

P.O. BOX 1293, Albuquerque, NM 87103

October 16, 1996

Martin J. Chávez, Mayor

Michele F. DeLilla  
Jeff Mortensen & Assoc  
6010-B Midway Park Blvd NE  
Albuquerque, NM 87109

RE: ENGINEER' CERTIFICATION FOR NEW VISTAS UNIT 1 (B-13/D10)  
RECEIVED OCTOBER 2, 1996 FOR FINANCIAL GUARANTY RELEASE  
ENGINEER'S STAMP DATED 09-27-96

Dear Mr. DeLilla:

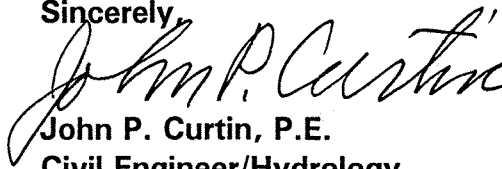
Based on the information included in the submittal referenced above, City Hydrology accepts the engineer's certification for financial guaranty release.

Contact Terri Martin to obtain the Financial Guaranty Release for City Project Number 5276.90.

Thank you for the soils data. Your project is one of the few with a 1h:1v slope that has not failed in some way. Any explanation you could provide would be appreciated.

If I can be of further assistance, You may contact me at 768-2727.

Sincerely,

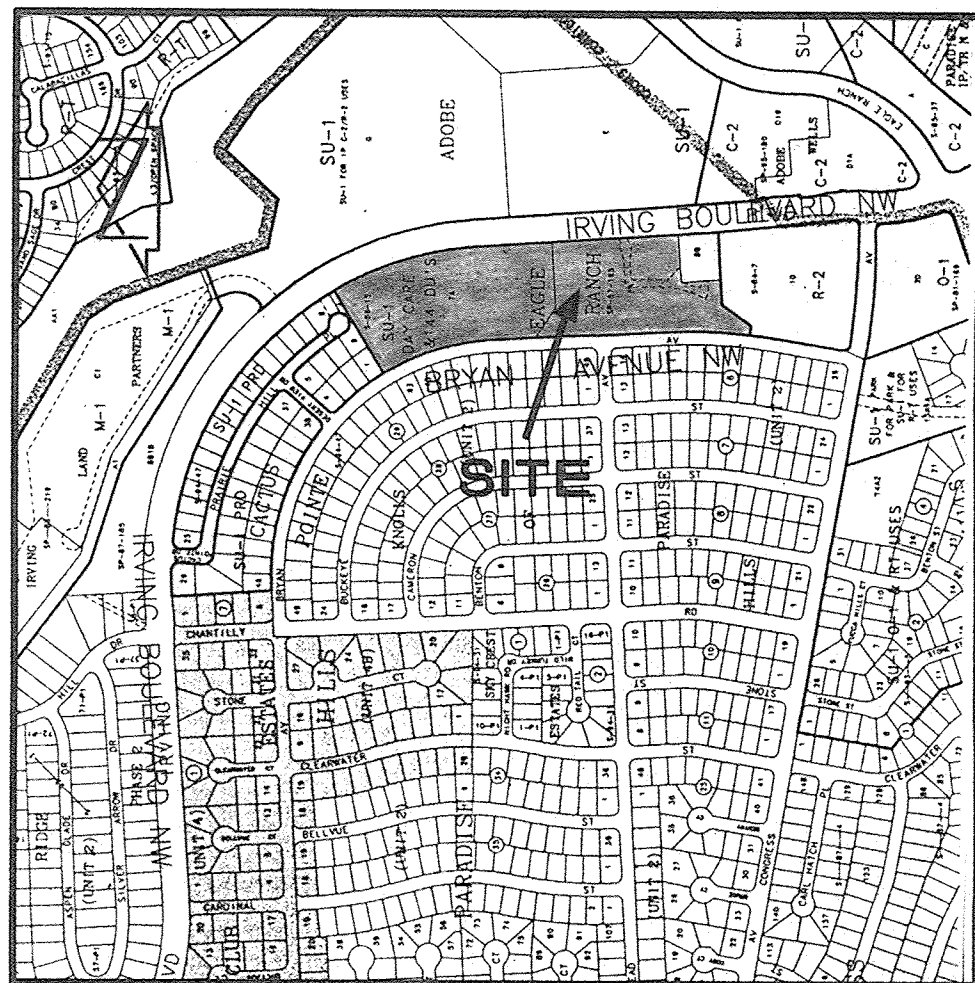
  
John P. Curtin, P.E.  
Civil Engineer/Hydrology

c: Andrew Garcia  
Terri Martin, CPN 5276.90

Good for You, Albuquerque!

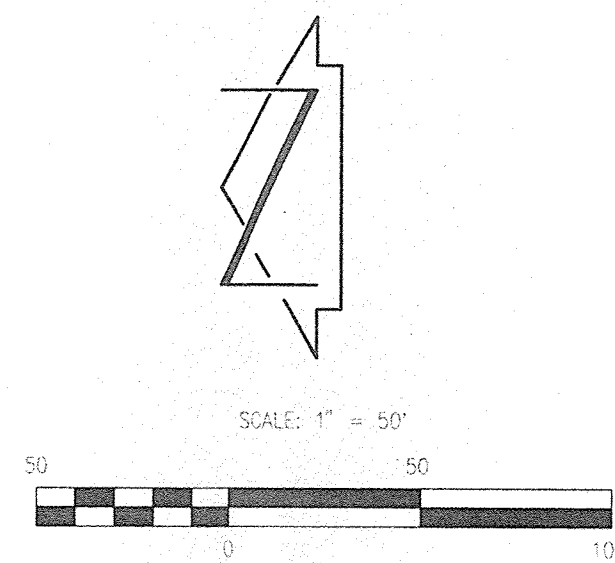






VICINITY MAP  
SCALE: 1" = 750'

B-13



### LEGAL DESCRIPTION

TRACTS 7A AND 6A, EAGLE RANCH

### PROJECT BENCHMARK

CITY OF ALBUQUERQUE CONTROL MONUMENT (4-013)  
A 3 1/4" ALUMINUM CAP INVERTED TO A PIPE PROTRUDING 0.1' ABOVE  
THE GROUND AND STAMPED "ACS 4-B13 1984" LOCATED 7.25 MILES NORTHWEST  
OF DOWNTOWN ALBUQUERQUE, NEAR THE INTERSECTION OF ARROW AVENUE, N.W.  
AND BRYAN AVENUE, N.W.  
ELEVATION=5161.23' (M.S.L.D.)

### T.B.M.

T.B.M. #1  
FOUND #5 REBAR WITH NO I.D. AS SHOWN ON THE DRAWING.  
ELEVATION=5161.23' (M.S.L.D.)

T.B.M. #2  
COUNCIL "4100" CONTROL POINT AS SHOWN ON THE DRAWING.  
ELEVATION=5128.50' (M.S.L.D.)

### LEGEND

1" = 10'	EXISTING SPOT ELEVATION
TC	TOP OF CURB
FL	FLOW LINE
TA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
STP	STEEL PILE
NG	NATURAL GROUND
TO	TOP OF GRADE
TW	TOP OF WALL
02.5	PROPOSED SPOT ELEVATION
→	DIRECTION OF FLOW
---	PROPOSED RETAINING WALL
---	EXISTING RETAINING WALL
---	FUTURE RETAINING WALL

### KEYED NOTES

1. CONSTRUCT TYP. 18" INLET @ END OF CHANNEL
2. 5' PRIVATE DRAINAGE EASEMENT
3. CONSTRUCT GRAVEL POCKET AND DRAINLINES, PER DETAIL FOR PRIVATE SLOPE EASEMENT DRAINAGE
4. CONSTRUCT TWO (2) 4" PIPE PENETRATIONS IN CURB PER C.O.A. STD. DWG. 2235 INV. OUT = 02.02'

### AS-BUILT LEGEND

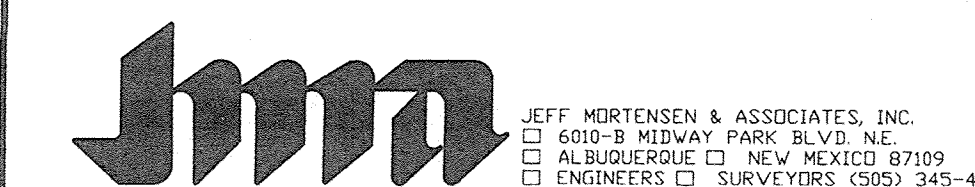
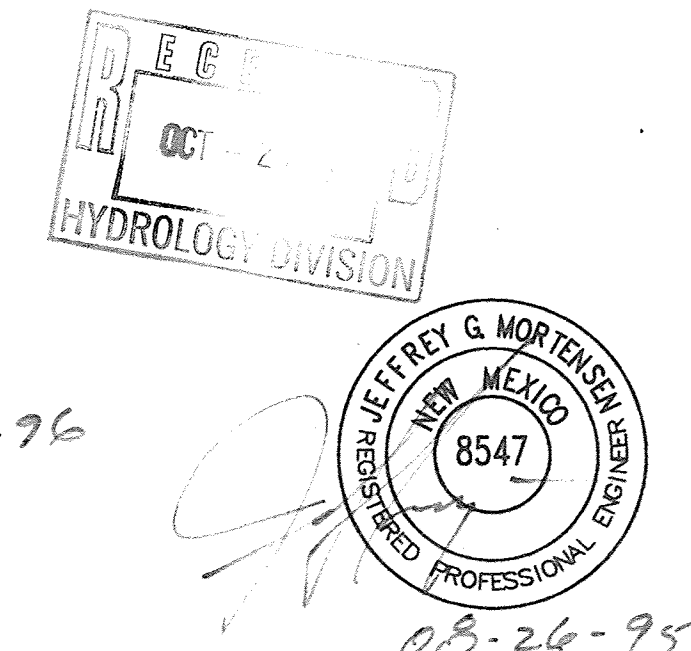
---	AS-BUILT RETAINING WALL
3.29	AS-BUILT = AS DESIGNED
---	AS-BUILT ELEVATION
H	HOUSE UNDER CONSTRUCTION



CERTIFICATION

I, Jeffrey G. Mortensen, NMPE 8547, under the laws of the state of New Mexico, do hereby certify that the "as-built" information shown hereon was obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief.

Jeffrey G. Mortensen, NMPE 8547  
Date: 09-27-96



## GRADING PLAN NEW VISTAS SUBDIVISION - UNIT 1

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.R.B.	9/96	MFD	AS-BUILT AND CERTIFY	950125
DRAWN BY				DATE
T.N.T.				04-1995
APPROVED BY				SHEET
J.G.M.				2 OF 8

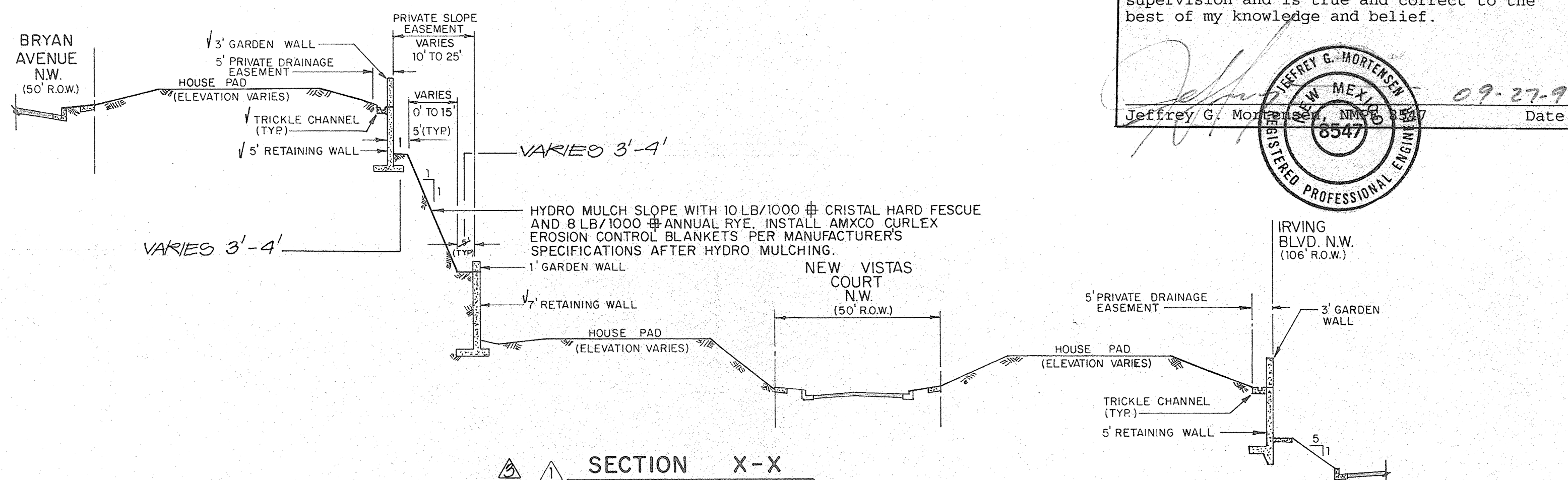


I, Jeffrey G. Mortensen, NMPE 8547, under the laws of the state of New Mexico, do hereby certify that the "as-built" information shown hereon was obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief.

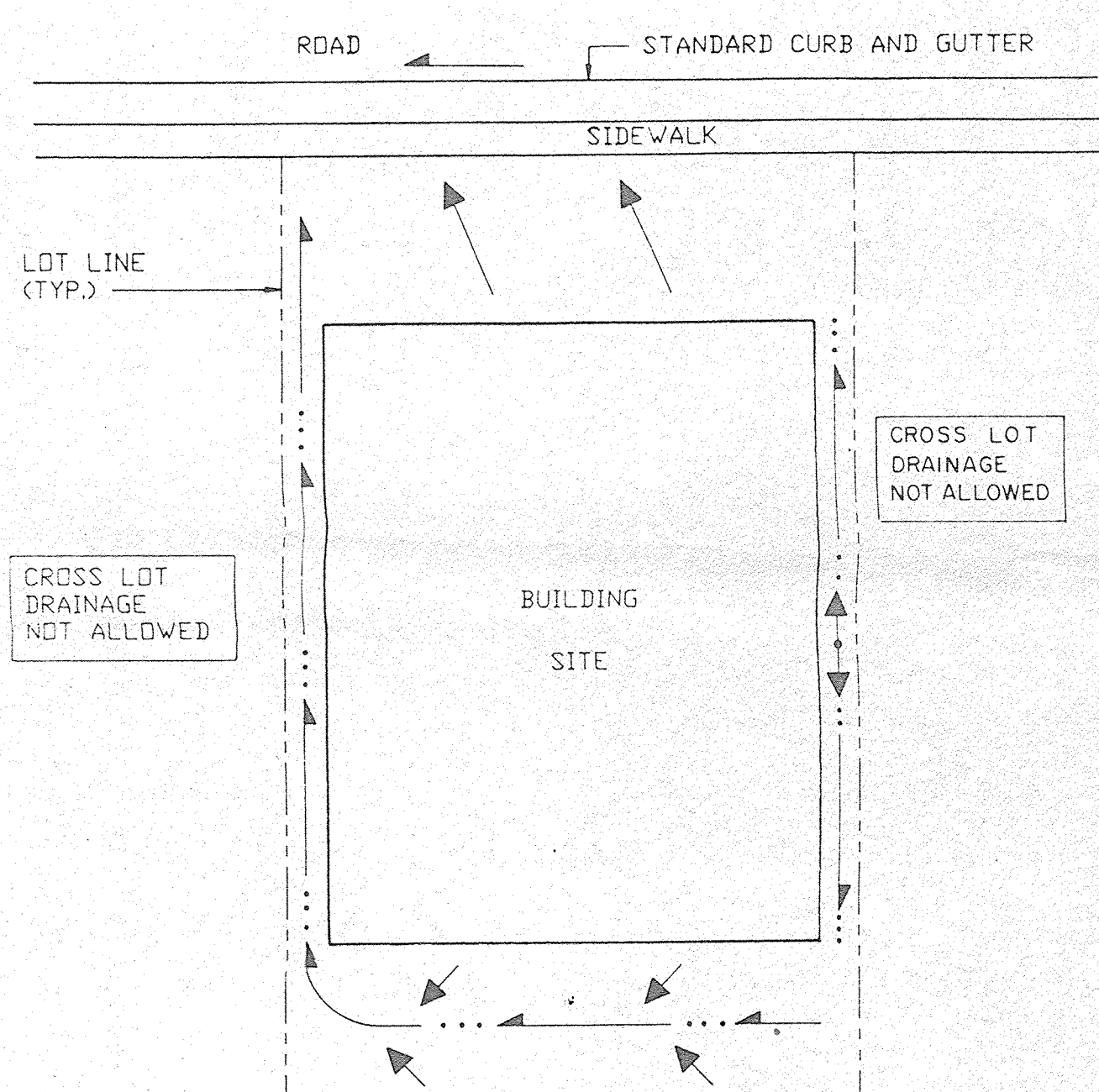
Jeffrey G. Mortensen, NM 88477 Date 09-27-9



REGISTERED PROFESSIONAL ENGINEER  
6547



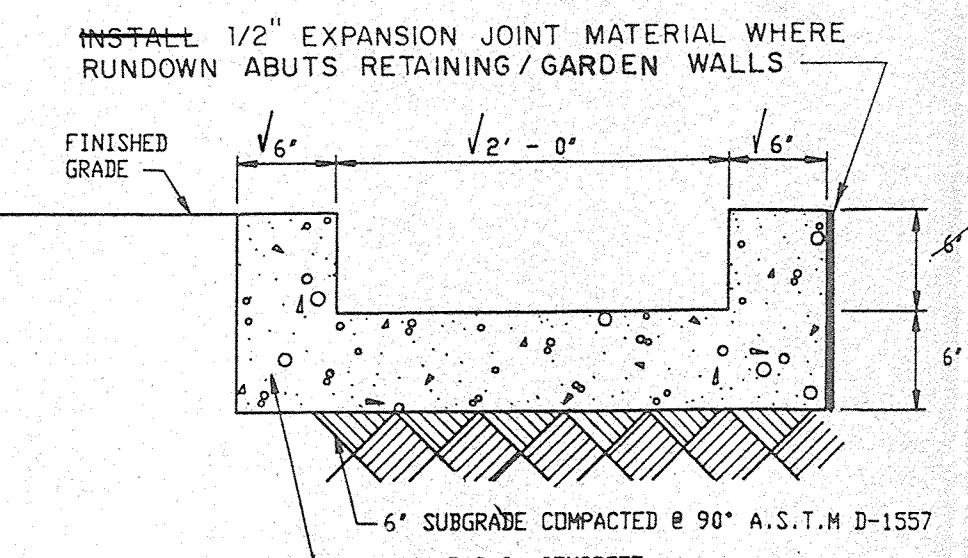
SECTION X-X  
TYPICAL LOT SECTION  
SCALE: 1" = 30' HORIZONTAL  
1" = 10' VERTICAL



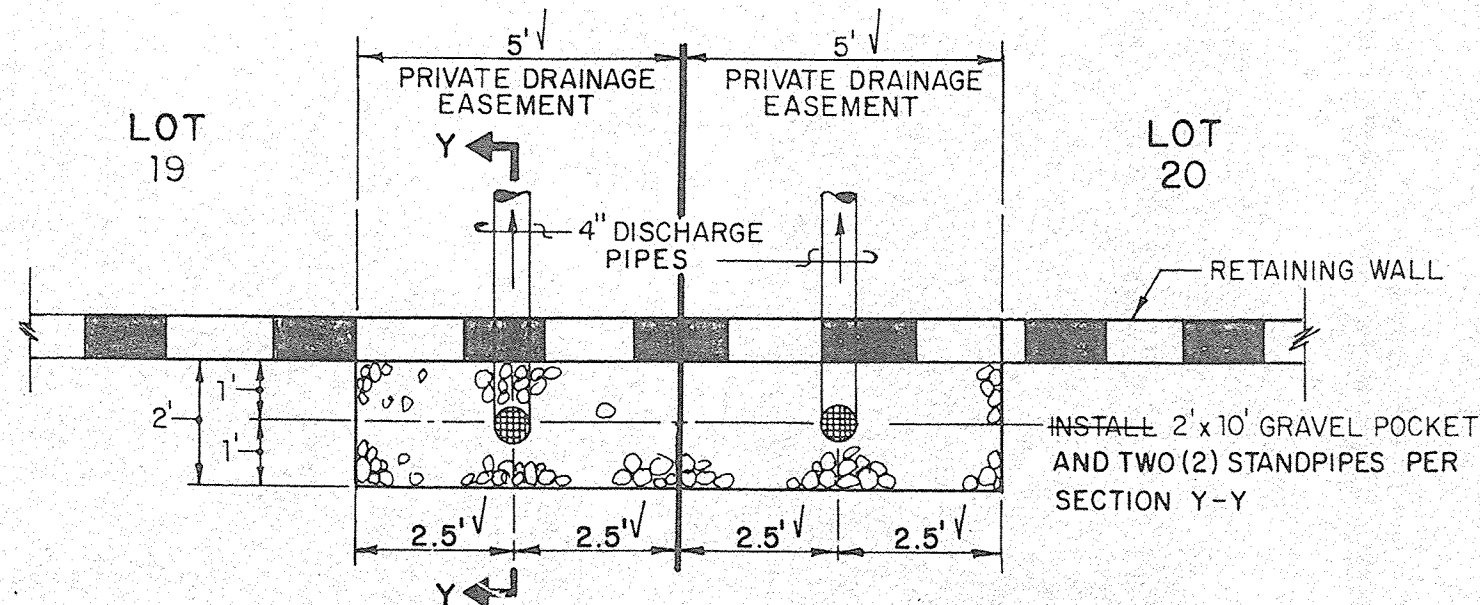
# TYPICAL LOT DRAINAGE

SCALE: 1' = 20'

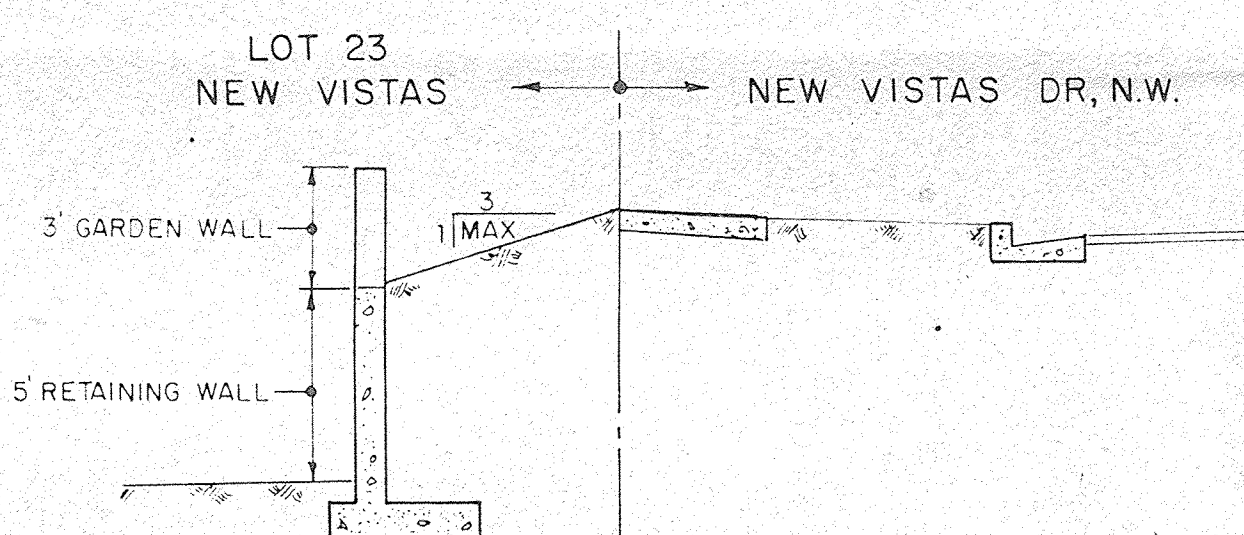
(LOTS 15 - 23 AND LOTS 40 - 46 OF BLOCK  
29 OF KNOLLS OF PARADISE HILLS)



3 TYPICAL RUNDOWN SECTION  
SCALE: 1" = 1' - 0"

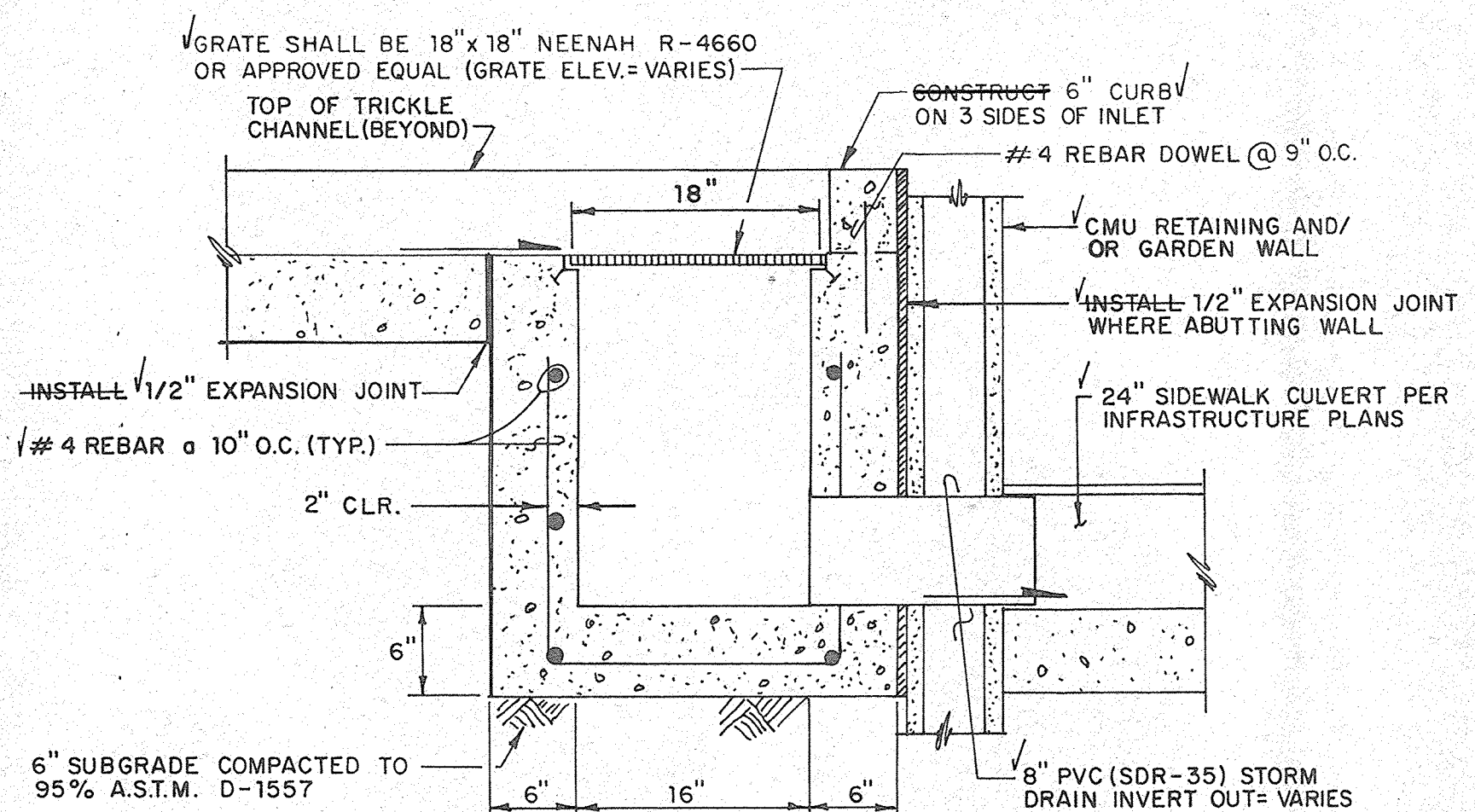


**DETAIL**  
SCALE: 1" = 3'-0"

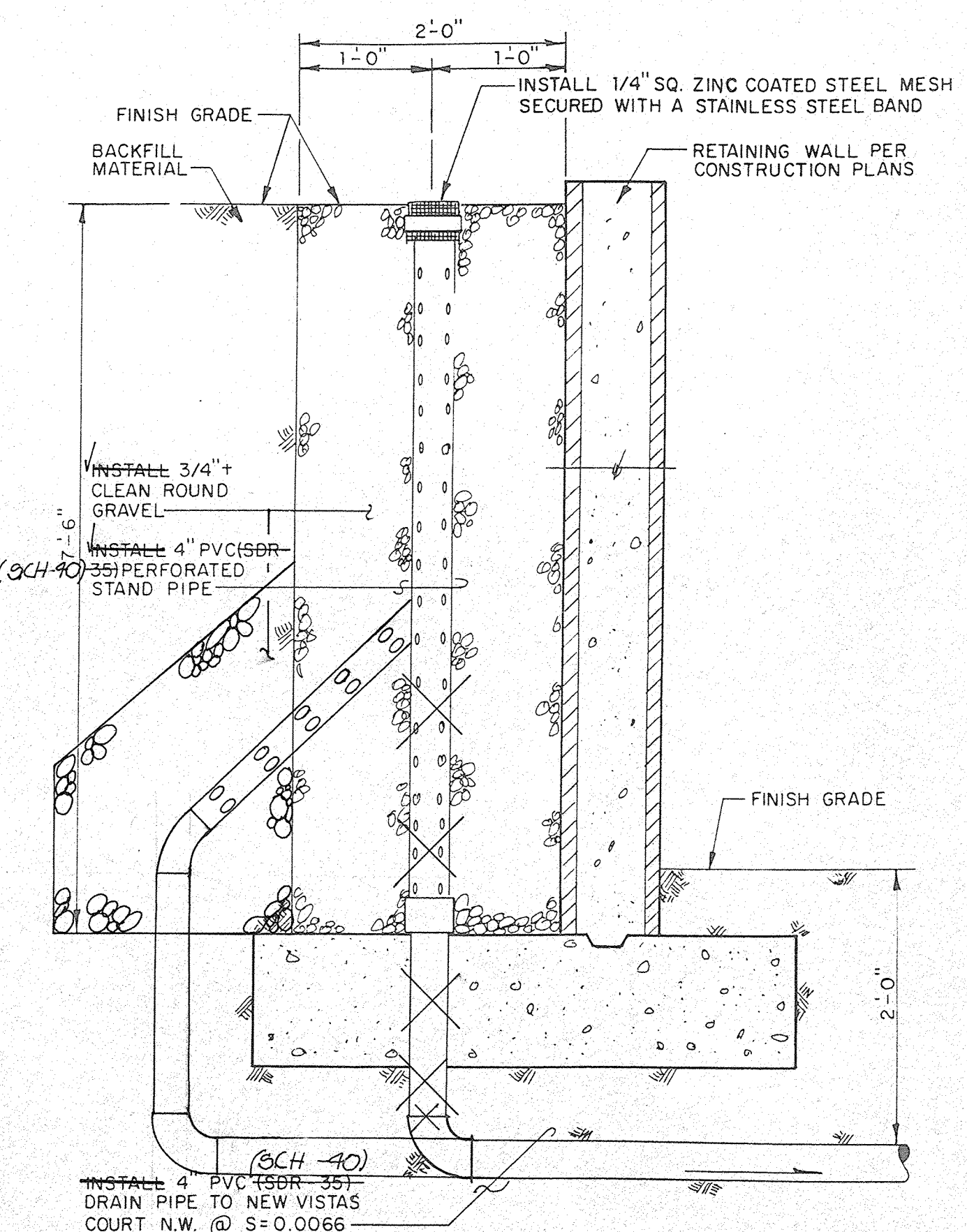


SECTION B-B

SECTION FOR LOT 23  
SCALE: 1" = 5'

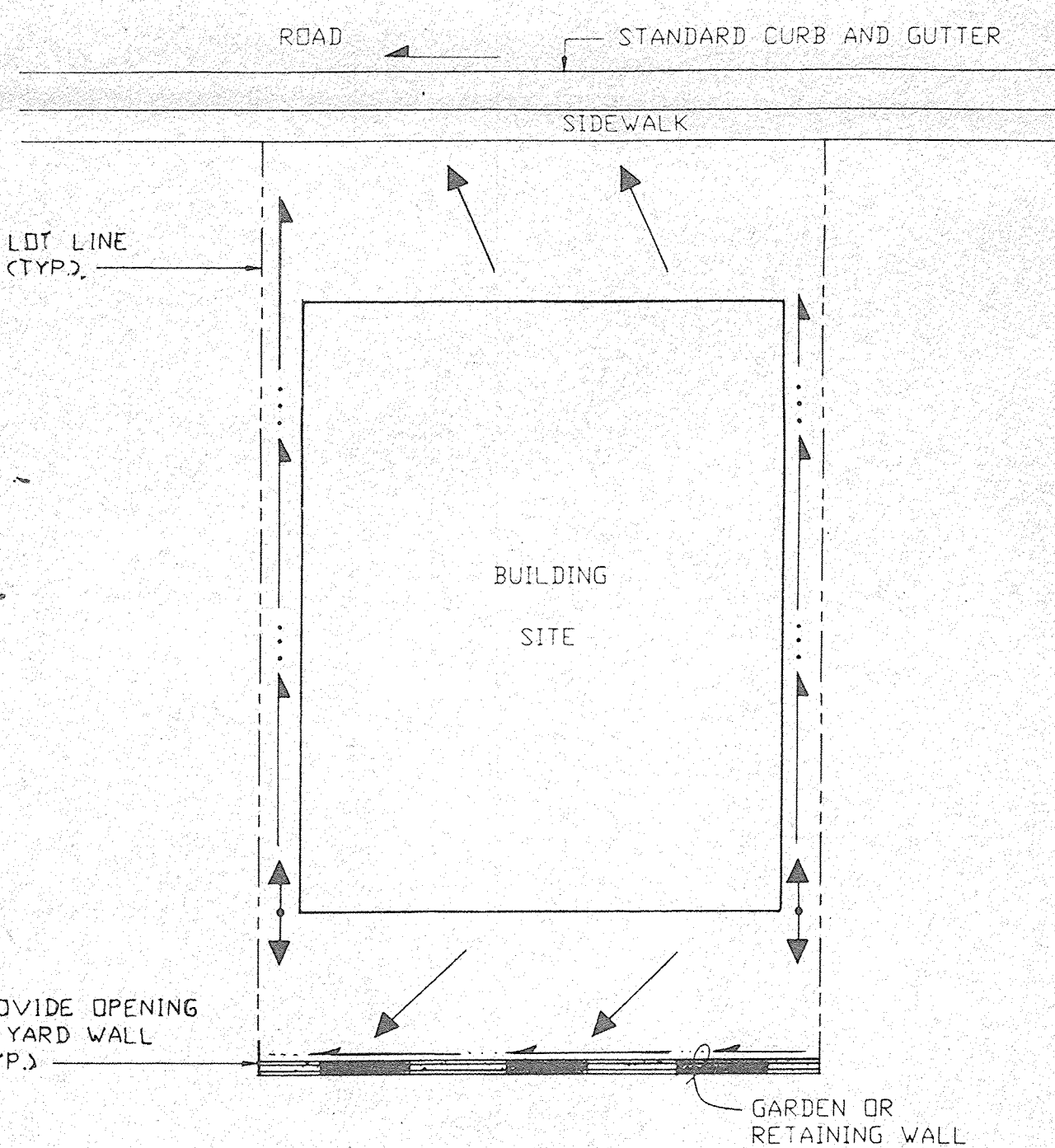


③ ② TYPICAL 18" STORM INLET SECTION  
SCALE: 1" = 1'-0"



A SECTION Y-Y

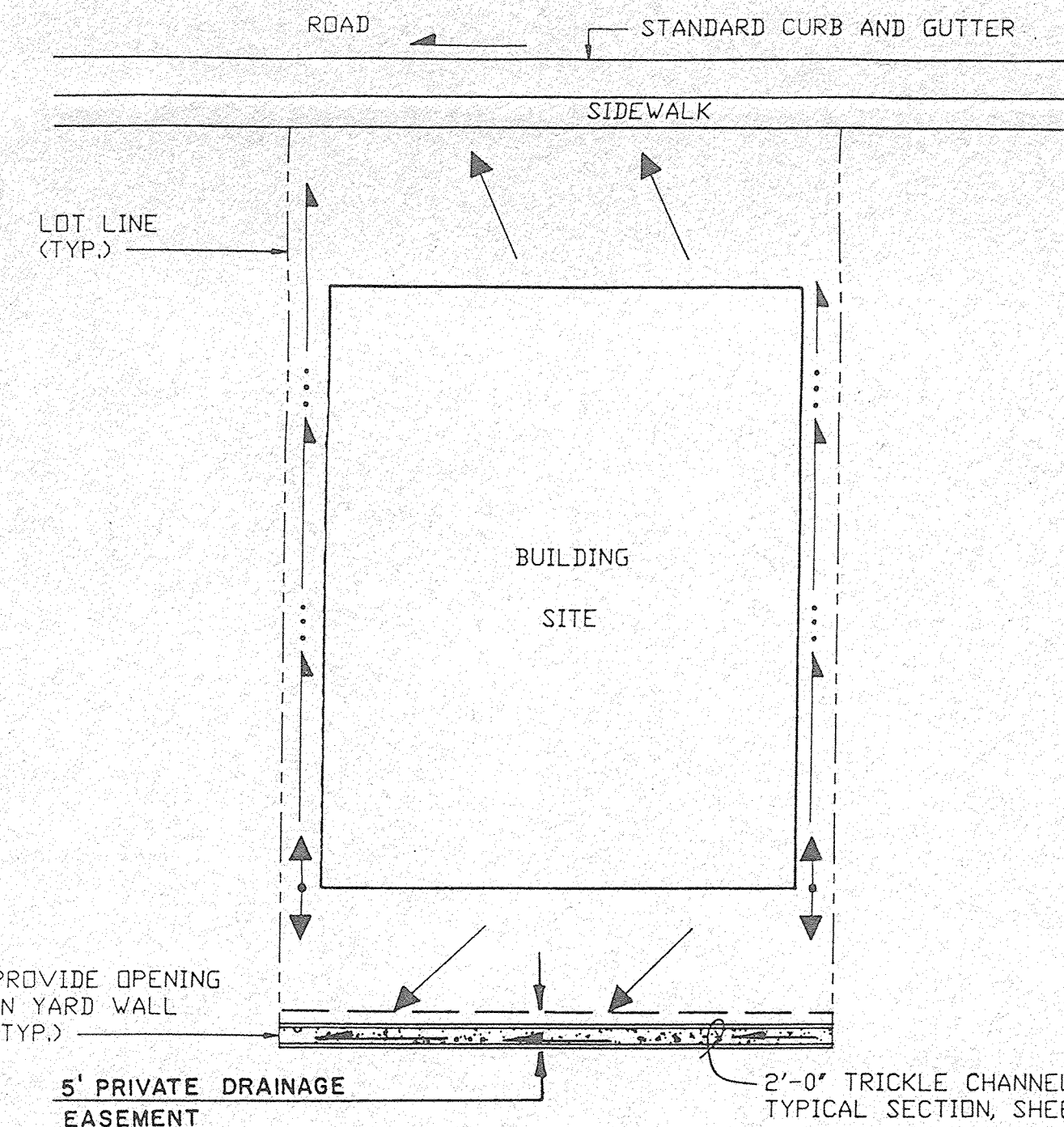
SCALE: 1" = 1'-0"



TYPICAL DOWNHILL LOT DRAINAGE  
WITHOUT TRICKLE CHANNEL

SCALE: 1" = 20'

(LOTS 1 AND 34)



TYPICAL LOT DRAINAGE  
WITH TRICKLE CHANNEL

SCALE: 1" = 20'

(LOTS 2-14 AND 25-36)

1. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557; HOUSE PADS SHALL BE COMPACTED AT 95% ASTM D-1557.
2. THE PAD ELEVATIONS SHOWN HEREON ARE FOR ROUGH GRADING PURPOSES.
3. FINISHED FLOOR ELEVATIONS MAY VARY FROM THE PAD ELEVATIONS AND WILL BE DETERMINED AS A FUNCTION OF INDIVIDUAL HOUSE DESIGN.
4. FINISHED FLOOR ELEVATIONS SHOULD BE ESTABLISHED AT A MINIMUM OF 6 INCHES ABOVE PAD ELEVATIONS; DEVIATIONS FROM THESE GUIDELINES MUST BE BASED ON THE RECOMMENDATIONS AND/OR DESIGN OF A COMPETENT DESIGN PROFESSIONAL.
5. NO CROSS-LOT DRAINAGE WILL BE ALLOWED UNLESS PROVIDED FOR BY PRIVATE DRAINAGE EASEMENT.
6. RETAINING WALLS SHALL BE CONSTRUCTED BY THE DEVELOPER.
7. YARD (GARDEN) WALLS SHALL BE CONSTRUCTED BY THE LOT OWNER OR ITS BUILDER.
8. THE FINISHED GRADING OF EACH LOT SHALL BE ACCOMPLISHED BY THE LOT OWNER OR ITS BUILDER. RUNOFF SHOULD BE DIRECTED TO THE STREETS OR DRAINAGE EASEMENT (IF AVAILABLE).
9. MAXIMUM UNPROTECTED SLOPES SHALL BE 3:1; MINIMUM SLOPES SHALL BE 1%.
10. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
11. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
12. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
13. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
14. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
15. ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD EXCAVATED MATERIAL, ETC.) SHALL BE REVEALED ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE-GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

JEFF MORTENSEN & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS & SURVEYORS (505)345-4250

NOTES, DETAILS, & SECTIONS

NEW VISTAS SUBDIVISION

DESIGNED BY	G.R.B.	NO.	DATE	BY	REVISIONS	JOB NO.
		1	04/95	G.R.B.	DELETE SECTION A-A, ADD SECTION X-X	950125
DRAWN BY	J.E.W.	2	08/95	G.R.B.	ADD TYPICAL 18" INLET SECTION, DETAIL 17, SECTION Y-Y	DATE
		3	09/95	J.F.D.	DRAINAGE CERT	03/95
APPROVED BY	J.G.M.					SHEET
						3 OF 8