

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

February 10, 2023

Erin Raya  
Barghausen Consulting Engineers, Inc.  
18215 72<sup>ND</sup> Ave. South  
Kent, WA 98032

**Re: Costco Fuel Expansion**  
**9955 Coors Bypass Blvd. NW**  
**Traffic Circulation Layout**  
Engineer's Stamp 02-10-22 (B13-D003)

Dear Mr. Raya,

The TCL submittal received 01-20-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

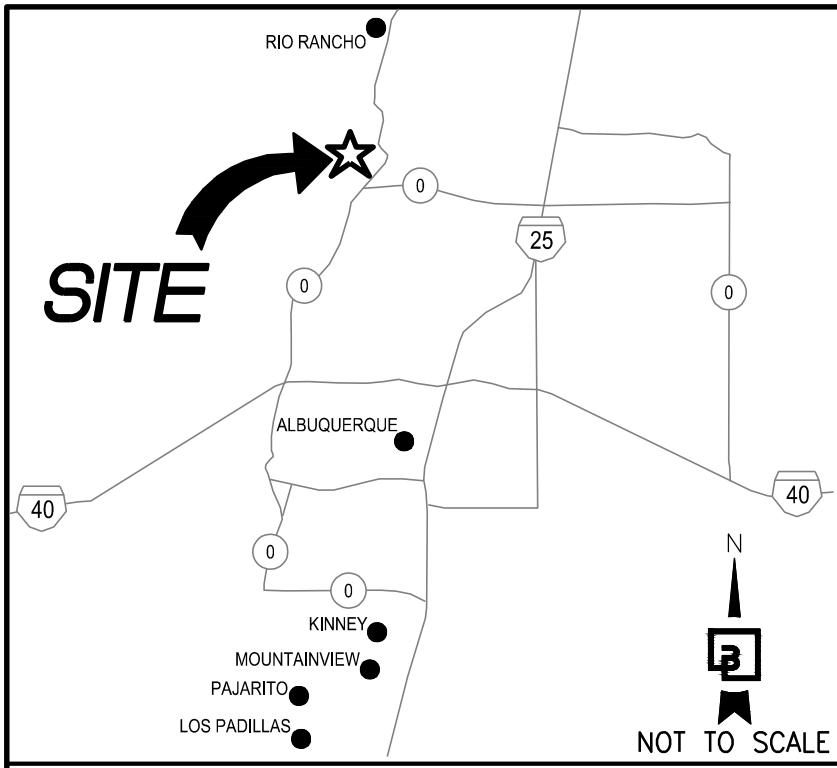
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File





### VICINITY MAP

#### PROJECT DATA:

PROJECT ADDRESS: 9955 COORS BYPASS BOULEVARD NW  
ALBUQUERQUE, NM 87114

JURISDICTION: ALBUQUERQUE

APN: 1-013-065-393233-1-01-10

ZONING: NR-C

#### PROJECT AREA SUMMARY:

	EXISTING	PROPOSED
IMPERVIOUS:	7,782 SF	9,400 SF
PERVIOUS:	1,618 SF	0 SF

TOTAL DISTURBANCE = 9,400 SF

#### PROJECT SITE DATA:

COSTCO PARCEL	617,769 SF (14.18 AC)
TOTAL SITE AREA	617,769 SF (14.18 AC)

BUILDING AREA	146,724 SF
COSTCO	1,224 SF
COSTCO FOOD SERVICE	1,391 SF
COSTCO EXISTING MEZZANINE	5,200 SF
COSTCO TIRE CENTER	154,539 SF

PARKING SUMMARY	
PARKING REQUIRED	618 STALLS
COSTCO: 154,539 SF @ 4/1000 SF	618 STALLS
TOTAL PARKING REQUIRED	618 STALLS

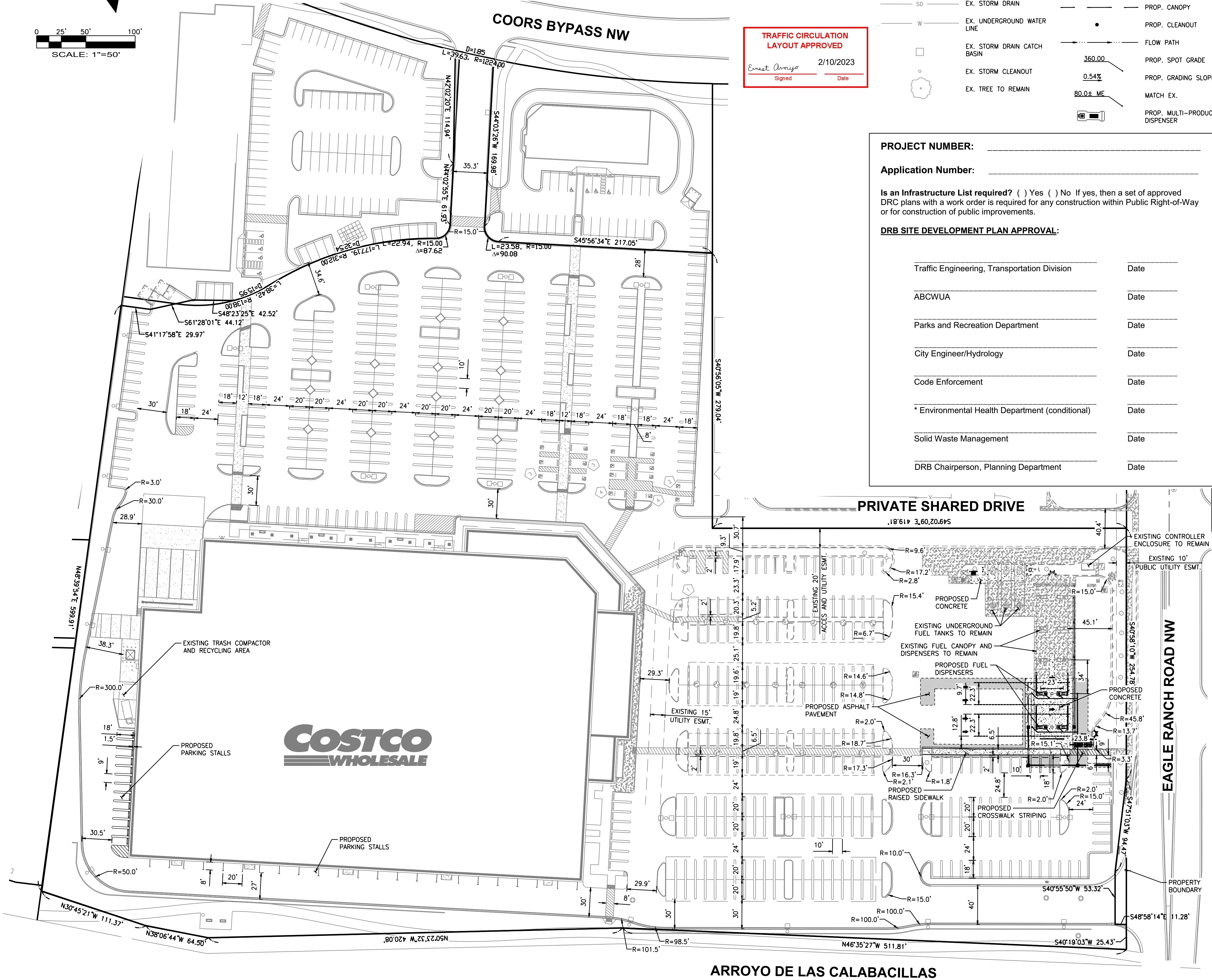
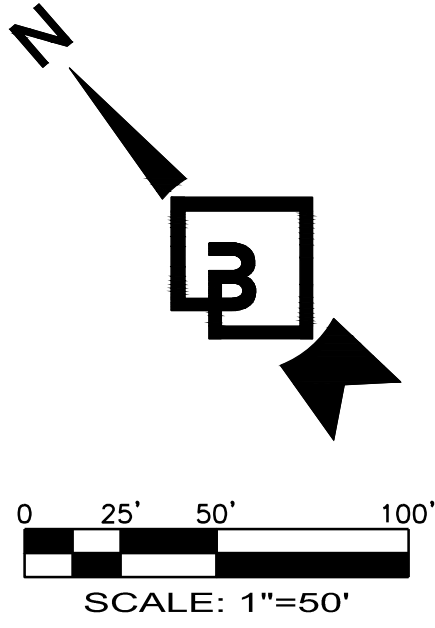
PARKING PROVIDED	619 STALLS
LANDSCAPE REQUIRED:	85,323 SF (15%)
(MIN. 15% OF NET AREA)	
LANDSCAPE PROVIDED	100,321 SF (17.6%)

#### NOTE:

THIS PROJECT WILL BE REGULATED BY THE STATE OF NEW MEXICO ENVIRONMENTAL DEPARTMENT AND AIR QUALITY GROUP OF THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT.

# PRELIMINARY OVERALL SITE PLAN

COSTCO WHOLESALE FUEL EXPANSION  
9955 COORS BYPASS BLVD NW  
ALBUQUERQUE, NM 87114  
COSTCO WAREHOUSE #1016



### LEGEND

EX. CONCRETE	PROP. ASPHALT
EX. CURB	PROP. CONCRETE
EX. CANOPY DRIPLINE	PROP. CURB AND GUTTER
EX. EASEMENT	SAWCUT LINE
EX. EDGE OF PAVEMENT	PROP. STORM PIPE
SD EX. STORM DRAIN	PROP. CANOPY
W EX. UNDERGROUND WATER LINE	PROP. CLEANOUT
EX. STORM DRAIN CATCH BASIN	FLOW PATH
EX. STORM CLEANOUT	360.00 PROP. SPOT GRADE
EX. TREE TO REMAIN	0.54% PROP. GRADING SLOPE
	80.0+ ME MATCH EX.
	PROP. MULTI-PRODUCT DISPENSER

#### TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Armijo 2/10/2023  
Signed Date

#### PROJECT NUMBER:

#### Application Number:

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

#### DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



Know what's below.  
Call before you dig.  
Dial 811  
Or 1-800-321-2537

PRELIMINARY OVERALL SITE PLAN

9955 COORS BYPASS BLVD NW  
ALBUQUERQUE, NM 87114  
COSTCO WAREHOUSE #1016

**COSTCO WHOLESALE**  
COSTCO WHOLESALE  
999 LAKE DRIVE  
ISSAQUAH, WA 98027

For:

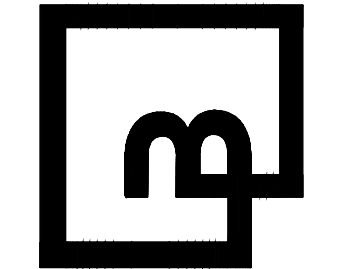


02/10/2022

Scale: Horizontal 1"=50' Vertical N/A

Designed: LEH Draw: LEH Checked: JSL Approved: MESP Date: 2/18/23

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 [barghausen.com](http://barghausen.com)



Job Number 12735  
Sheet 1 of 1