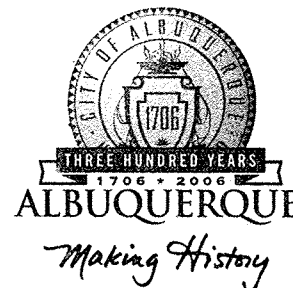


# CITY OF ALBUQUERQUE



January 10, 2006

Mr. Victor Chavez, P.E.  
**CHAVEZ-GRIEVES CONSULTING  
ENGINEERS, INC.**  
5639 Jefferson St. NE  
Albuquerque, NM 87109

**Re: RELIABLE NISSAN IMAGE REMODEL**  
**9901 Coors Blvd. NW**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Approved Engineer's Stamp dated 04/07/2005 (B-13/D3C)**  
**Certification dated 01/10/2006**

Dear Victor:

P.O. Box 1293

Based upon the information provided in your submittal received 01/10/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

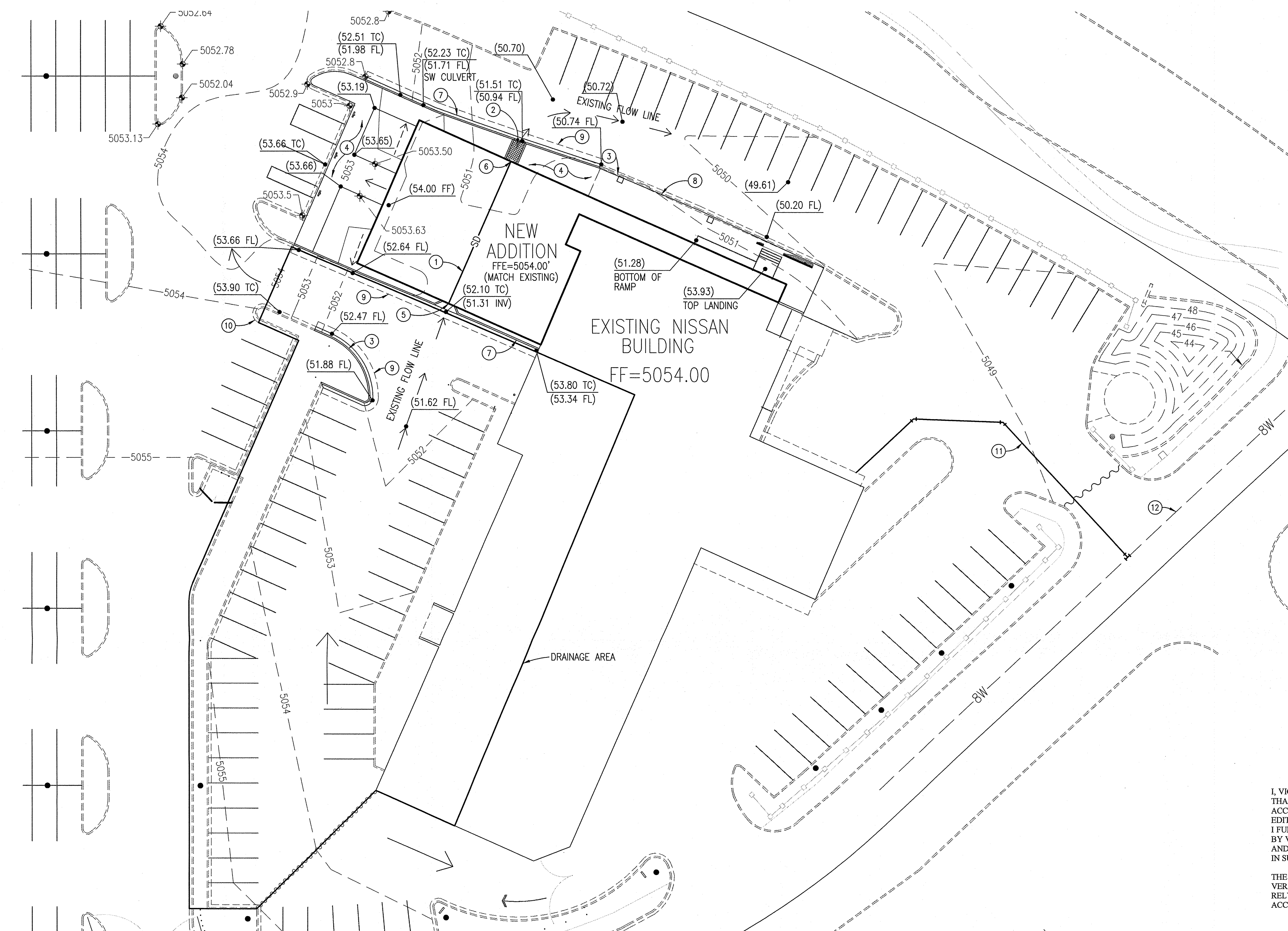
New Mexico 87103

Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk  
File



- ### LEGEND
- 0000.0 - NEW SPOT ELEVATIONS.
  - 00.00 - ASBUILT SPOT ELEVATIONS.
- ### KEYED NOTES
1. INSTALL 4-6" STORM DRAIN LINES UNDER NEW BUILDING ADDITION. MATCH EXISTING FLOWLINE AT EACH INVERT.
  2. CONSTRUCT 4'-3" WIDE SIDEWALK CULVERT PER COA STD DWG 2236. MATCH EXISTING ELEVATION @ C & G FLOW LINE.
  3. NEW CURB AND GUTTER PER COA STD DWG 2415. FLOW LINE TO MATCH EXISTING ELEVATIONS.
  4. NEW 4" STANDARD SIDEWALK SLOPE 1% SLOPE TO TOP OF CURB AND GUTTER.
  5. MATCH EXISTING ELEVATION @ CURB AND GUTTER FLOW LINE. SEE DETAIL 1/C1.1.
  6. MATCH EXISTING ELEVATION AND PROVIDE POSITIVE DRAINAGE.
  7. NEW CURB AND GUTTER PER COA STANDARD DRAWING. FLOW LINE TO MATCH EXISTING ELEVATIONS. SEE DETAIL 3/C1.1.
  8. NEW 4" STANDARD SIDEWALK. PROVIDE 1% SLOPE TO TOP OF CURB AND GUTTER.
  9. PROVIDE 2'-0" OF ASPHALT MATCHING EXISTING SECTION AT NEW CURB AND GUTTER.
  10. EXISTING TO REMAIN.
  11. 6" PVC WATER LINE TO FIRE SPRINKLER SYSTEM. SEE MECHANICAL DRAWINGS FOR CONNECTION IN BUILDING.
  12. EXISTING NEW MEXICO UTILITIES WATER LINE.

THE EXPANSION IS LOCATED OVER THE ORIGINAL PARKING LOT AND DRIVE LANE. THE EXISTING SURFACE CONSISTS OF ASPHALT, CONCRETE AND LINED XERISCAPING. THE NEW SURFACE IS ROOFTOP. THERE WILL BE NO INCREASE IN THE RUNOFF COEFFICIENT OR RATE OF RUNOFF. FLOW PATTERS WILL NOT BE CHANGE.

THE EXISTING RUNOFF PATTERN DIRECTS APPROXIMATELY 0.55 ACRES TO THE CENTER OF THE DRIVE LANE. TOTAL RUNOFF IS 1.56 CFS.

LOCATED BELOW THE NEW BUILDING ARE FOUR 6 INCH CAST IRON DRAINS. THE AVERAGE SLOPE IS JUST OVER ONE PERCENT.

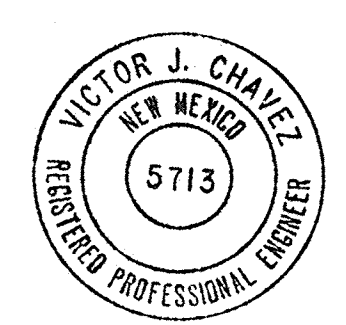
FLOW IN EACH PIPE:  
 $Q=1.318 (C) (Rn) ** 0.63 S ** 0.54A$   
 $C=110$   
 $Rn=1.5$   
 $S=0.01$   
 $A=0.196 \text{ SQ. FT.}$   
 $Q=0.63 \text{ CFS}$   
 $\text{FOUR PIPE CAPACITY} = 4(0.63)=2.52>1.56$

**DRAINAGE CERTIFICATION**

I, VICTOR CHAVEZ, NMPE 5713, OF THE FIRM CHAVEZ GRIEVES CONSULTING ENGINEERS INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/8/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOAQUIN ARGUELIER JR., NMPS 7472. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/9/05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

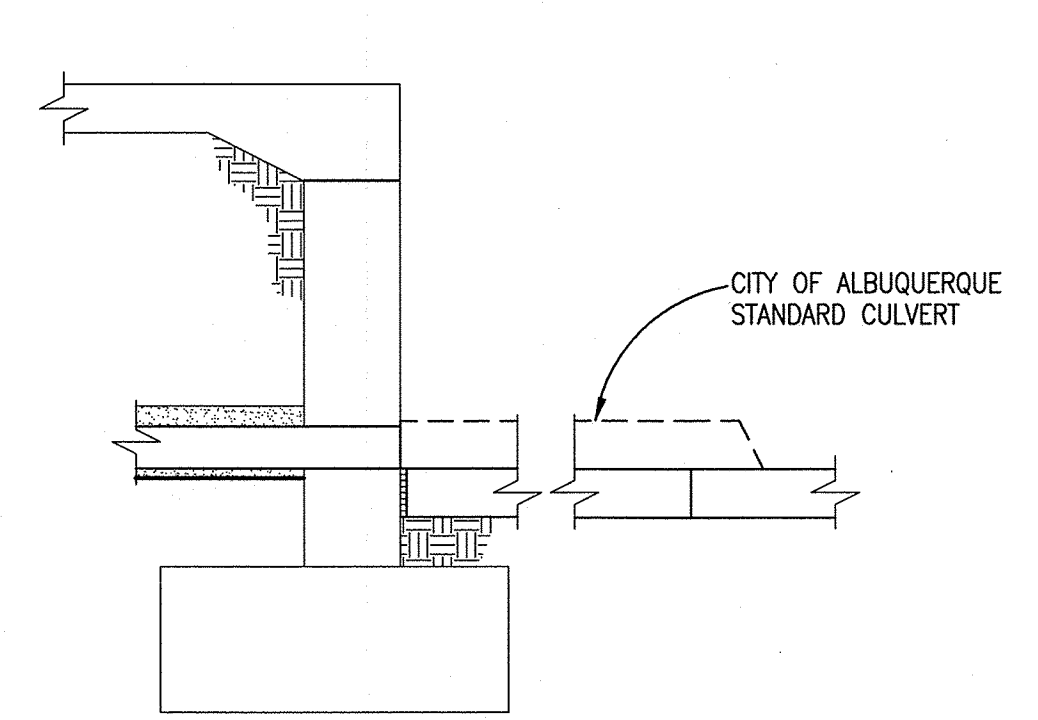
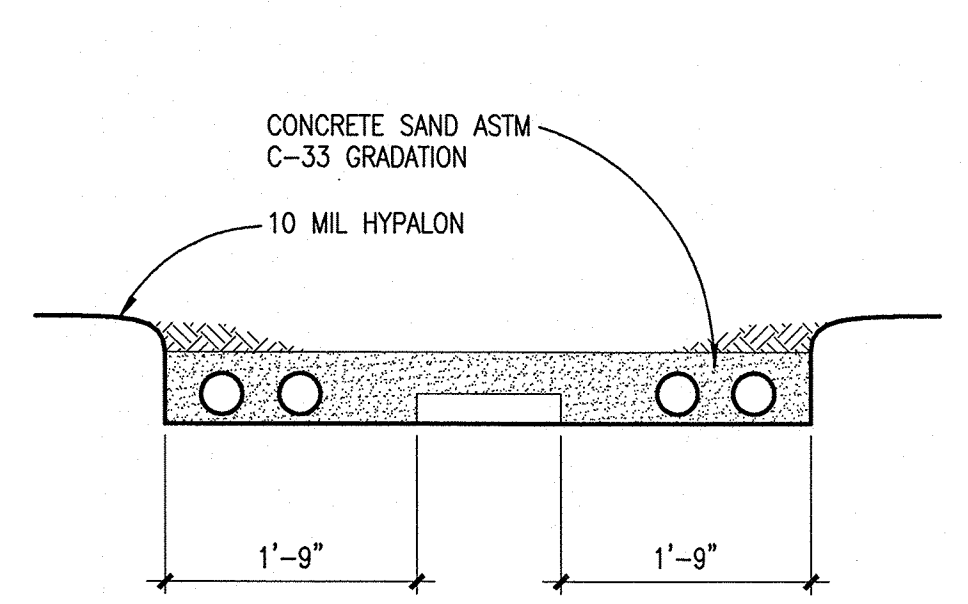
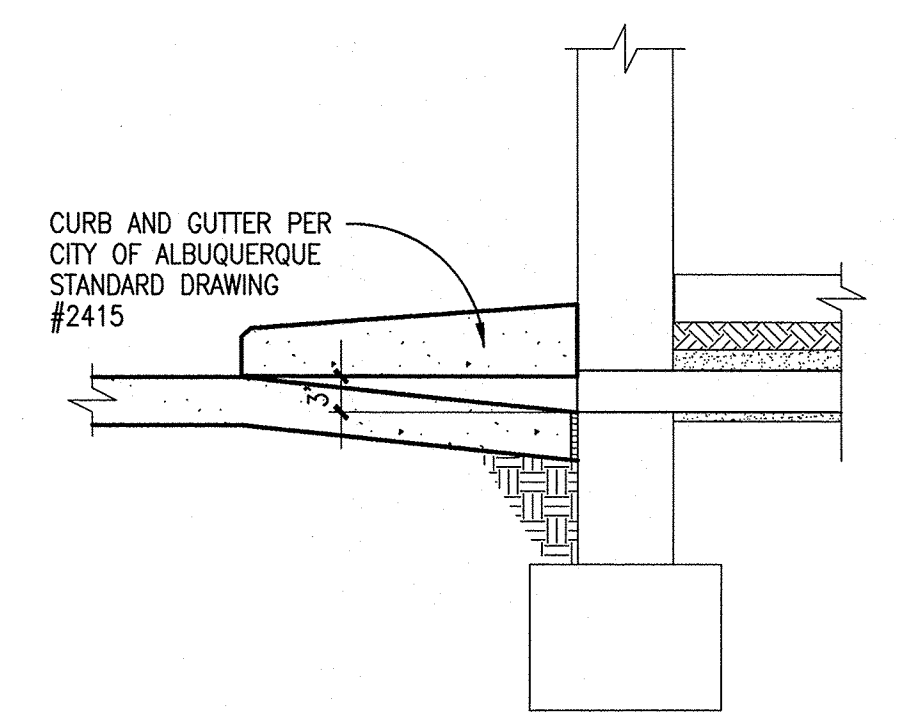
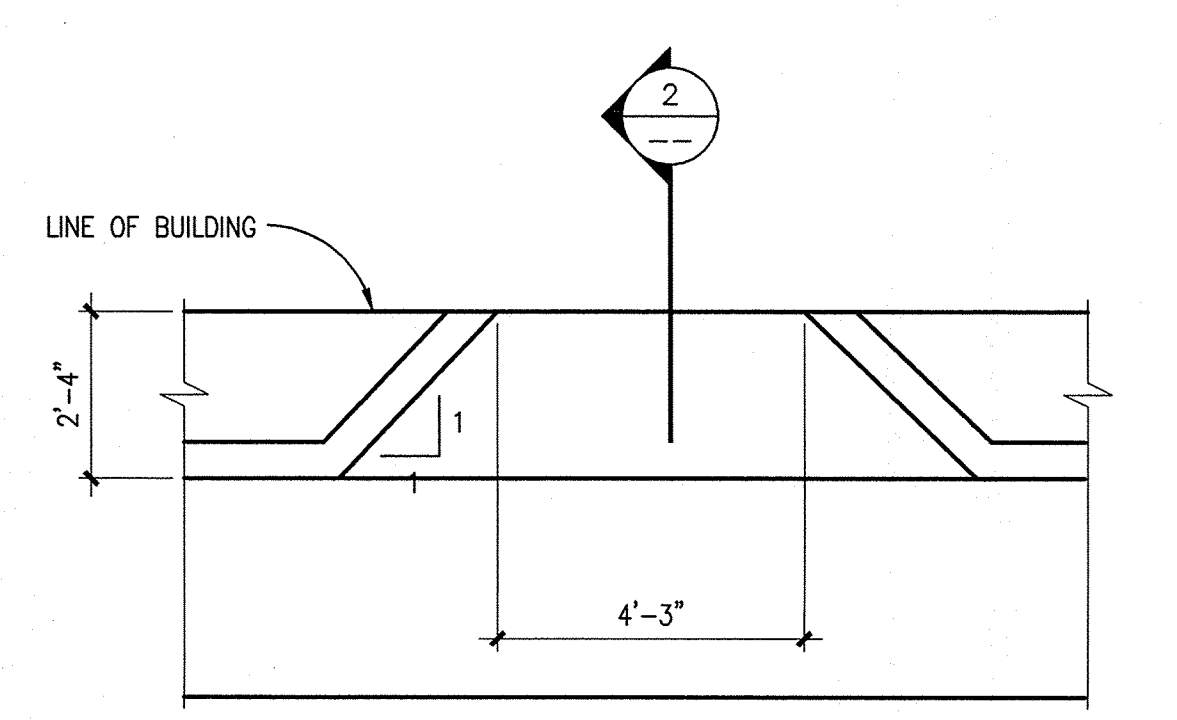
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Victor J. Chavez*  
VICTOR J. CHAVEZ, NMPE 5713  
DATE 4/10/06

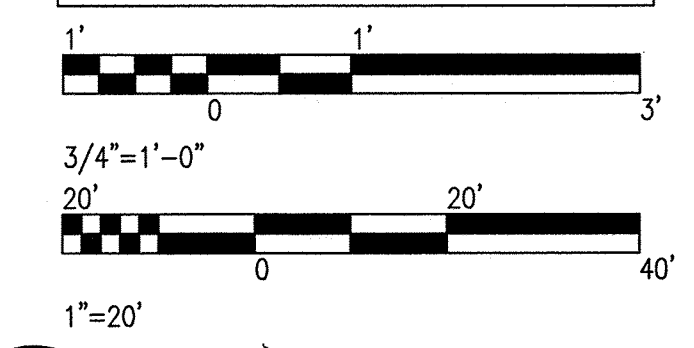


## 1 GRADING & DRAINAGE PLAN

SCALE 1"=20'-0"



THESE RECORD DRAWINGS HAVE BEEN PREPARED FROM INFORMATION SUPPLIED BY THE CONTRACTOR AND SHALL NOT BE CONSTRUED AS A CERTIFICATION OF ACTUAL CONDITIONS BY THE ENGINEER.



**CG** **Chavez-Grievos**  
consulting engineers, inc.  
5639 JEFFERSON STREET NE • ALBUQUERQUE, NM 87109  
PHONE (505) 344-4080 • FAX (505) 343-8759

DRAWN	
REVISED	

RELIABLE NISSAN  
9901 COORS ROAD  
ALBUQUERQUE, NEW MEXICO 87114

ARCHITECTS, L.P.  
OWENS  
DALLAS, TEXAS 75205 (214) 520-8878  
GUEST SITE 300  
BEELER  
4245 N. CENTRAL EXPWAY

DATE  
**02/08/05**

PROJECT  
**04513**

SHEET NUMBER  
**C1.1**  
**GRADING & DRAINAGE PLAN**