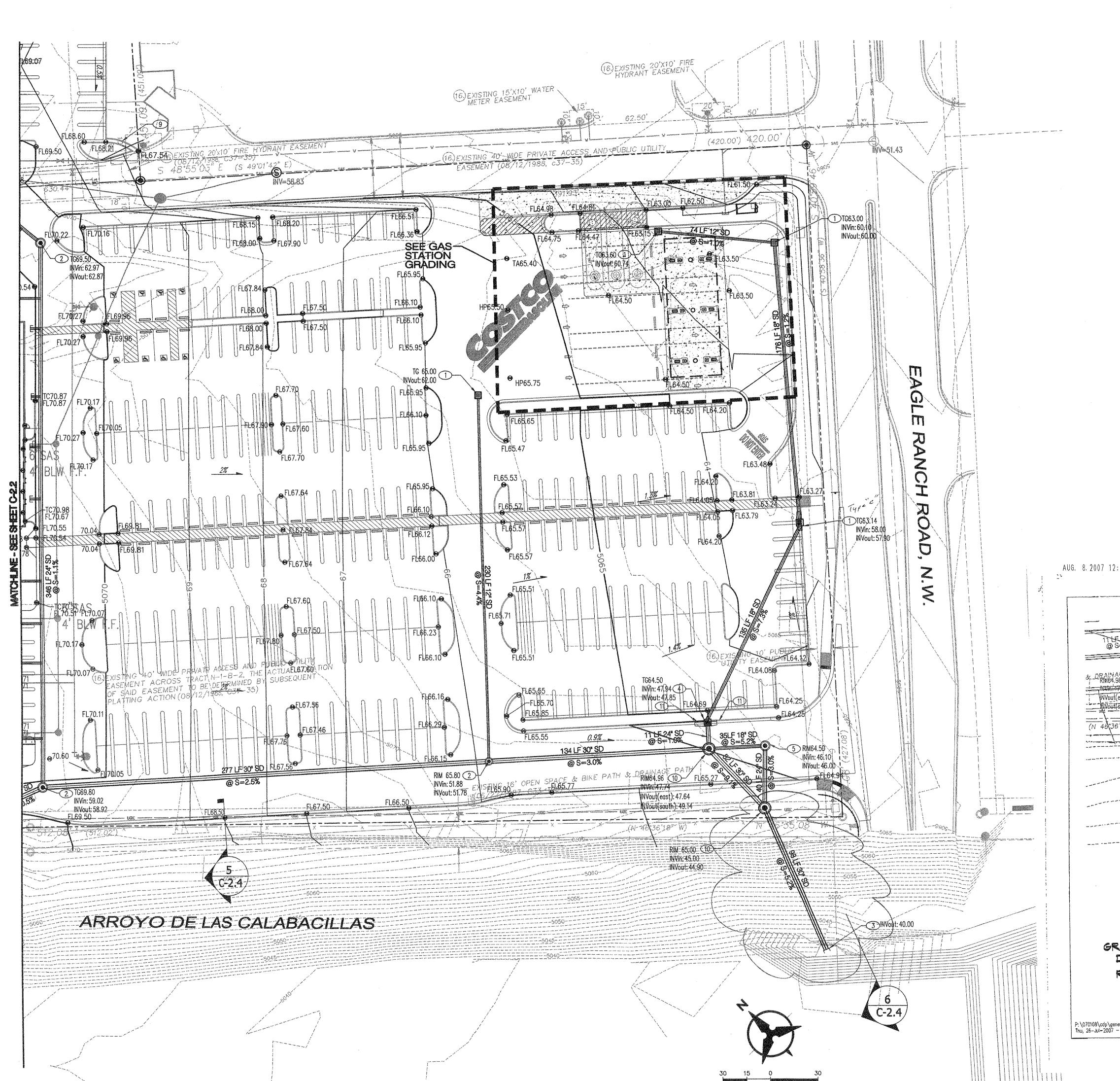
Table 4.1				
Storm Drainage – Proposed Condition				
Pervious Area (SF)	Impervious Area (SF)	Total Area (SF)	Total Area (AC)	
0	9,400	9,400	0.22	

Please refer to Appendix C – Developed Conditions Exhibit

Appendix A Vicinity Map



Appendix B Existing Conditions Exhibit



KEYED NOTES

1. INSTALL STORM DRAIN INLET TYPE "SINGLE D", PER COA STD DWG 2206; OR NYOPLAST ROAD AND HIGHWAY DRAINAGE INLET STRUCTURE W/ 2'X3' STEEL BAR GRATE (261.2 SQ. IN. APPROXIMATE DRAIN AREA) H-25 RATED GRATE (OR APPROVED EQUAL).

2. INSTALL 4' DIA TYPE "E" SD MANHOLE PER COA STD DWG 2101

3. DAYLIGHT STORM DRAIN W/ EROSION PROTECTION AND STORM

4. INSTALL TYPE "C" INLET PER COA STD DWG 2205

TYPE "E" MANHOLE DETAIL ON SHEET C-2.4.

6. INSTALL 6' DIA TYPE "E" SD MANHOLE PER COA STD DWG 2101.

7. FUTURE STORM DRAIN.

10. INSTALL 8' DIA TYPE "C" SD MANHOLE PER COA STD DWG 2101.

11. 5' TRANSITION FROM MEDIAN CURB TO STD. CURB.

12. INSTALL 12" WIDE SIDEWALK CULVERT AND & CONCRETE RIBBON CHANNEL PER COA STD DWG 2276.

14. INSTALL 18" SD PLUG.

PROPERTY LINE

PROPOSED SPOT ELEVATION TC=TOP OF CURB, FL=FLOW LINE TA=TOP OF ASPHALT, HP=HIGH POINT EX=EXISTING, TG=TOP OF GRADE FGL=FINISH GROUND LOW SIDE OF RETAINING WAL

TOSL=TOP OF SLOPE WATER BLOCK

WATER QUALITY TREATMENT AS REQUIRED BY AMAFCA

5. INSTALL WATER QUALITY MANHOLE, SEE MODIFIED "SNOUT" 6' DIA

8. FUTURE STORM DRAIN INLET.

9. INSTALL 18" WIDE CONC RIBBON CHANNEL PER COA STD DWG 2236 OMIT CHECKED STELL PLATE.

13. INSTALL 12" SD PLUG.

<u>LEGEND</u>

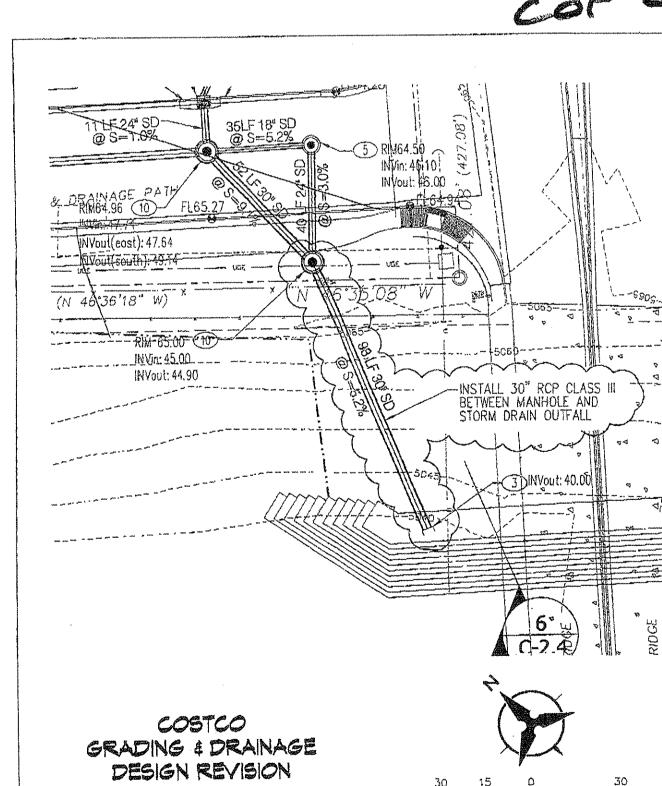
EXISTING CONTOURS χ 5301.15 Existing ground spot elevation

FGH=FINISH GRADE HIGH SIDE OF RETAINING WALL

PROPOSED DIRECTION OF FLOW PROPOSED INTER CONTOURS PROPOSED CURB & GUTTER

PROPOSED STORM DRAIN INLET

AUG. 8. 2007 12:21PM 5036455357



ref sheet C-2.3 7/26/07

02.08.07 ISSUE FOR PERMIT 03.01.07 ISSUE FOR BID

> 05-0374-01 PM: GLENN BROUGHTON DRAWN: RA FEBRUARY 08, 2007

> > GRADING &

DRAINAGE PLAN

DATE DESCRIPTION

Bohannan A Austone

C-2.3

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

P: \070108\cdp\general\070108gp04.dwg Mon, 21-May-2007 - 10:24:am, Plotted by: RARMIJO

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ALBUQUERQUE III

SWC OF COORS BLVD BYPASS

AND EAGLE RANCH RD

COSTCO

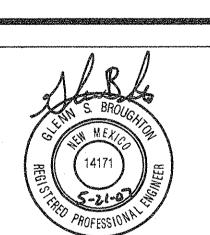
WHOLESALE

CORPORATION

999 LAKE DRIVE ISSAQUAH, WA 98027

T: 425.313.8100

www.costco.com



Appendix C Developed Conditions

CONCEPTUAL GRADING AND UTILITY EXHIBIT COSTCO WHOLESALE FUEL EXPANSION 9955 COORS BYPASS BLVD NW ALBUQUERQUE, NM 87114 COSTCO WAREHOUSE #1016 SCALE: 1"=20' EX. ADDITIVE TANK TO REMAIN REMOVE AND REPLACE SUMP LIDS WITH PAVEMENT REPLACEMENT AT NEAREST JOINTS. MATCH EX. GRADES FOR PAVEMENT REPLACEMENT EX. VENT RISER TO REMAIN ÆEX. SD CATCH — ÆX. USTs BASIN TO REMAIN REMAIN WITH A REMAIN (TYP.) SLURRY SEAL COAT - PROP. ADA EX. CURB AND GUTTER EX. PAVEMENT TO TO BE REMOVED - EX. CONTROLLER ENCLOSURE TO EX. SS CATCH BASIN TO REMAIN EX. CANOPY OVERHANG TO REMAIN EX. MPDS -TO REMAIN EX. CROSSWALK BE REMOVED VALVE TO REMAIN TO REMAIN EX. CURB TO BE REMOVED EX. FUEL MATCH EX. GRADES FOR -BE REMOVED CANORY PAVEMENT REPLACEMENT SEPARATOR TO EX. DETECTABLE WARNING 5068.5± ME (TYP.) EX. SD CATCH -SURFACE TO REMAIN REMAIN WITH A SLURRY SEAL COAT BASIN TO REMAIN EX. WHEEL STOPS TO EX. TREE BE REMOVED (TYP.) TO REMAIN EX. CURB AND — EX. TRANSFORMER GUTTER TO REMAIN, TO REMAIN PAVEMENT MARKING PROP. CONCRETE 1 PAVEMENT BOLLARDS TO EX. PARKING TO BE REMOVED REMAIN (TYP.) EX. WHEEL STOPS TO REMAIN (TYP.) PROP. ASPHALT PAVEMENT TO BE REMOVED PROPOSED RAISED CONCRETE SIDEWALK -BE REMOVED PROPOSED CURB AND GUTTER -PROP. CANOPY OVERHANG EX. WHEEL STOPS TO BE REPLACED (TYP.) CONCRETE SWALE PROP. CB W/SOLID LID EX. TREE TO REMAIN (TYP.) EX. PARKING TO BE RESTRIPED (TYP.) EX. CURB TO BE REMOVED -- EX. SIGN EX. WHEEL STOPS TO -BE REINSTALLED (TYP.) W/SOLID LID 5066.4± ME BE REMOVED COMPLIANT ESO RESTRIPED AT MIN 6' WIDE EX. SD CATCH — BASIN TO REMAIN REMAIN (TYP.)

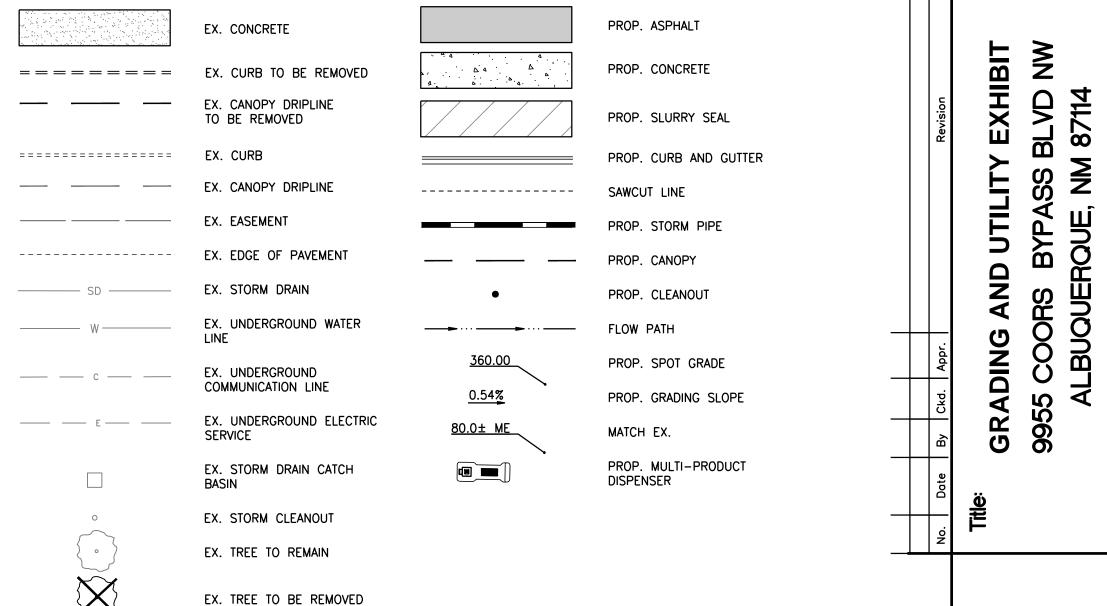
STANDING WALL

Know what's below.

Call before you dig.

Or 1-800-321-2537

LEGEND



NOTES:

- 1. EX. UNDISTURBED ASPHALT PAVING AREAS IN THE VICINITY OF THE FUELING FACILITY ARE TO BE SLURRY SEALED AND RE-STRIPED.
- 2. EX. CONDITIONS SHOWN ARE FROM TOPOGRAPHIC SURVEY PREPARED BY SUPERIOR SURVEYING SERVICES, INC. DATED 2/9/2022. THE PROPOSED IMPROVEMENTS SHOWN ARE BASED ON DRAWINGS PREPARED BY BARGHAUSEN DATED 3/15/2022.

CANOPY COVERAGE AREA:

EX. AREA: 2,818 SF

PROP. ADDITIONAL AREA: 2,176 SF

TOTAL AREA AFTER EXPANSION: 4,994 SF

DISTURBED AREA SUMMARY:

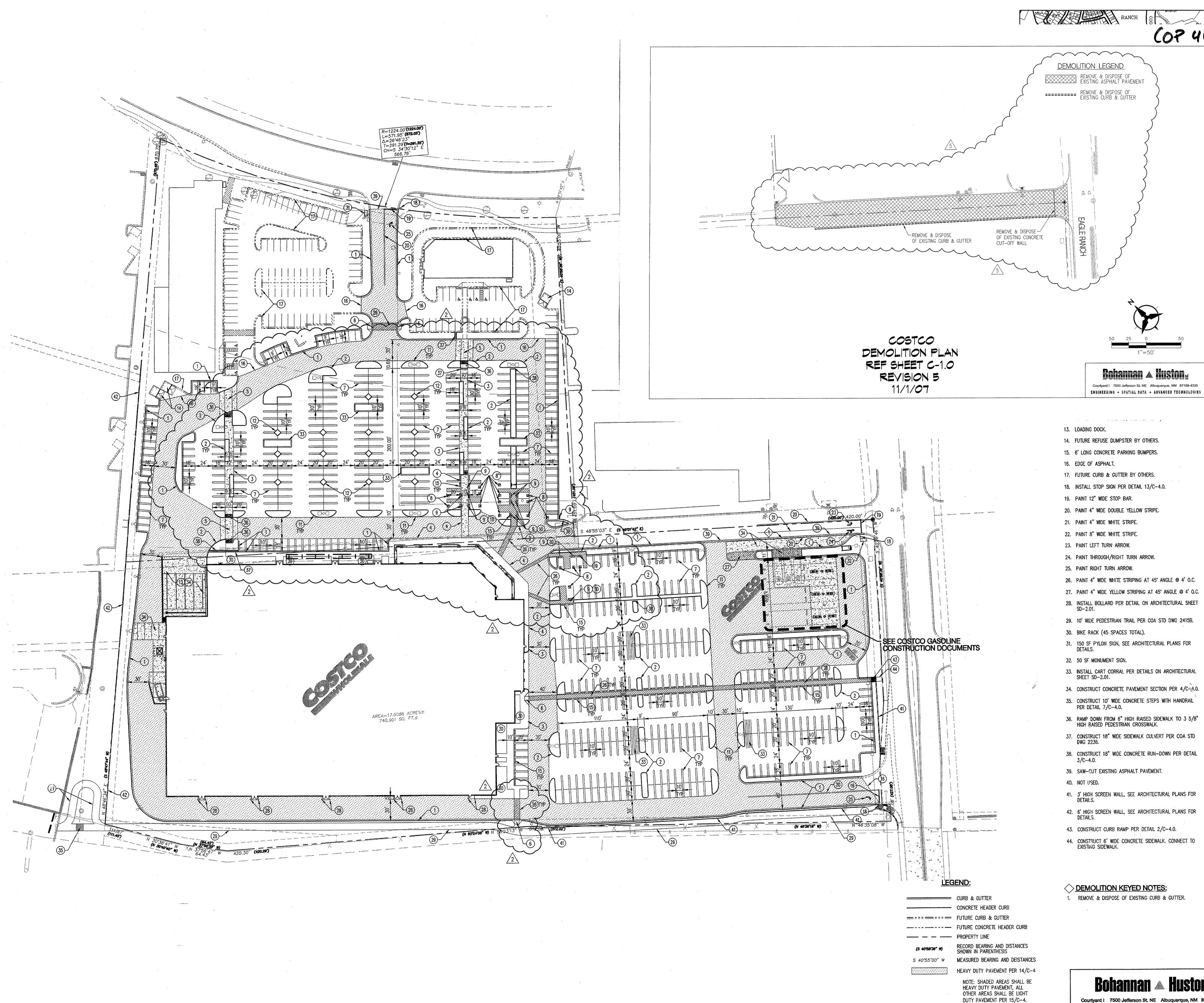
TOTAL AREA = 9,400 SF

PROPOSED IMPERVIOUS: 7,782 SF 9,400 SF 0 SF 1,618 SF PERVIOUS:

Barghausen Consulting Engine

12735

Appendix D Site Record Drawings





ALBUQUERQUE III

COP 46

SWC OF COORS BLVD BYPASS AND EAGLE RANCH RD

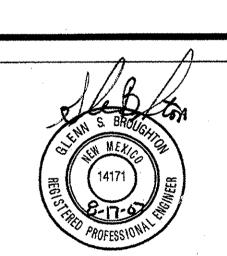
COSTCO WHOLESALE CORPORATION

999 LAKE DRIVE ISSAQUAH, WA 98027 T: 425.313.8100 www.costco.com



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06.18.07 BLACKLINE ISSUE

1 | 03.27.07 | RFI #2

2 08.17.07 REVISED PARKING LOT LAYOUT

05-0374-01 PM: GLENN BROUGHTON

DRAWN: BO JUNE 18, 2007 SITE PLAN

C-1.0

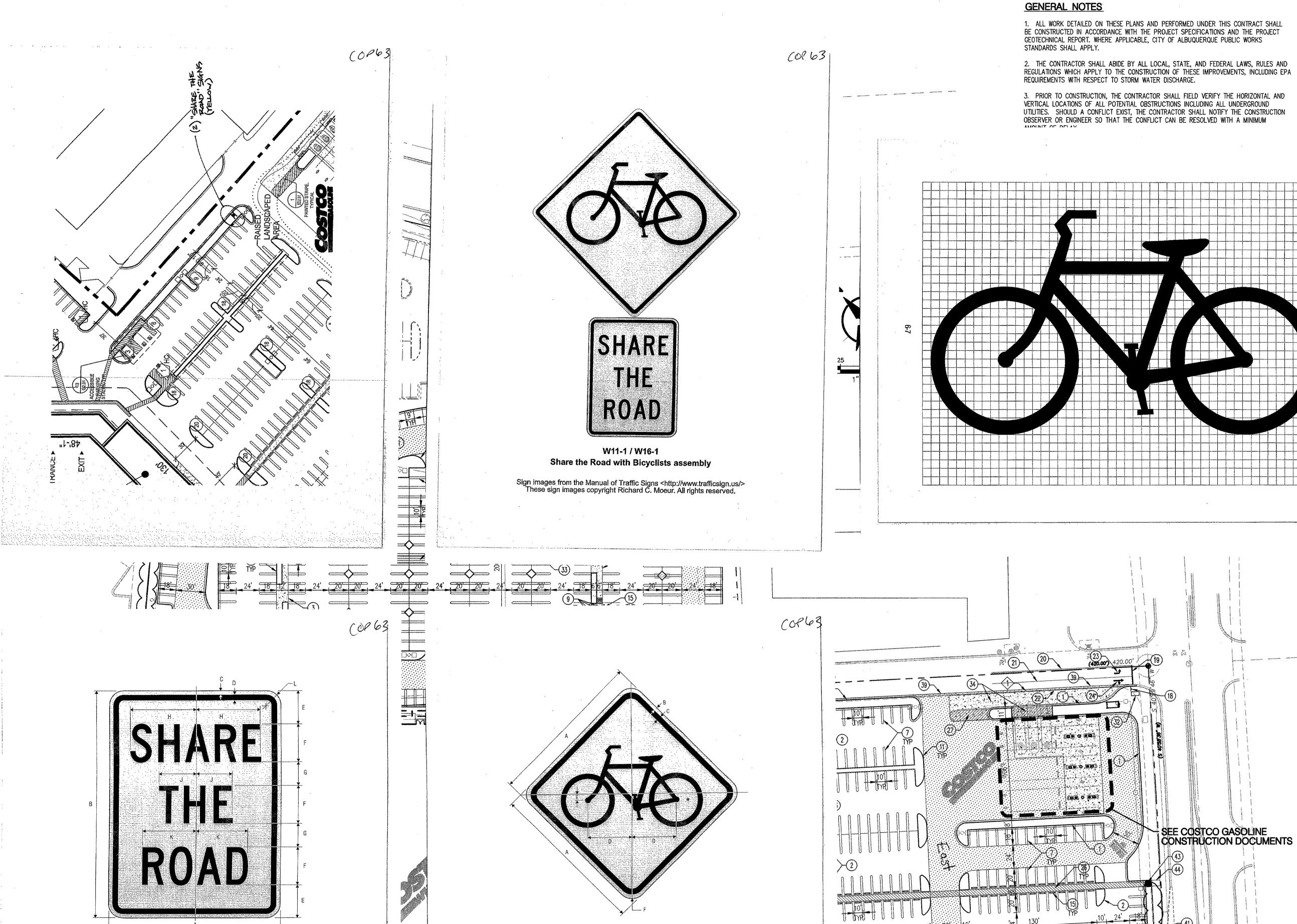
Bohannan A Huston Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING . SPATIAL DATA . ADVANCED TECHNOLOGIES

HIGH RAISED PEDESTRIAN CROSSWALK.

EXISTING SIDEWALK.

P:\070108\cdp\general\070108sp01.dwg
Fri, 17-Aug-2007 - 3:52:pm, Plotted by: BORTEGA



W11-1

A B C D E F

36 <u>.625</u> <u>.875</u> <u>10</u> <u>1.188</u> <u>2.25</u> 48 .75 1.25 13.375 1.625 3

BACKGROUND - YELLOW (RETROREFLECTIVE)

COLORS: SYMBOL — BLACK

BICYCLE TRAFFIC

*See page 6-7 for symbol design.

was a second of the second of

Comments of the comments of th

CURB & GUTTER

---- PROPERTY LINE

FUTURE CONCRETE HEADER CURB

S 40.55'00" W MEASURED BEARING AND DEISTANCES

RECORD BEARING AND DISTANCES SHOWN IN PARENTHESIS

HEAVY DUTY PAVEMENT PER 14/C-4

NOTE: SHADED AREAS SHALL BE HEAVY DUTY PAVEMENT, ALL OTHER AREAS SHALL BE LIGHT

DUTY PAVEMENT PER 15/C-4.

SEE COSTCO GASOLINE CONSTRUCTION DOCUMENTS

VICINITY MAP ZONE ATLAS PAGE B-13-Z

○ SITE PLAN KEYED NOTES:

1. CONSTRUCT 6" CONCRETE CURB & GUTTER PER DETAIL 1/C-4.0.

- CONSTRUCT CONCRETE HEADER CURB PER DETAIL ON ARCHITECTURAL SHEET SD-2.01.
- 3. CONSTRUCT RAISED CONCRETE SIDEWALK WITH TURNED DOWN EDGE PER DETAIL ON ARCHITECTURAL SHEET
- CONSTRUCT 6" THICK FLUSH CONCRETE SIDEWALK WITH TURNED DOWN EDGE PER DETAIL ON ARCHITECTURAL SHEET SD-2.01.
- 5. RAISED PEDESTRIAN CROSSWALK WITH TURNED DOWN EDGE PER DETAIL 12/C-4.0.
- 6. CONSTRUCT CURB RAMP PER DETAIL 5/C-4.0.
- 7. PAINT 4" WIDE WHITE STRIPES PER DETAIL 6/C-4.0.
- 8. ACCESSIBLE PARKING SPACE WITH PAINTED ACCESSIBILITY SYMBOL PER DETAILS 8/C-4.0 & 9/C-4.0.
- 9. ACCESSIBLE PARKING SPACE SIGN PER DETAIL 10/C-4.0
- WITHOUT 'VAN ACCESSIBLE' SIGN.
- 10. VAN ACCESSIBLE SIGN PER DETAIL 10/C-4.0.
- 11. NEW LANDSCAPE ISLAND, SEE DETAIL 6/C-4.0. 12. NEW LANDSCAPE ISLAND, SEE DETAIL 11/C-4.0.
- LOADING DOCK.
- 14. FUTURE REFUSE DUMPSTER BY OTHERS.
- 15. 6' LONG CONCRETE PARKING BUMPERS.
- EDGE OF ASPHALT.
- 17. FUTURE CURB & GUTTER BY OTHERS.
- 18. INSTALL STOP SIGN PER DETAIL 13/C-4.0.
- 19. PAINT 12" WIDE STOP BAR. 20. PAINT 4" WIDE DOUBLE YELLOW STRIPE.
- 21. PAINT 4" WIDE WHITE STRIPE.
- 22. PAINT 8" WIDE WHITE STRIPE.
- 23. PAINT LEFT TURN ARROW.
- 24. PAINT THROUGH/RIGHT TURN ARROW.
- 25. PAINT RIGHT TURN ARROW. 26. PAINT 4" WIDE WHITE STRIPING AT 45" ANGLE @ 4' O.C.
- 27. PAINT 4" WIDE YELLOW STRIPING AT 45' ANGLE @ 4' O.C.
- 28. INSTALL BOLLARD PER DETAIL ON ARCHITECTURAL SHEET SD-2.01.
- 29. 10' WIDE PEDESTRIAN TRAIL PER COA STD DWG 2415B.
- 30. BIKE RACK (45 SPACES TOTAL).
- 31. 150 SF PYLON SIGN, SEE ARCHITECTURAL PLANS FOR
- 32. 50 SF MONUMENT SIGN.

3/C-4.0.

- INSTALL CART CORRAL PER DETAILS ON ARCHITECTURAL SHEET SD-2.01.
- 34. CONSTRUCT CONCRETE PAVEMENT SECTION PER 4/C-4.0.
- 35. CONSTRUCT 10' WIDE CONCRETE STEPS WITH HANDRAIL PER DETAIL 7/C-4.0.
- (36. RAMP DOWN FROM 6" HIGH RAISED SIDEWALK TO 3 5/8" __HIGH RAISED PEDESTRIAN CROSSWALK. 37. CONSTRUCT 18" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- 38. CONSTRUCT 18" WIDE CONCRETE RUN-DOWN PER DETAIL
- 39. SAW-CUT EXISTING ASPHALT PAVEMENT.

40. NOT USED. 11. 3' HIGH SCREEN WALL, SEE ARCHITECTURAL PLANS FOR

- 42. 6' HIGH SCREEN WALL, SEE ARCHITECTURAL PLANS FOR 43. CONSTRUCT CURB RAMP PER DETAIL 2/C-4.0.
- 44. CONSTRUCT 6' WIDE CONCRETE SIDEWALK. CONNECT TO EXISTING SIDEWALK.

DEMOLITION KEYED NOTES: 1. REMOVE & DISPOSE OF EXISTING CURB & GUTTER.

JUNE 18, 2007

Bohannan 🛦 Huston

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Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

Note: For use with Warning Signs for slower forms of transportation such as the Bicycle, Golf Cart, Farm Machinery,

24 30 .375 .625 4.25 5.0 3.25 8.586 4.823 6.885 1.5

BACKGROUND YELLOW (RETROREFLECTIVE)

2-121

Horse Drawn Vehicle and ATV Warning Signs.

A B C D E F G H J K L

18 24 .375 .625 3.5 4 C 2.5 6.865 3.862 5.505 1.5

and the second of the second o

ALBUQUERQUE III

COSTCO WHOLESALE

SWC OF COORS BLVD BYPASS

AND EAGLE RANCH RD

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02.08.07 ISSUE FOR PERMIT 03.01.07 ISSUE FOR BID 1 03.27.07 RFI #2

PM: GLENN BROUGHTON DRAWN: BO

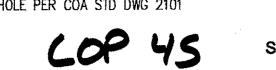
SITE PLAN

C-1.0

KEYED NOTES

1. INSTALL STORM DRAIN INLET TYPE "SINGLE D", PER COA STD DWG 2206; OR NYOPLAST ROAD AND HIGHWAY DRAINAGE INLET STRUCTURE W/ 2'X3' STEEL BAR GRATE (261.2 SQ. IN. APPROXIMATE DRAIN AREA) H-25 RATED GRATE (OR APPROVED EQUAL).

2. INSTALL 4' DIA TYPE "E" SD MANHOLE PER COA STD DWG 2101



SWC OF COORS BLVD BYPASS AND EAGLE RANCH RD

ALBUQUERQUE III

COSTCO WHOLESALE CORPORATION

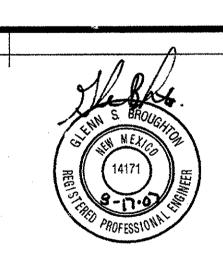
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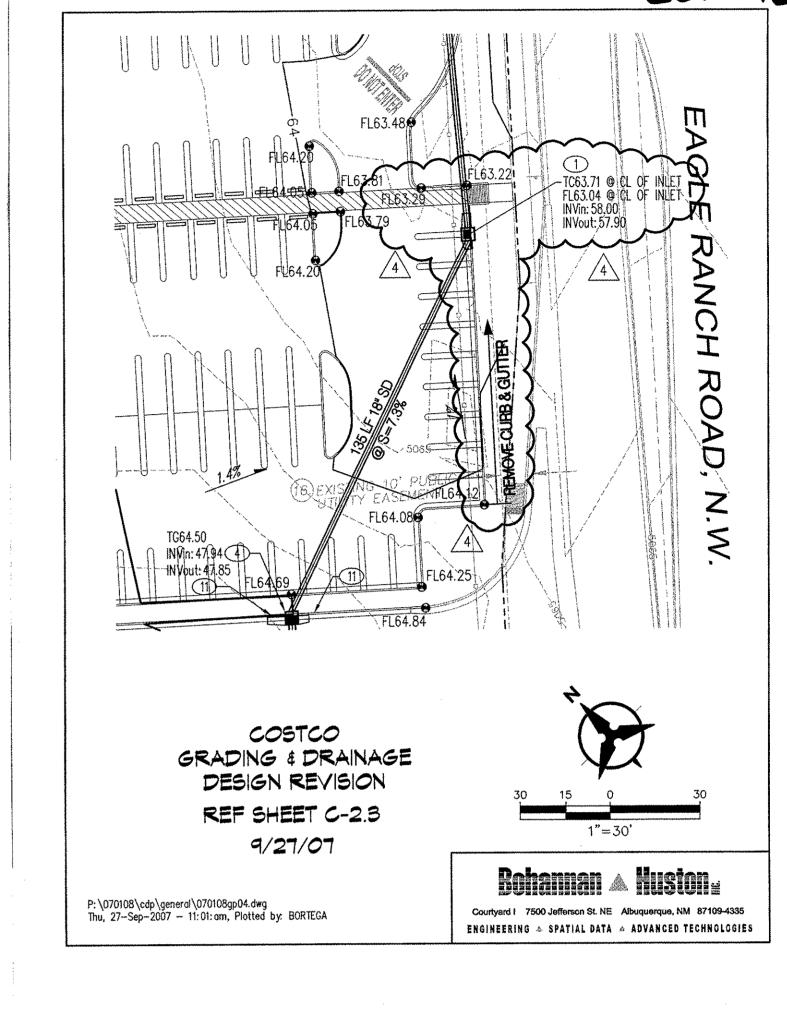
CONSTRUCTION

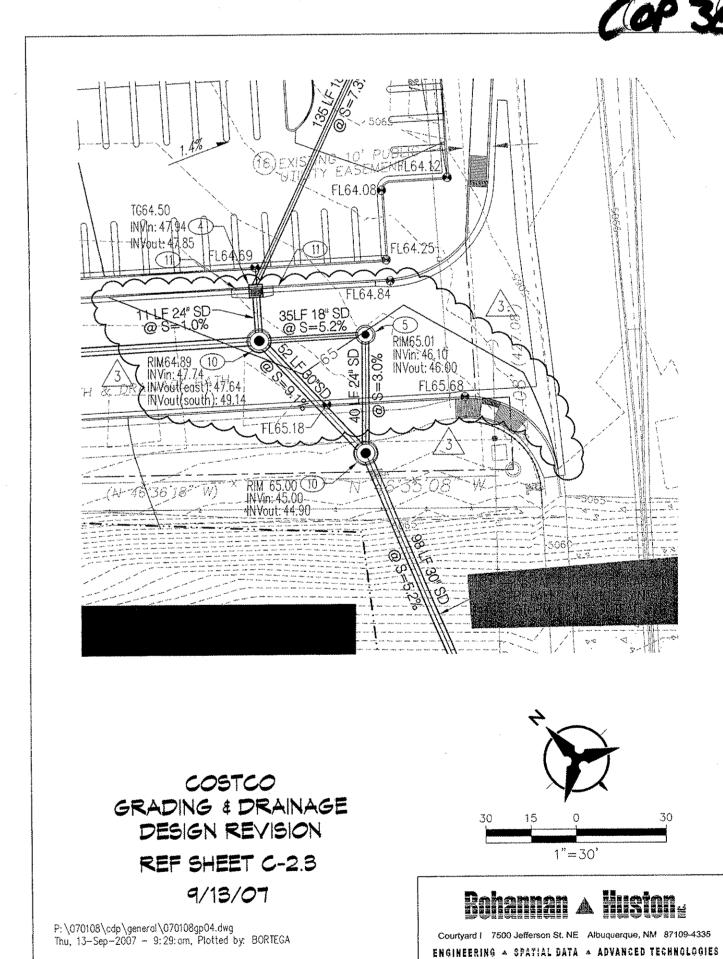


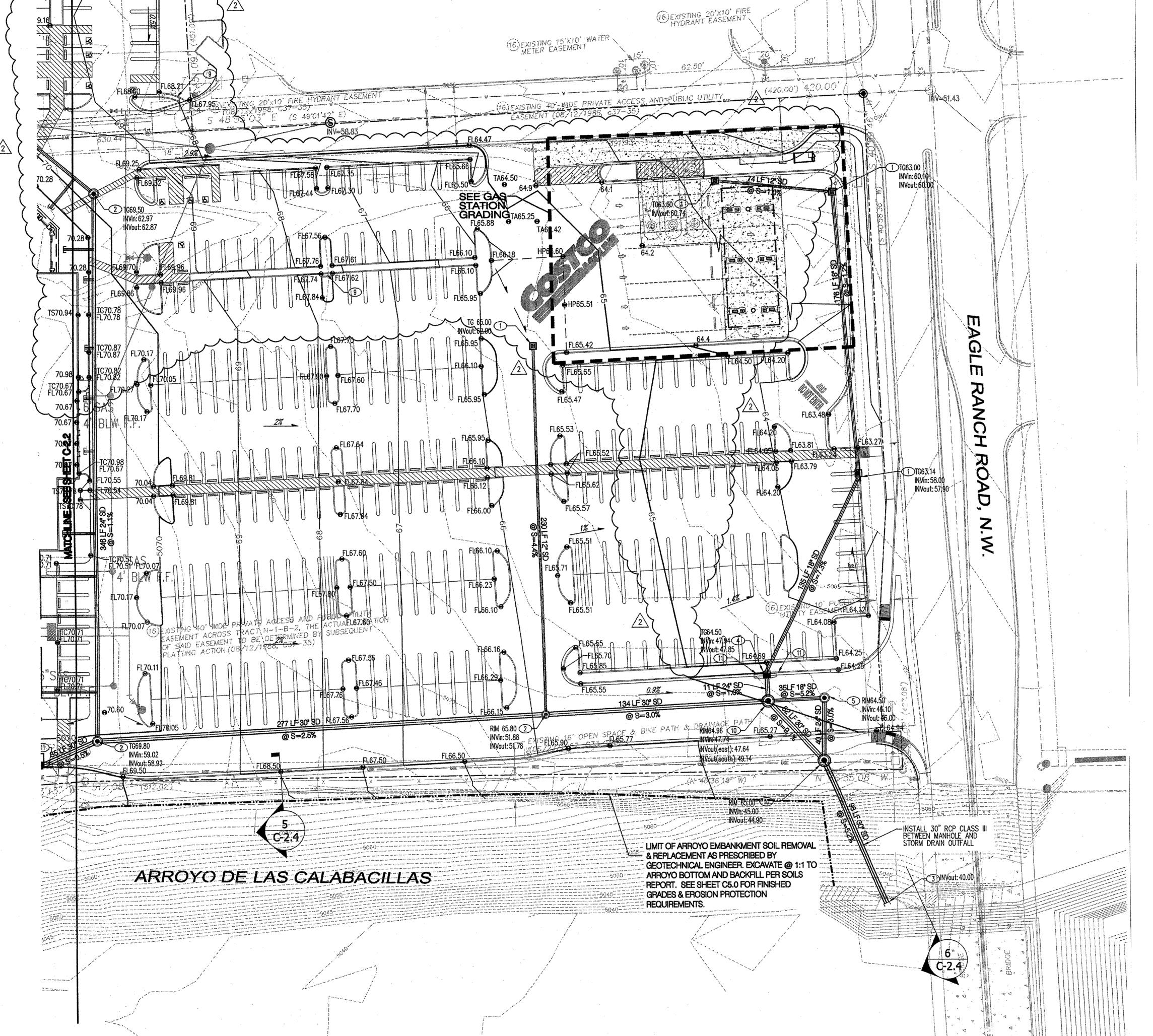
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***************************************	02.08.07	ISSUE FOR PERMIT
***************************************	03.01.07	ISSUE FOR BID
	06.18.07	BLACKLINE ISSUE
2	08.17.07	REVISED GRADING PLAN

05-0374-01
PM: GLENN BROUGHTON
DRAWN: RA
FEBRUARY 08, 2007
GRADING &
DRA®NAGE PLAN

C-2.3

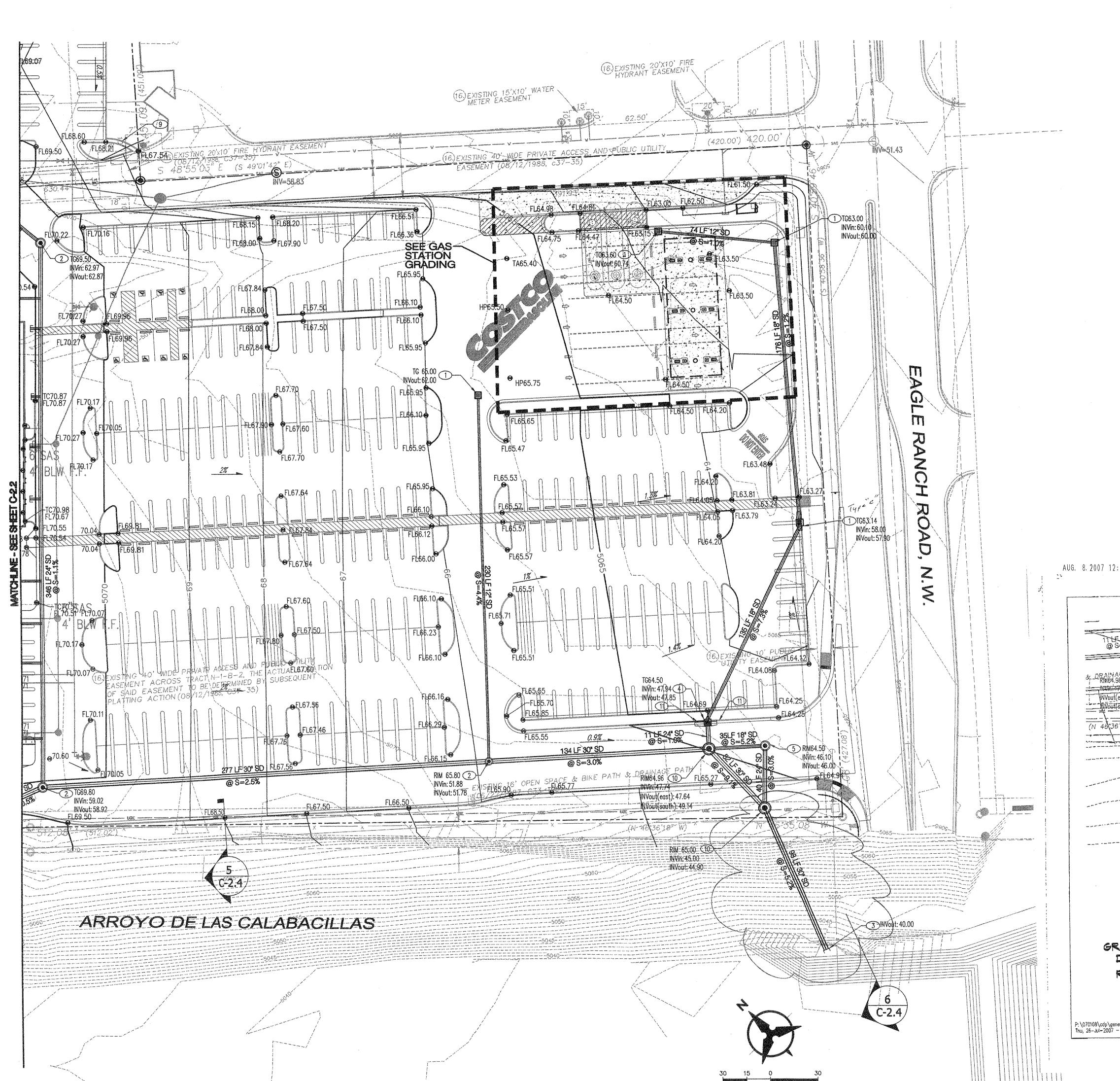






Bohannan A Huston & H

ENGINEERING . SPATIAL DATA . ADVANCED TECHNOLOGIES



KEYED NOTES

1. INSTALL STORM DRAIN INLET TYPE "SINGLE D", PER COA STD DWG 2206; OR NYOPLAST ROAD AND HIGHWAY DRAINAGE INLET STRUCTURE W/ 2'X3' STEEL BAR GRATE (261.2 SQ. IN. APPROXIMATE DRAIN AREA) H-25 RATED GRATE (OR APPROVED EQUAL).

2. INSTALL 4' DIA TYPE "E" SD MANHOLE PER COA STD DWG 2101

3. DAYLIGHT STORM DRAIN W/ EROSION PROTECTION AND STORM

4. INSTALL TYPE "C" INLET PER COA STD DWG 2205

TYPE "E" MANHOLE DETAIL ON SHEET C-2.4.

6. INSTALL 6' DIA TYPE "E" SD MANHOLE PER COA STD DWG 2101.

7. FUTURE STORM DRAIN.

10. INSTALL 8' DIA TYPE "C" SD MANHOLE PER COA STD DWG 2101.

11. 5' TRANSITION FROM MEDIAN CURB TO STD. CURB.

12. INSTALL 12" WIDE SIDEWALK CULVERT AND & CONCRETE RIBBON CHANNEL PER COA STD DWG 2276.

14. INSTALL 18" SD PLUG.

PROPERTY LINE

PROPOSED SPOT ELEVATION TC=TOP OF CURB, FL=FLOW LINE TA=TOP OF ASPHALT, HP=HIGH POINT EX=EXISTING, TG=TOP OF GRADE FGL=FINISH GROUND LOW SIDE OF RETAINING WAL

TOSL=TOP OF SLOPE WATER BLOCK

WATER QUALITY TREATMENT AS REQUIRED BY AMAFCA

5. INSTALL WATER QUALITY MANHOLE, SEE MODIFIED "SNOUT" 6' DIA

8. FUTURE STORM DRAIN INLET.

9. INSTALL 18" WIDE CONC RIBBON CHANNEL PER COA STD DWG 2236 OMIT CHECKED STELL PLATE.

13. INSTALL 12" SD PLUG.

<u>LEGEND</u>

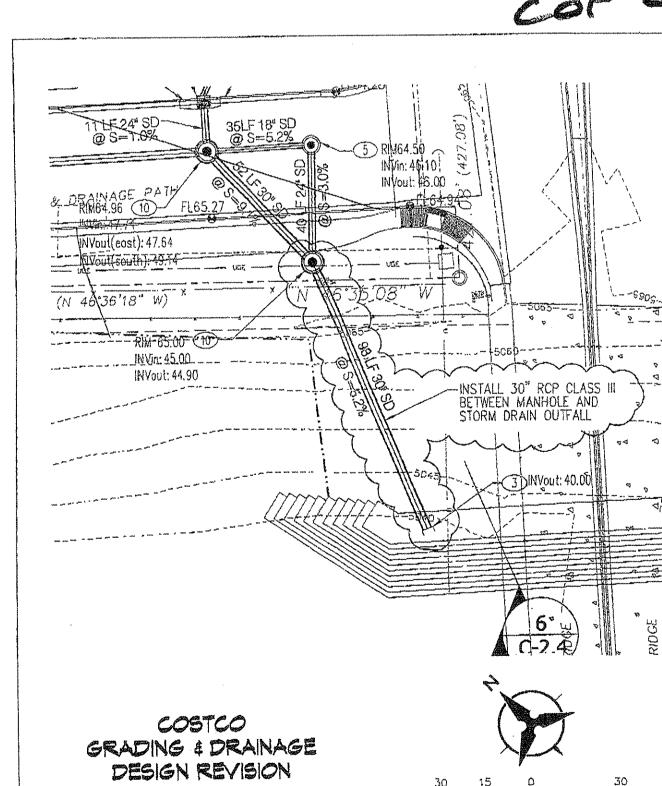
EXISTING CONTOURS χ 5301.15 Existing ground spot elevation

FGH=FINISH GRADE HIGH SIDE OF RETAINING WALL

PROPOSED DIRECTION OF FLOW PROPOSED INTER CONTOURS PROPOSED CURB & GUTTER

PROPOSED STORM DRAIN INLET

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ref sheet C-2.3 7/26/07

02.08.07 ISSUE FOR PERMIT 03.01.07 ISSUE FOR BID

> 05-0374-01 PM: GLENN BROUGHTON DRAWN: RA FEBRUARY 08, 2007

> > GRADING &

DRAINAGE PLAN

DATE DESCRIPTION

Bohannan A Austone

C-2.3

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

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ALBUQUERQUE III

SWC OF COORS BLVD BYPASS

AND EAGLE RANCH RD

COSTCO

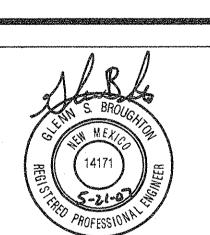
WHOLESALE

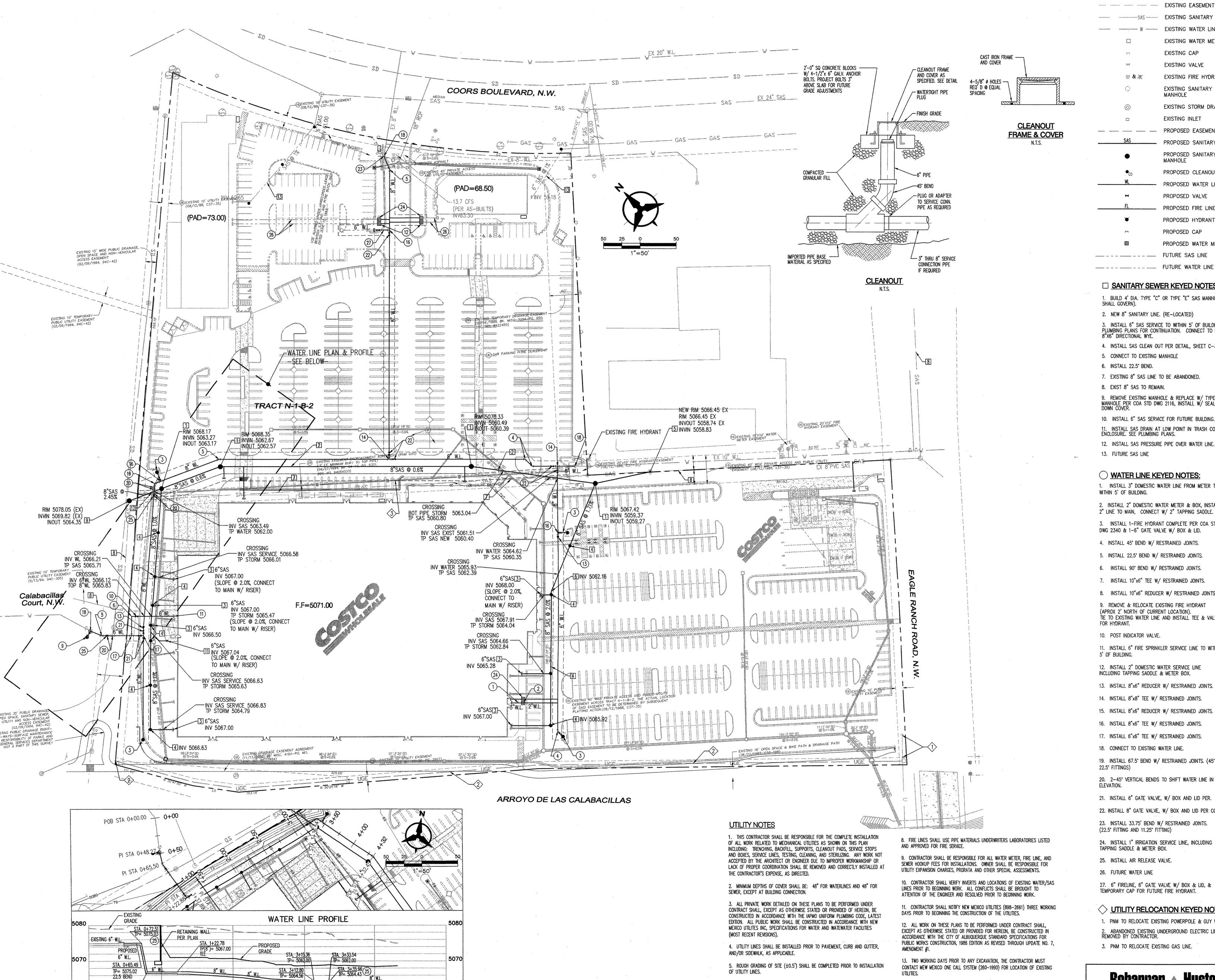
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<u>LEGEND</u> EXISTING EASEMENT -SAS ----- EXISTING SANITARY SEWER EXISTING WATER LINE EXISTING WATER METER EXISTING CAP EXISTING VALVE **EXISTING FIRE HYDRANTS** EXISTING SANITARY SEWER MANHOLE EXISTING STORM DRAIN MANHOLE EXISTING INLET PROPOSED EASEMENT PROPOSED SANITARY SEWER LINE PROPOSED SANITARY SEWER MANHOLE PROPOSED CLEANOUT PROPOSED WATER LINE PROPOSED VALVE PROPOSED FIRE LINE PROPOSED HYDRANT PROPOSED CAP PROPOSED WATER METER

☐ SANITARY SEWER KEYED NOTES:

1. BUILD 4' DIA. TYPE "C" OR TYPE "E" SAS MANHOLE (DEPTH SHALL GOVERN). 2. NEW 8" SANITARY LINE. (RE-LOCATED)

3. INSTALL 6" SAS SERVICE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. CONNECT TO MAIN W/8"X6" DIRECTIONAL WYE.

- 4. INSTALL SAS CLEAN OUT PER DETAIL, SHEET C-3
- 5. CONNECT TO EXISTING MANHOLE
- 6. INSTALL 22.5° BEND.
- 7. EXISTING 8" SAS LINE TO BE ABANDONED.
- 8. EXIST 8" SAS TO REMAIN.
- 9. REMOVE EXISTING MANHOLE & REPLACE W/ TYPE "C" DROP MANHOLE PER COA STD DWG 2116, INSTALL W/ SEALED BOLT DOWN COVER.
- 10. INSTALL 6" SAS SERVICE FOR FUTURE BUILDING. 11. INSTALL SAS DRAIN AT LOW POINT IN TRASH COMPACTOR ENCLOSURE. SEE PLUMBING PLANS.
- 12. INSTALL SAS PRESSURE PIPE OVER WATER LINE.
- 13. FUTURE SAS LINE

WATER LINE KEYED NOTES:

1. INSTALL 3" DOMESTIC WATER LINE FROM METER TO WITHIN 5' OF BUILDING.

2. INSTALL 2" DOMESTIC WATER METER & BOX, INSTALL 2" LINE TO MAIN, CONNECT W/ 2" TAPPING SADDLE.

INSTALL 1-FIRE HYDRANT COMPLETE PER COA STD

DWG 2340 & 1-6" GATE VALVE W/ BOX & LID.

4. INSTALL 45' BEND W/ RESTRAINED JOINTS.

- 6. INSTALL 90° BEND W/ RESTRAINED JOINTS.
- 7. INSTALL 10"x6" TEE W/ RESTRAINED JOINTS.
- 8. INSTALL 10"x6" REDUCER W/ RESTRAINED JOINTS.
- 9. REMOVE & RELOCATE EXISTING FIRE HYDRANT (APROX 2' NORTH OF CURRENT LOCATION). THE TO EXISTING WATER LINE AND INSTALL TEE & VALVE
- POST INDICATOR VALVE.
- 11. INSTALL 6" FIRE SPRINKLER SERVICE LINE TO WITHIN 5' OF BUILDING.

12. INSTALL 2" DOMESTIC WATER SERVICE LINE INCLUDING TAPPING SADDLE & METER BOX.

- 13. INSTALL 8"x6" REDUCER W/ RESTRAINED JOINTS.
- 14. INSTALL 8"x8" TEE W/ RESTRAINED JOINTS.
- 15. INSTALL 8"x6" REDUCER W/ RESTRAINED JOINTS.
- 16. INSTALL 8"x6" TEE W/ RESTRAINED JOINTS.
- 17. INSTALL 6"x6" TEE W/ RESTRAINED JOINTS.
- 18. CONNECT TO EXISTING WATER LINE.
- 19. INSTALL 67.5° BEND W/ RESTRAINED JOINTS. (45° &

20. 2-45' VERTICAL BENDS TO SHIFT WATER LINE IN

- ELEVATION.
- 22. INSTALL 8" GATE VALVE, W/ BOX AND LID PER COA.
- 23. INSTALL 33.75' BEND W/ RESTRAINED JOINTS. (22.5° FITTING AND 11.25° FITTING)
- 24. INSTALL 1" IRRIGATION SERVICE LINE, INCLUDING TAPPING SADDLE & METER BOX.
- 25. INSTALL AIR RELEASE VALVE.
- 26. FUTURE WATER LINE
- 27. 6" FIRELINE, 6" GATE VALVE W/ BOX & LID, & TEMPORARY CAP FOR FUTURE FIRE HYDRANT.

1. PNM TO RELOCATE EXISTING POWERPOLE & GUY WIRE. 2. ABANDONED EXISTING UNDERGROUND ELECTRIC LINE TO BE REMOVED BY CONTRACTOR.

3. PNM TO RELOCATE EXISTING GAS LINE.

CONTACT MEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING

14. CONTRACTOR SHALL COORDINATE RELOCATION OF DRY UTILITIES WITH PNM.

UTILITIES.

of utility lines.

AND ALL NECESSARY FITTINGS.

NEW MEXICO UTILITIES, INC.

P:\070108\cdp\general\070108up01.dwg

Mon, 18-Jun-2007 - 5:21:pm, Plotted by: BORTEGA

Station

6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES

7. ALL VALVES SHALL BE ANCHORED PER COA STD DWG. 2333...

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335 'ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



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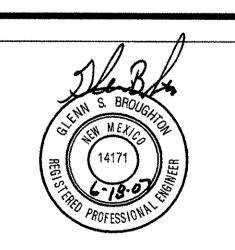
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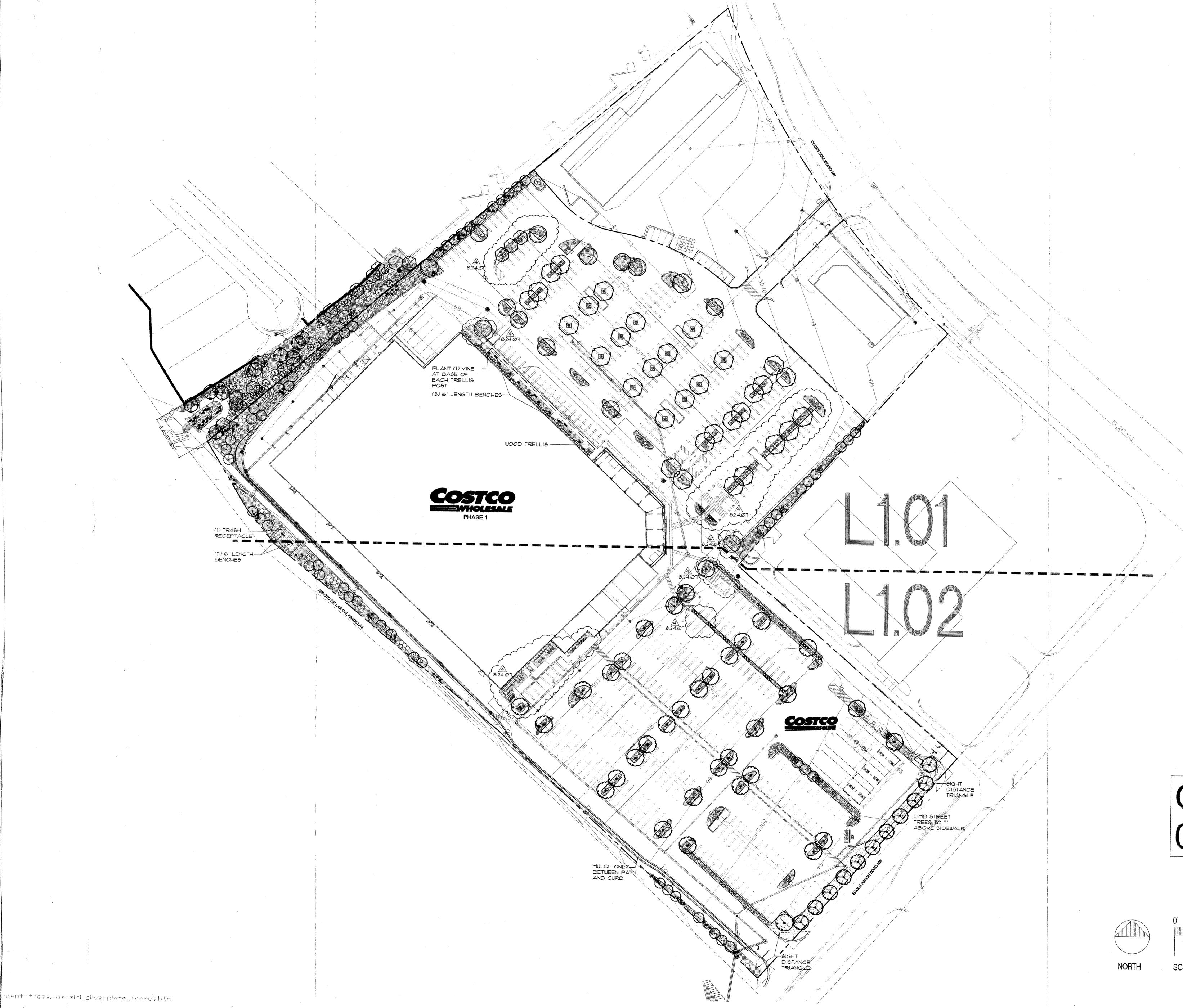


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05-0374-01 PM: GLENN BROUGHTON DRAWN: CP FEBRUARY 08, 2007

UTILITY PLAN

C - 3.0





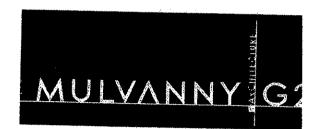
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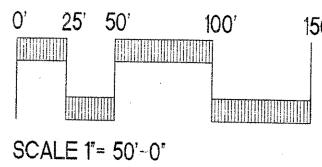
1 04.02.07 CORP OF ENGINEERS

2 04.30.07 PERMIT RESUBMITTAL

6.18.07 BLACKLINE PR1

6.18.07 ISSUE FOR CONSTRUCTION

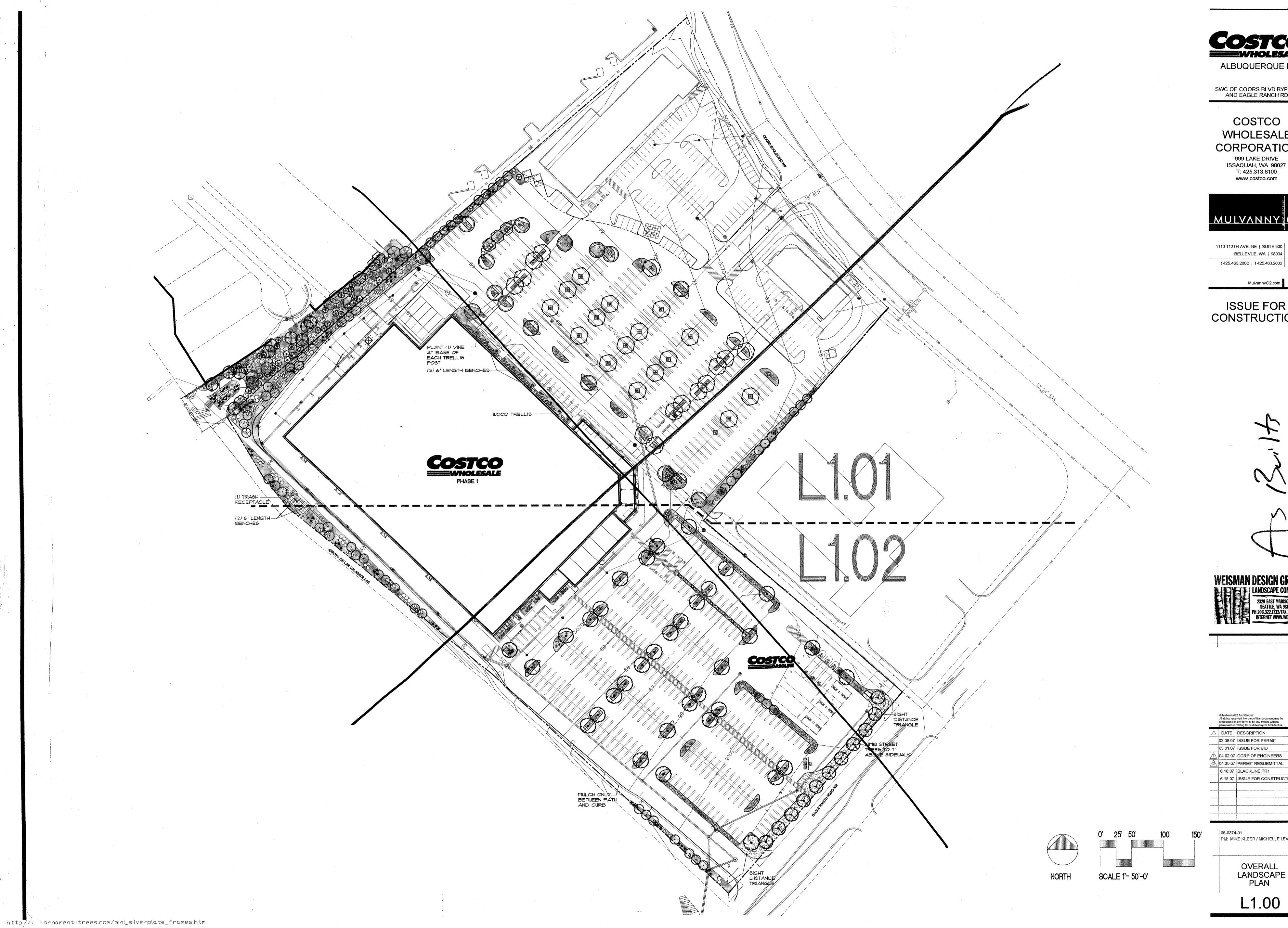
6.18.07 BLACKLINE PR1
6.18.07 ISSUE FOR CONSTRUCTION
3 6.27.07 UTILITY EASEMENT REVISION
4 8.24.07 LANDSCAPE REVISIONS



05-0374-01 PM: MIKE KLEER / MICHELLE WAHL

> OVERALL LANDSCAPE PLAN

100



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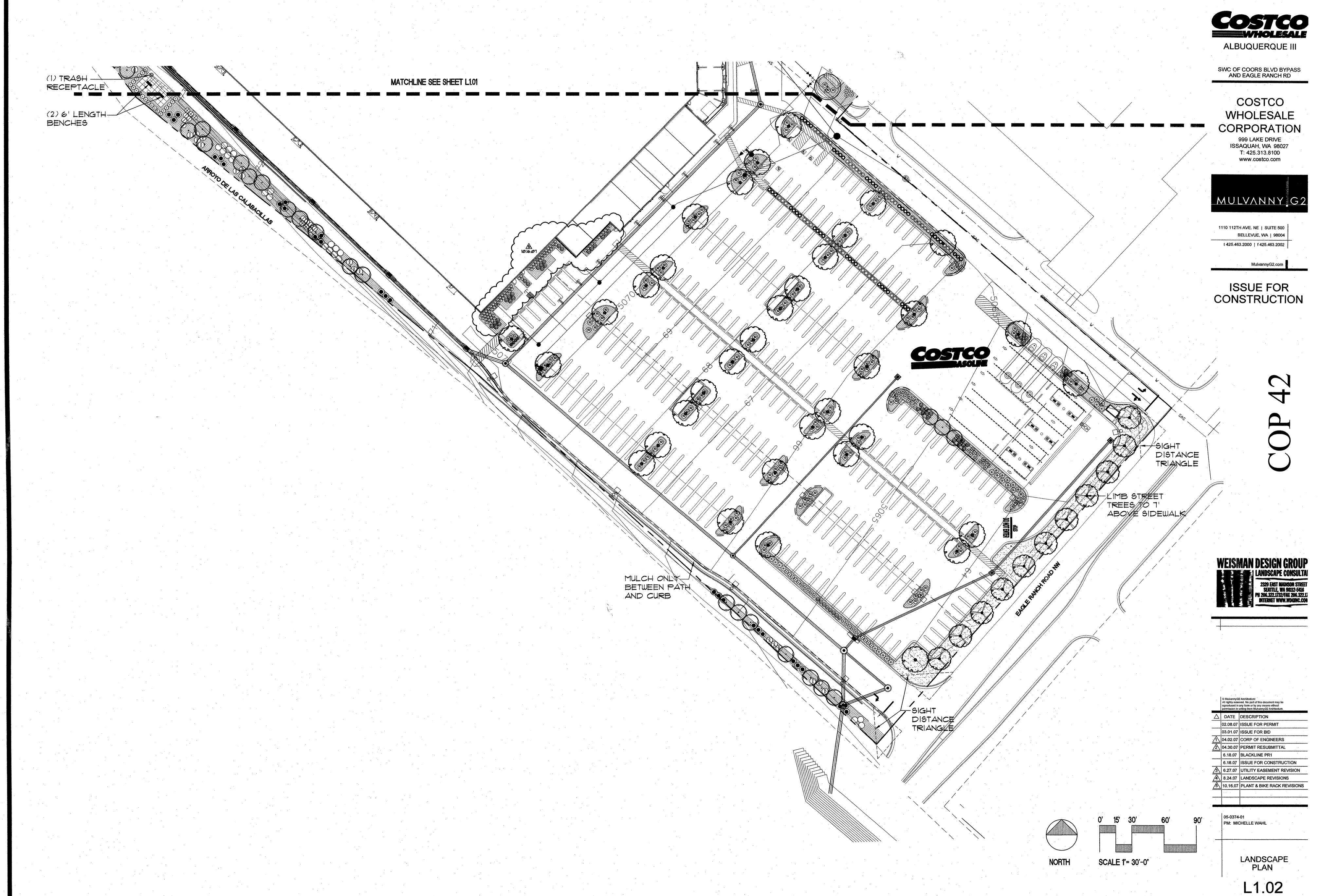
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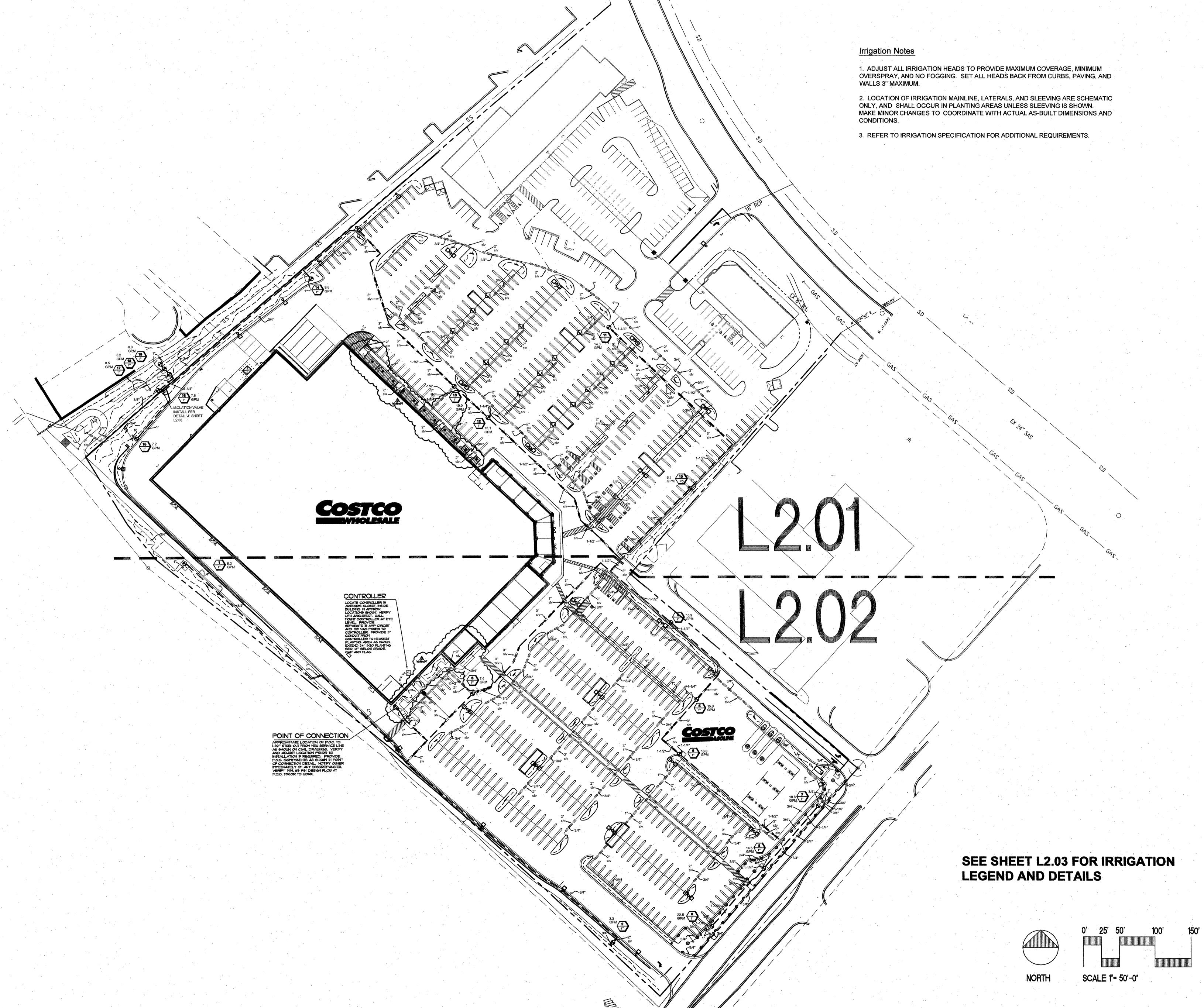
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05-0374-01 PM: MIKE KLEER / MICHELLE LEVERING

OVERALL LANDSCAPE PLAN





http://www.ornament-trees.com/mini_silverplate_frames.htm

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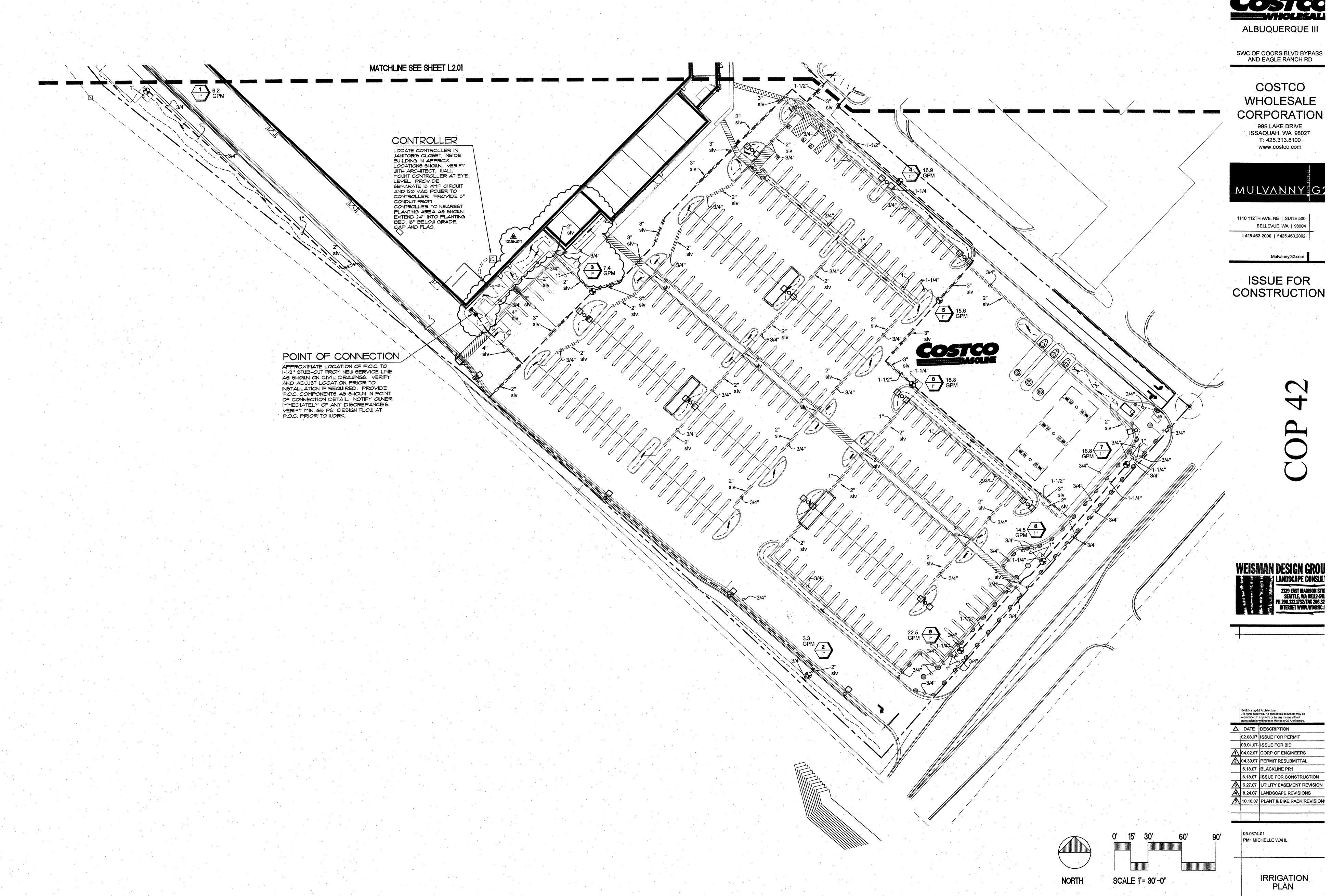
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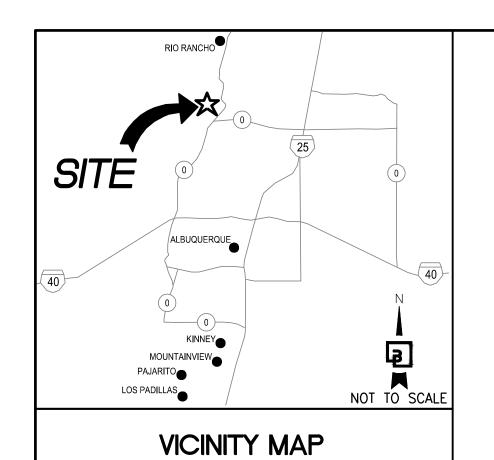
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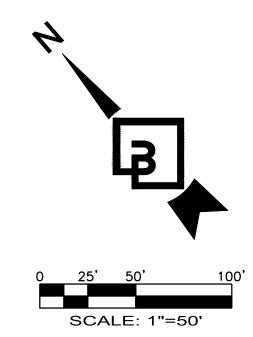
05-0374-01 PM: MICHELLE WAHL

OVERALL IRRIGATION PLAN

L2.00







GRADING AND DRAINAGE PLAN

COSTCO WHOLESALE FUEL EXPANSION
9955 COORS BYPASS BLVD NW
ALBUQUERQUE, NM 87114
COSTCO WAREHOUSE #1016

GRADING AND DRAINAGE NARRATIVE:

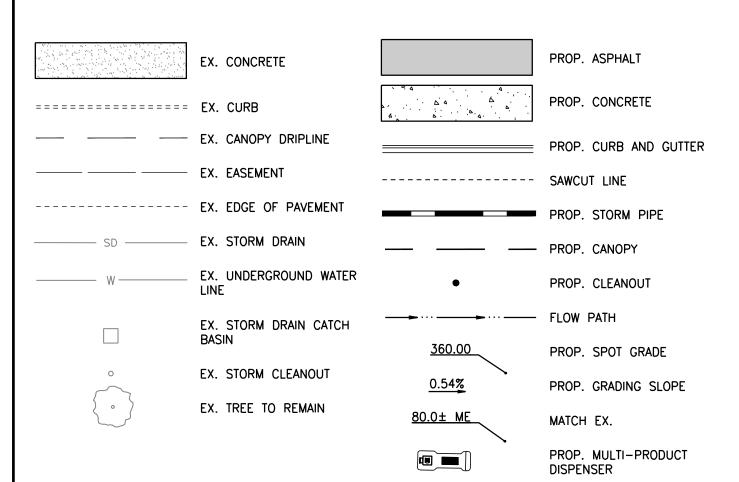
THE SITE IS CURRENTLY DEVELOPED WITH AN EXISTING COSTCO WAREHOUSE, FUEL FACILITY, PARKING, STORMWATER FACILITIES, AND LANDSCAPING. STORMWATER RUNOFF IS TREATED ON-SITE IN WATER QUALITY UNIT AND THEN CONVEYED THROUGH A CLOSED CONVEYANCE SYSTEM TO ARROYO DE LAS CALABACILLAS. THE EXISTING STORM SYSTEM WAS DESIGNED IN THE ORIGINAL WAREHOUSE PLAN DATED AUGUST 17, 2007. EXISTING GRADES WITHIN THE PAVED AREAS ARE RELATIVELY FLAT WITH SLOPES RANGING FROM 0.5 TO 5 PERCENT.

THE PROPOSED IMPROVEMENTS TO THE COSTCO PARKING LOT ARE LARGELY IN BASIN 8 OF THE EXISTING SITE'S CONVEYANCE SYSTEM. THE SITE IS CURRENTLY TREATED BY AN EXISTING WATER QUALITY UNIT LOCATED SOUTHEAST CORNER OF THE SITE PRIOR TO BEING ROUTE TO THE ARROYO DE LAS CALABACILLAS.

THE IMPROVEMENTS INCLUDE EXPANSION THE EXITING FUEL FACILITY. THE PROPOSED IMPROVEMENTS WILL RESULT IN A MINIMAL INCREASE IN IMPERVIOUS AREA. THE PROJECT PROPOSES LESS THAN 10,000 SF OF DISTURBED AREA.

THE SUBJECT SITE IS NOT LOCATED WITHIN A FLOOD ZONE PER FEMA FIRM NO. 35001C0108G DATED SEPTEMBER 26,

LEGEND



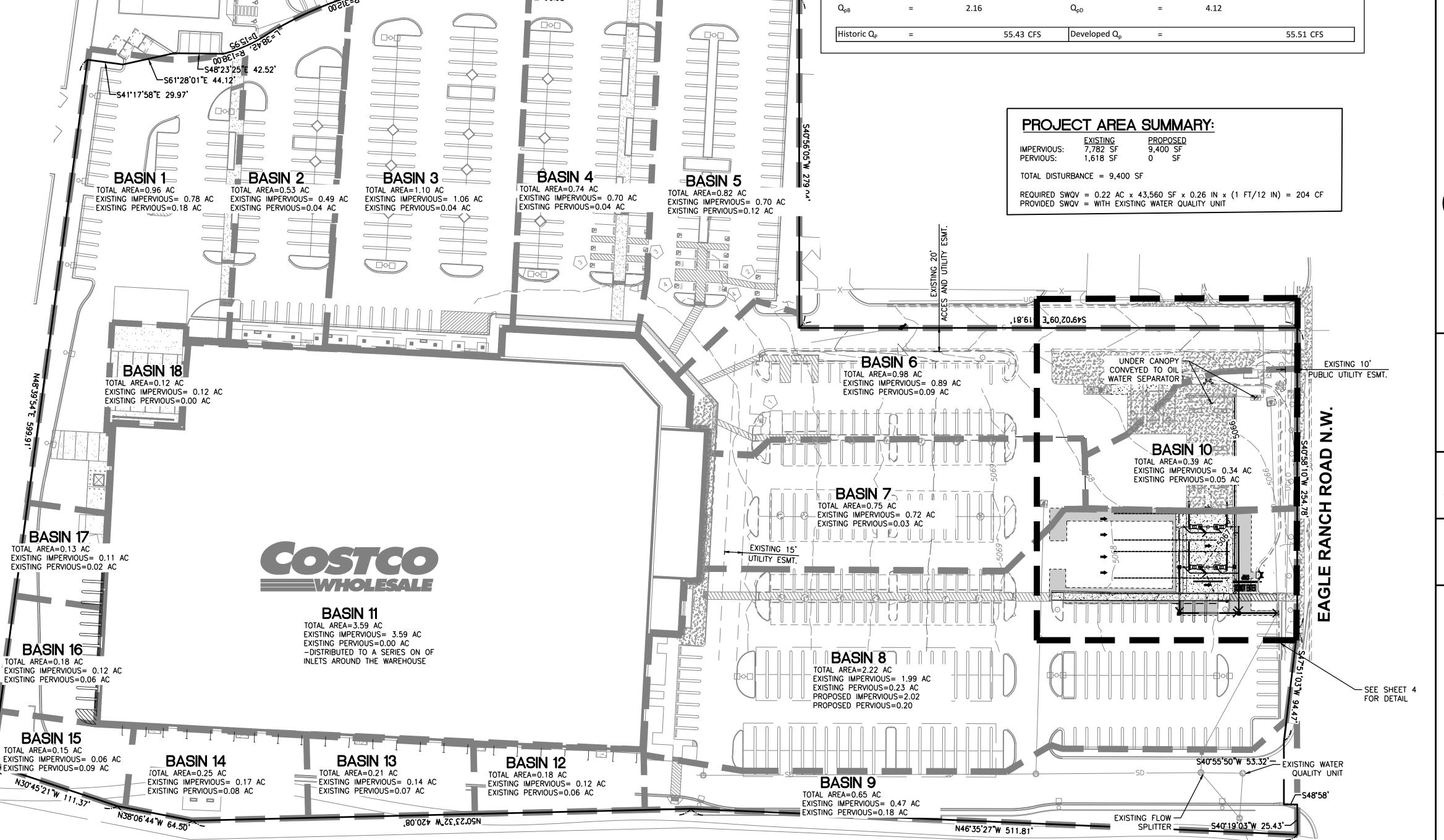
HISTORIC FLOWS: DEVELOPED FLOWS: Excess Percipitation: Area A 0.55 Area A 0.73 59.468 Area B 57,850 Area B 0.95 Area C Area C 556,542 Area D 554,924 Area D **Total Area** On-site Weighted Excess Precipitation (100-year, 6-hour storm) $E_AA_A+E_BA_B+E_CA_C+E_DA_D$ $A_A + A_B + A_C + A_D$ Historic E 2.09 in 2.10 in Developed E On-site Volume of Runoff: V₃₆₀ E x A /12 Historic V₃₆₀ 107,203 CF Developed V₃₆₀ 107,407 On-site Peak Discharge Rate: $Qp=Q_{DA}A_A+Q_{DB}A_B+Q_{DC}A_C+Q_{DD}A_D/43,560$ S45'56'34"E 217.05' Historic Q_P Developed Q_n 55.43 CFS 55.51 CFS

Calculations-Costco Albuqueque III-9955 Coors Bypass Blvd NW Based onf City of Albuquerque DMP, Article 6-2 date June 26, 2020

100-Year, 6-hour Caclulations-Precepitation Zone 1 614,392 SF

14.10 ACRE

Area of disturbance:





ARROYO DE LAS CALABACILLAS

EXISTING OUTFALL TO ARROYO

DE LAS CALABACILLAS

Barghausen Consulting Engin

GRADING AND DRAINAGE PLAN

COSTCO WHOLESALE FUEL EXPANSION 9955 COORS BYPASS BLVD NW ALBUQUERQUE, NM 87114 COSTCO WAREHOUSE #1016



EX. VENT RISER TO REMAIN EX. ADDITIVE —— TANK TO REMAIN REMOVE AND REPLACE SUMP LIDS ——
WITH PAVEMENT REPLACEMENT AT
NEAREST JOINTS. MATCH EX. GRADES
FOR PAVEMENT REPLACEMENT EX. SD CATCH —— BASIN TO REMAIN EX. USTs - PROP. ADA COMPLIANT ESO N EX. PAVEMENT TO REMAIN PROPOSED UNDERCANOPY
DRAINAGE TO TIE INTO EX. OIL
WATER SEPARATOR CATCH BASIN. EX. CANOPY OVERHANG TO REMAIN 5068.4± ME 5068.5± ME EX. MPDS -TO REMAIN EX. SHUT OFF PROPERTY LINE EX. CROSSWALK — VALVE TO REMAIN ./ TO REMAIN EX. FUEL MATCH EX. GRADES FOR — PAVEMENT REPLACEMENT CANORY SEPARATOR TO REMAIN EX. DETECTABLE WARNING 5068.5 ME SURFACE TO REMAIN 5068.3± ME EX. SD CATCH -5068.8± ME BASIN TO REMAIN EX. TREE — TO REMAIN EX. TRANSFORMER PAVEMENT MARKING PROP. CONCRETE -EX. PARKING TO CONCRETE SWALE REMAIN (TYP.) EX. WHEEL STOPS TO REMAIN (TYP.) PROP. ASPHALT PAVEMENT > PROPOSED RAISED CONCRETE SIDEWALK PROPOSED CURB AND GUTTER $-\!\!\!\!/$ - PROP. CANOPY OVERHANG EX. WHEEL STOPS TO BE REPLACED (TYP.) PROP. 3'
CONCRETE SWALE PROP. CB W/SOLID LID EX. TREE TO EX. PARKING TO BE RESTRIPED (TYP.) REMAIN (TYP.) EX. SIGN TO REMAIN (TYP.) EX. WHEEL STOPS TO — BE REINSTALLED (TYP.) W/SOLID LID 5066.4± ME PROP. ADA COMPLIANT ESO RESTRIPED AT MIN 6' WIDE EX. SD CATCH — BASIN TO REMAIN EX. TREE TO

- EXISTING FREE STANDING SCREEN WALL

CANOPY COVERAGE AREA:

EX. AREA: 2,818 SF

PROP. ADDITIONAL AREA: 2,176 SF TOTAL AREA AFTER EXPANSION: 4,994 SF

DISTURBED AREA SUMMARY:

TOTAL AREA = 9,400 SF

PROPOSED IMPERVIOUS: 7,782 SF PERVIOUS: 1,618 SF 9,400 SF 0 SF

Know what's below. Call before you dig. Or 1-800-321-2537

Barghausen Consulting Engine

12735