

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

July 13, 2018

Philip Clark  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

RE: **9808 Davenport NW**  
**Grading Plan**  
**Engineer's Stamp Date 6/27/18**  
**Hydrology File: B13D011A**

Dear Mr. Clark:

Based on the information provided in the submittal received on 7/2/18 the above-referenced Grading Plan cannot be approved for Grading or Building Permit until the following are addressed:

Prior to Grading Permit:

1. Provide a section view through the southern common wall demonstrating that no fill is being placed against it. The existing wall appears to have been constructed as a garden (non-retaining wall). If wishing to fill along the southern edge of the property, a new retaining wall inset from the property line will need to be constructed. Alternatively, consider a stem wall integral with the house to elevate the pad/slab to elevation ~5187'.
2. First flush retention is no longer required on single residences; the ponds may be removed if desired.
3. This area was master planned under SAD-226 and an inlet was provided in the backyard in order to drain the entire lot. No attempt needs to be made to drain the lot to the road; the entire lot may drain to the backyard and into the provided inlet.
4. Increase the density of existing and proposed spot elevations and provide existing and proposed contours. Demonstrate that care is taken in grading near the property lines in accordance with the *DPM Chapter 22.5 Parts A & B*.

Prior to Building Permit (For Information):

5. Engineer's Certification of the compacted pad and grading, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

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Prior to Certificate of Occupancy (For Information):

6. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required to ensure the site and the grades against the neighboring walls were not disturbed during home construction.

If you have any questions, I can be contacted at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,



Dana Peterson  
Senior Engineer, Planning Dept.  
Development Review Services

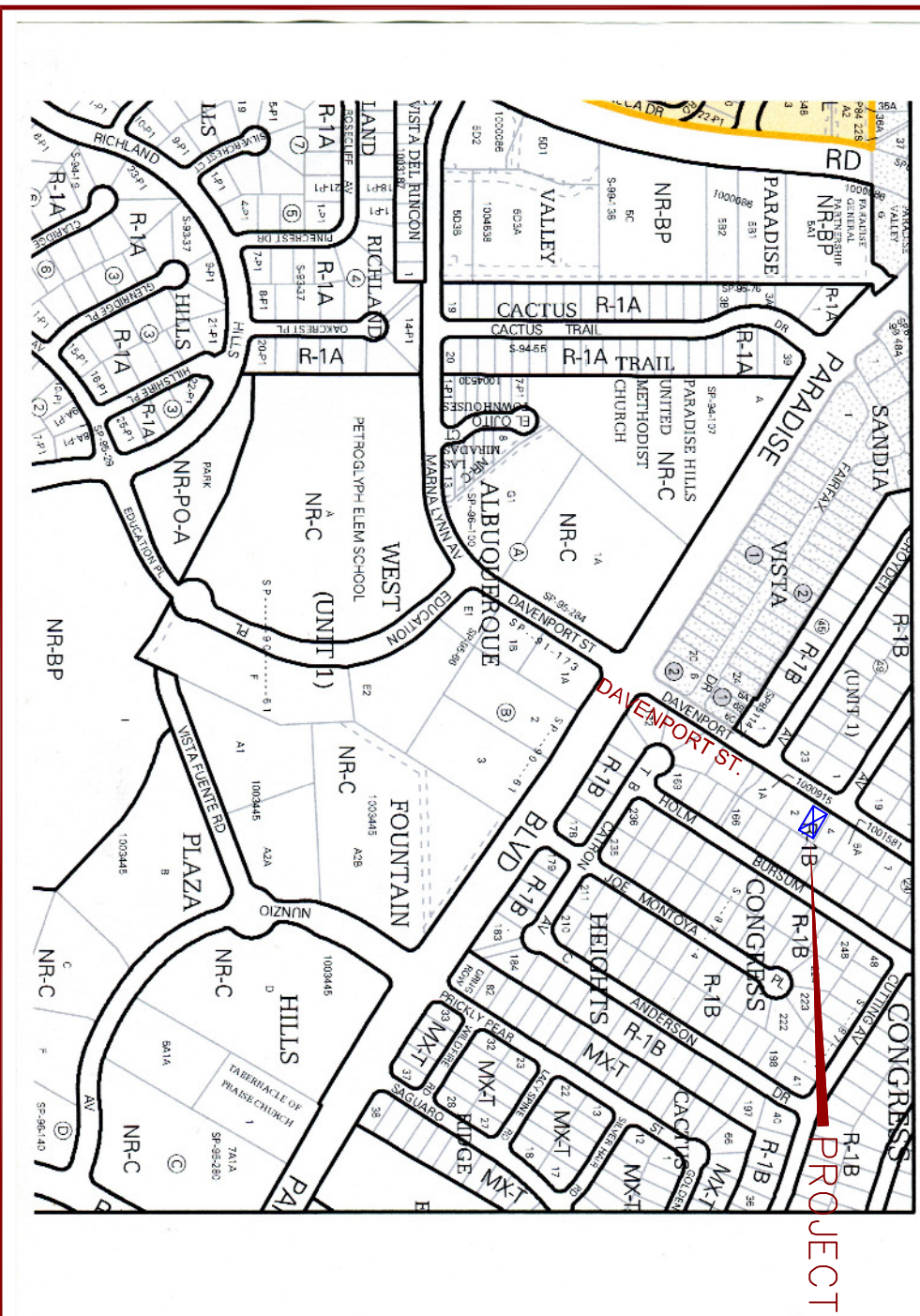
PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)





## VICINITY MAP

## ZONE C-12

### NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 1988, W/ 9 UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
5. CONTRACTOR SHALL ENSURE THAT NO SITE SOIL SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
6. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012, NATIVE SEED MIX.
7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1. DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

### LEGEND

- EXIST. SPOT ELEVATION
- EXIST. CONTOUR
- NEW SPOT ELEVATION
- NEW CONTOUR
- NEW SWALE
- DRAINAGE DIRECTION, EXISTING
- FLOWLINE
- EXISTING POWER POLE
- NATURAL GROUND, EXISTING
- REBAR AND CAP, EXISTING

### PROJECT DATA

LEGAL DESCRIPTION:  
LOT 3, BLOCK 24, KNOLLS OF PARADISE HILLS  
ALBUQUERQUE, BERNALILLO COUNTY, NM  
PROJECT BENCHMARK  
PROJECTION OF INV PROP. CORNER, EXISTING FLOWLINE  
SEE PLAN, ASSUME ELEVATION = 6386.0 AS REFERENCED FROM ACS  
MONUMENTATION SYSTEM

EXPRESSLY PREPARED FOR TERRANOVA BUILDERS

**Clark Consulting Engineers**

19 Ryan Road  
Edgewood, New Mexico 87015

Office: (505) 264-0092

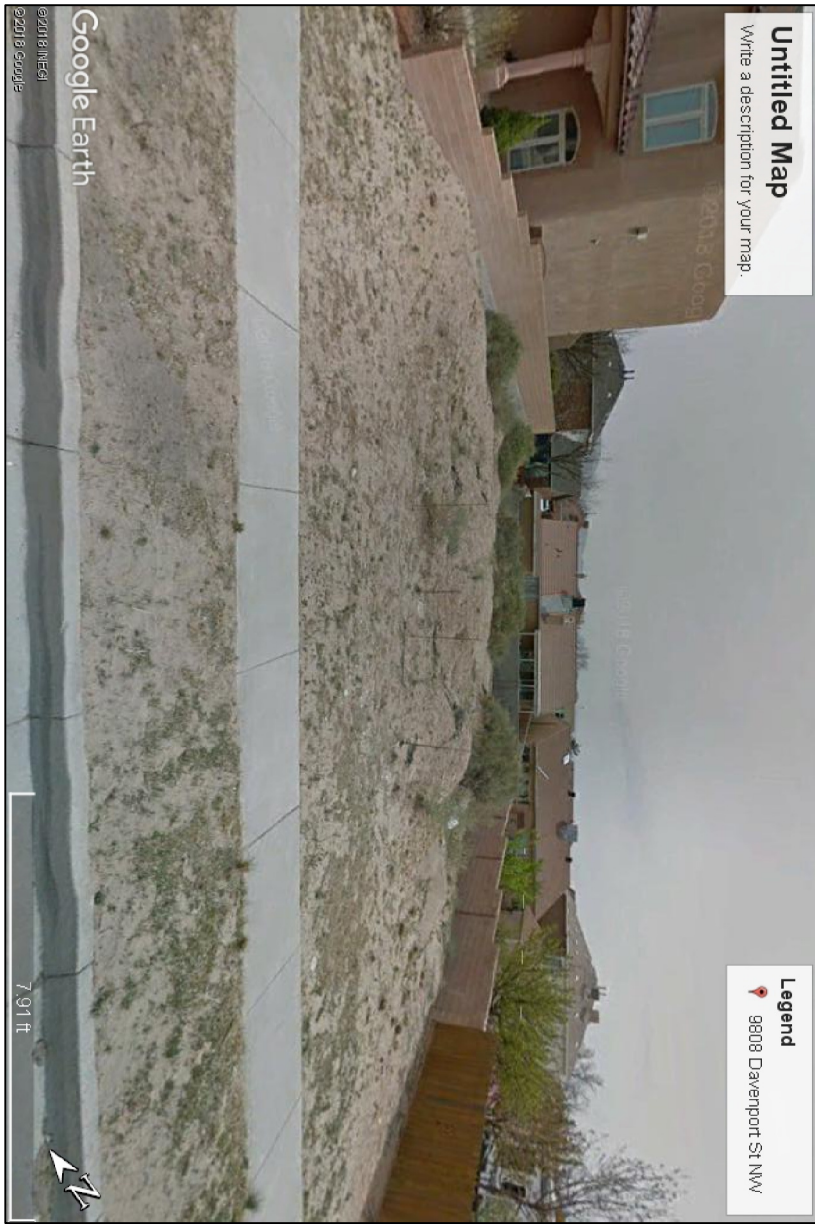
Phone: (505) 261-2444

DATE: 6/23/18  
DESIGNED BY: PWC  
CHECKED BY: PWC

9808 DAVENPORT, NW  
Grading & Drainage  
Plan

PHILIP W. CLARK NMPE #10265

STREET VIEW - LOOKING EASTERLY



## CALCULATIONS

### POND CALCS.

FIRST FLUSH, PER DPM, WATER QUALITY TABLE 2:  
0.34712 X 2850 SF = 81 CF POND MIN. REQD

1/8" SEC. \* 28 CF PER 1000 SF OF ADDITIONAL IMPERVIOUS  
FLATWORK (66 LAND TREATMENT D)

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO SIGNIFICANT EARTHWORK NOR MAJOR DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

