



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 13, 2000

Dennis Lorenze, P.E.
Ibrasher & Lorenz
2201 San Pedro NE
Bldg. #1 - Suite 210
Albuquerque, NM 87109

***RE: RELIABLE NISSAN (B13-D3C). ENGINEER'S CERTIFICATION FOR
CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S STAMP DATED
DECEMBER 9, 1999.***

Dear Mr. Lorenz:

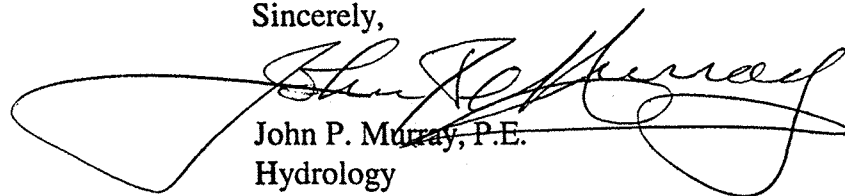
Based on the information provided on your December 10, 1999 submittal, the above referenced project is approved for Certificate of Occupancy.

The Site Plan also has been certified.

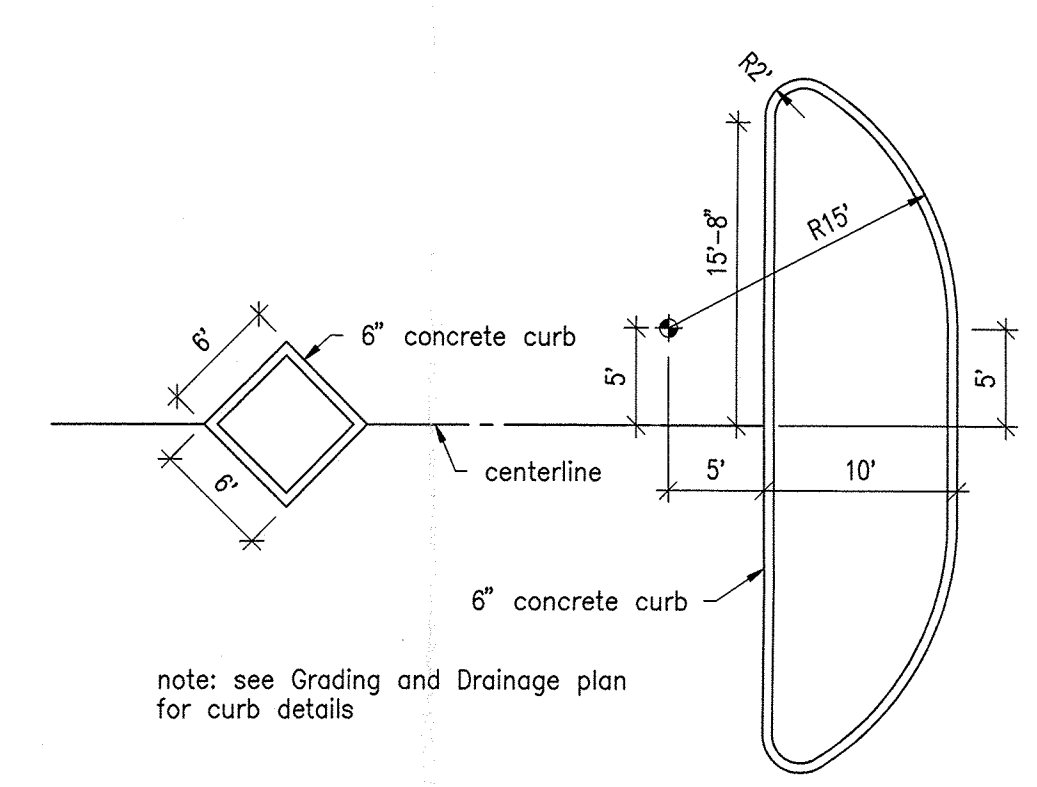
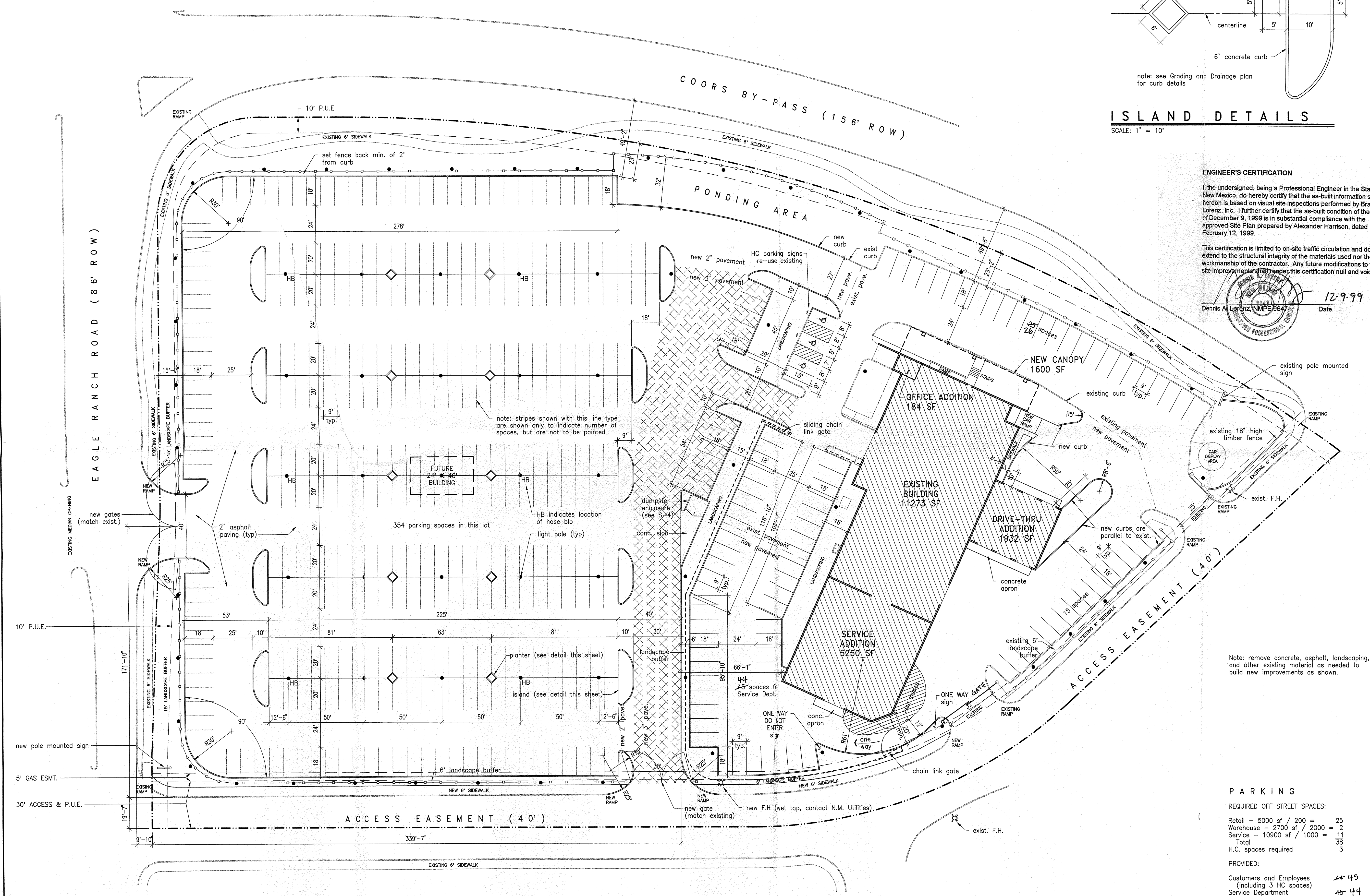
If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

/


John P. Murray, P.E.
Hydrology

c: WR
✓ File



ISLAND DETAILS
SCALE: 1" = 10'

ENGINEER'S CERTIFICATION
I, the undersigned, being a Professional Engineer in the State of New Mexico, do hereby certify that the as-built information shown hereon is based on visual site inspections performed by Brasher & Lorenz, Inc. I further certify that the as-built condition of the site as of December 9, 1999 is in substantial compliance with the approved Site Plan prepared by Alexander Harrison, dated February 12, 1999.

This certification is limited to on-site traffic circulation and does not extend to the structural integrity of the materials used nor the workmanship of the contractor. Any future modifications to the site improvements shall render this certification null and void.

Dennis A. Lorenz, N.M.P.E. 8647
Date 12-9-99

- SYMBOL LEGEND
- Pole mounted light fixture cut-off type fixture, 20' pole on 2' base
 - Existing concrete curb to remain
 - New concrete curb, with gutter as needed (see Grading and Drainage Plan)
 - 7' chain link fence (see specs. sheet A-5)
 - Existing 18" fence - stucco on CMU posts, with wrought iron between
 - New 18" high fence - stucco on CMU posts, with wrought iron between (match existing)
 - Property line
 - 3" asphalt pavement

LEGAL DESCRIPTION
ZONE ATLAS PAGE: B 13
9951 COORS RD NW
LOT 7, TRACT N-1A, SEVEN BAR RANCH
ZONE: SU-1, FOR AUTO. PARK

- SPECIFICATIONS
- GENERAL
(see sheet A-5 for General Requirements)
- EARTH WORK, EXCAVATING AND GRADING
Grub the complete site area prior to foundation construction or placement of backfill or sub-base material.
The site area will be brought to sub-base course elevation prior to forming foundations.
Apply soil sterilizer prior to placing base materials.
Clear trees, brush, and debris from site area.
Prior to other excavation and construction efforts grub organic material to a minimum of six inches below original ground level.
Unless otherwise instructed by the Owner, remove trees, brush, and debris from property to an authorized landfill.
Compaction shall be maximum density in accordance with ASTM D-1557 for site work and 95% under slab areas. Areas of settlement will be excavated and refilled at Contractor's expense.

- PAVEMENT:
Existing paved areas which are at correct grade may remain. Notes on Site Plan indicate approximate extents of existing paving to remain. It is the Contractor's responsibility to confirm which existing paved areas may remain.
Base Course: Contractor shall confirm that existing soil is suitable for use as base course material. Imported material to be non expansive soil such as gravel, sand, silt, and clay or a combination of these materials. Free of roots, debris, organic, and decomposable material. Plasticity index less than 20 calculated in accordance with ASTM D-424. Graded in accordance with ASTM C136 within the following percent passing limits for stated sieve size:
1 inch: 100%
No. 4: 70-100%
No. 200: 10-40%
Compaction: 95% for upper 6" of subgrade and 90% for all other fill below pavement. Where no fill is required, scarify and recompact top 8".
Asphalt: Class B as described in Section 302 of the City of Albuquerque Standard Specifications 3" thick where shown on Site Plan 2" thick all other areas

Note: remove concrete, asphalt, landscaping, and other existing material as needed to build new improvements as shown.

PARKING

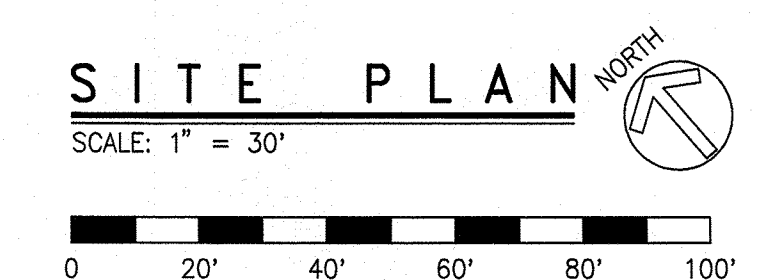
REQUIRED OFF STREET SPACES:

| | |
|------------------------------|----|
| Retail - 5000 sf / 200 = | 25 |
| Warehouse - 2700 sf / 2000 = | 2 |
| Service - 10900 sf / 1000 = | 11 |
| Total | 38 |
| H.C. spaces required | 3 |

PROVIDED:

| | |
|---|-------|
| Customers and Employees (including 3 H.C. spaces) | 44-45 |
| Service Department | 45-44 |
| New Car Sales | 354 |

AREAS
Site: 6.08 acres
Existing Building: 11,273 sf
New Building: 7366 sf
Total Building: 18,639 sf



ALEXANDER HARRISON ARCHITECT
8605 Mountain Road NE, Albuquerque, NM 87112, 299-6322
ALL RIGHTS RESERVED. COPYRIGHT © 1998 BY ALEXANDER HARRISON

proj: 9812 drwn: AH chkd: AH
file: 1PROJECT\RELIABLE\C1-SITE

date: FEB 12, 1999
revisions:

RELIABLE NISSAN
Albuquerque, New Mexico

SITE PLAN sheet number C-1 of 4 sheets