

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

August 20, 2018

Philip Clark
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

RE: **9808 Davenport NW**
Request for Pad Certification – Not Accepted
Engineer's Stamp Date 7/17/18
Certification Dated: 8/8/18
Hydrology File: B13D011A

Dear Mr. Clark:

PO Box 1293

Based on the submittal received on 8/16/18 the above-referenced Certification is not approved for Building Permit. Please address the following:

Albuquerque

Prior to Building Permit:

NM 87103

1. Remove dirt from neighboring wall on the south side.
2. Prepare the subgrade for the stemwall

www.cabq.gov

Prior to Certificate of Occupancy (For Information):

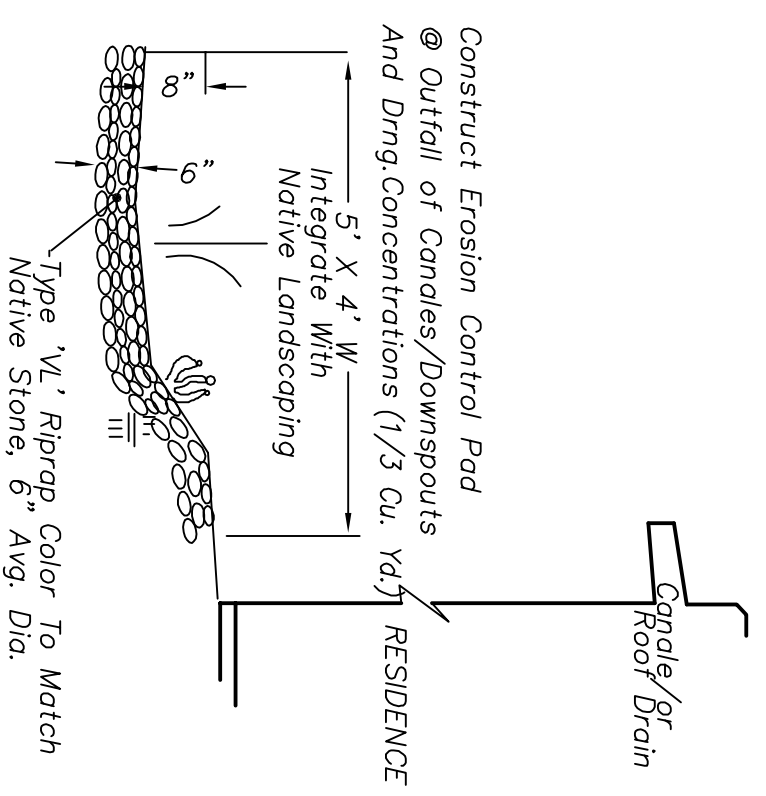
3. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required to ensure the site and the grades against the neighboring walls were not disturbed during home construction.

If you have any questions, I can be contacted at 924-3695 or dpeterson@cabq.gov.

Sincerely,

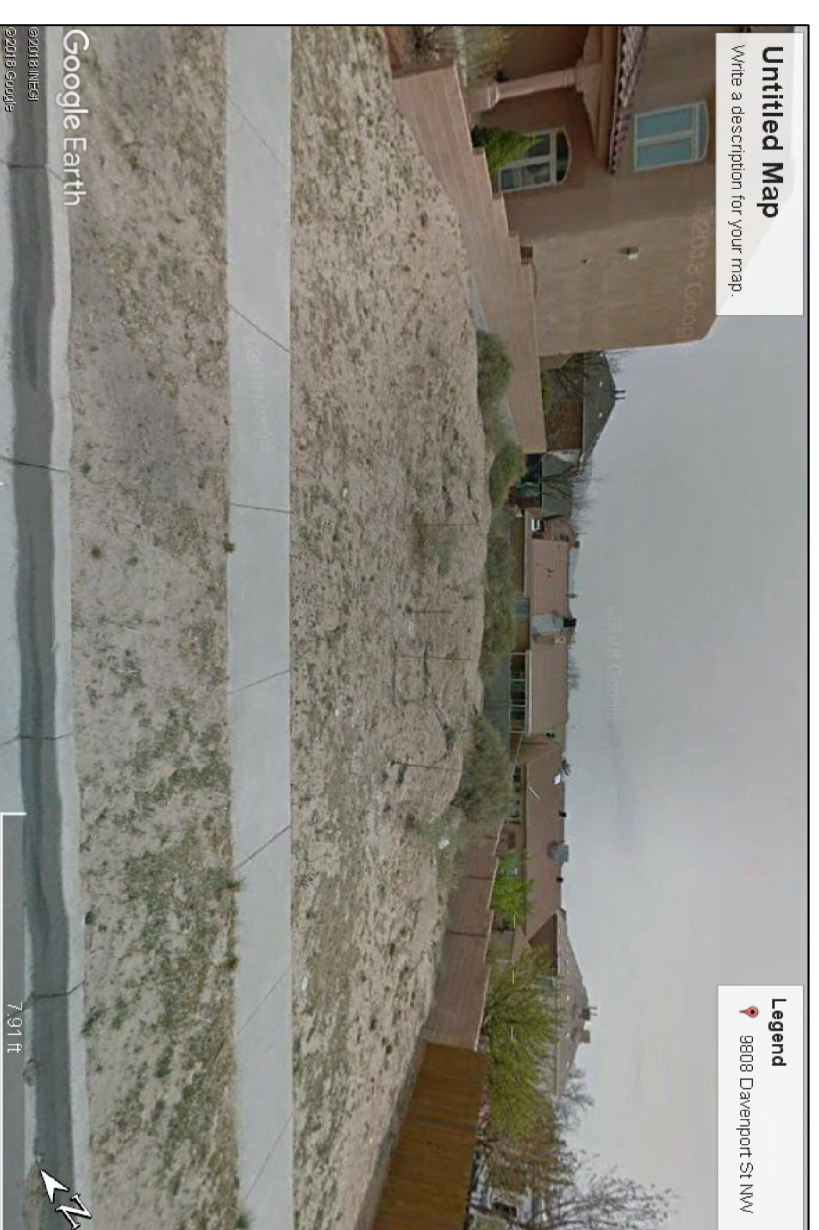
Dana Peterson
Senior Engineer, Planning Dept.
Development Review Services

TE/DP
C: email File

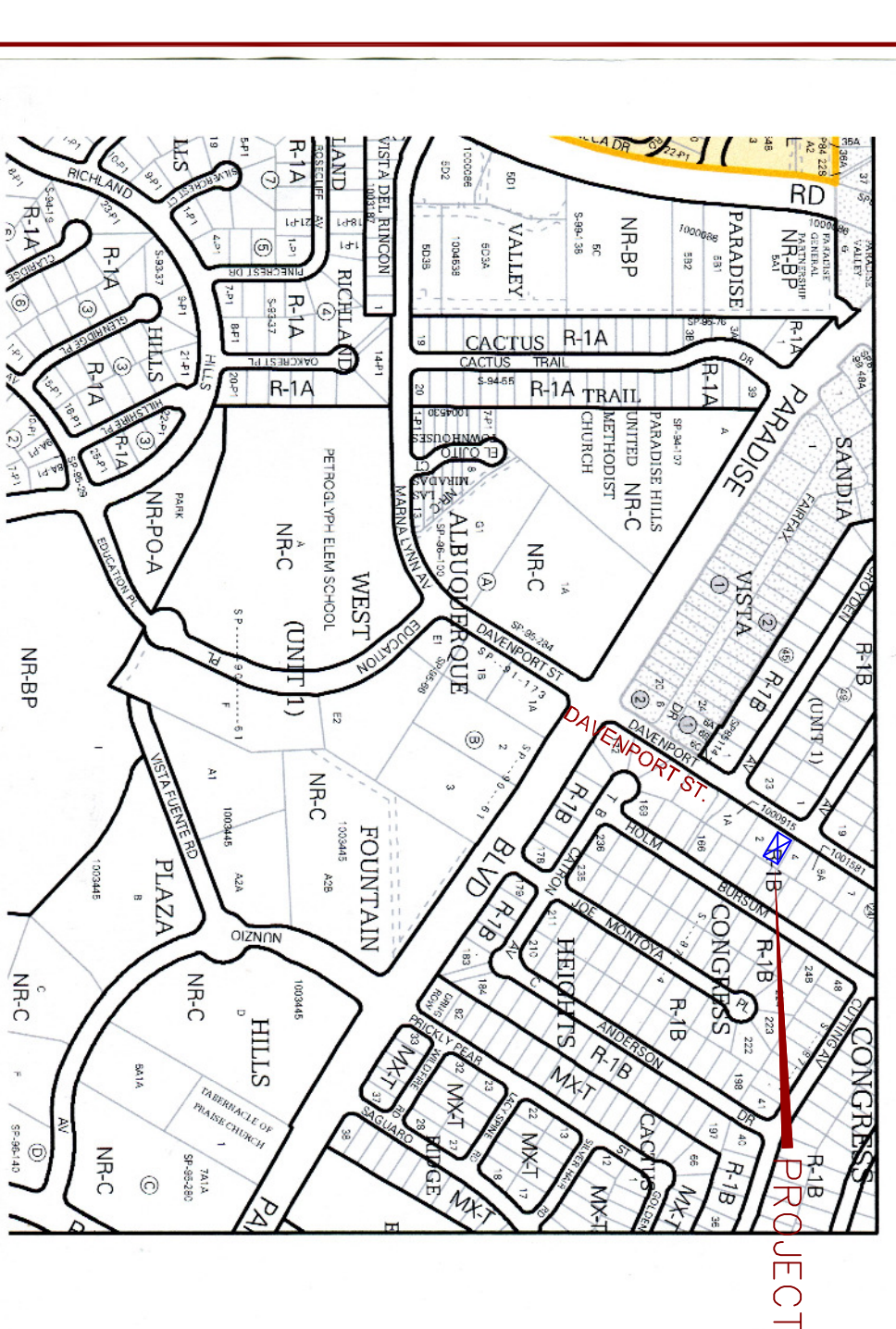
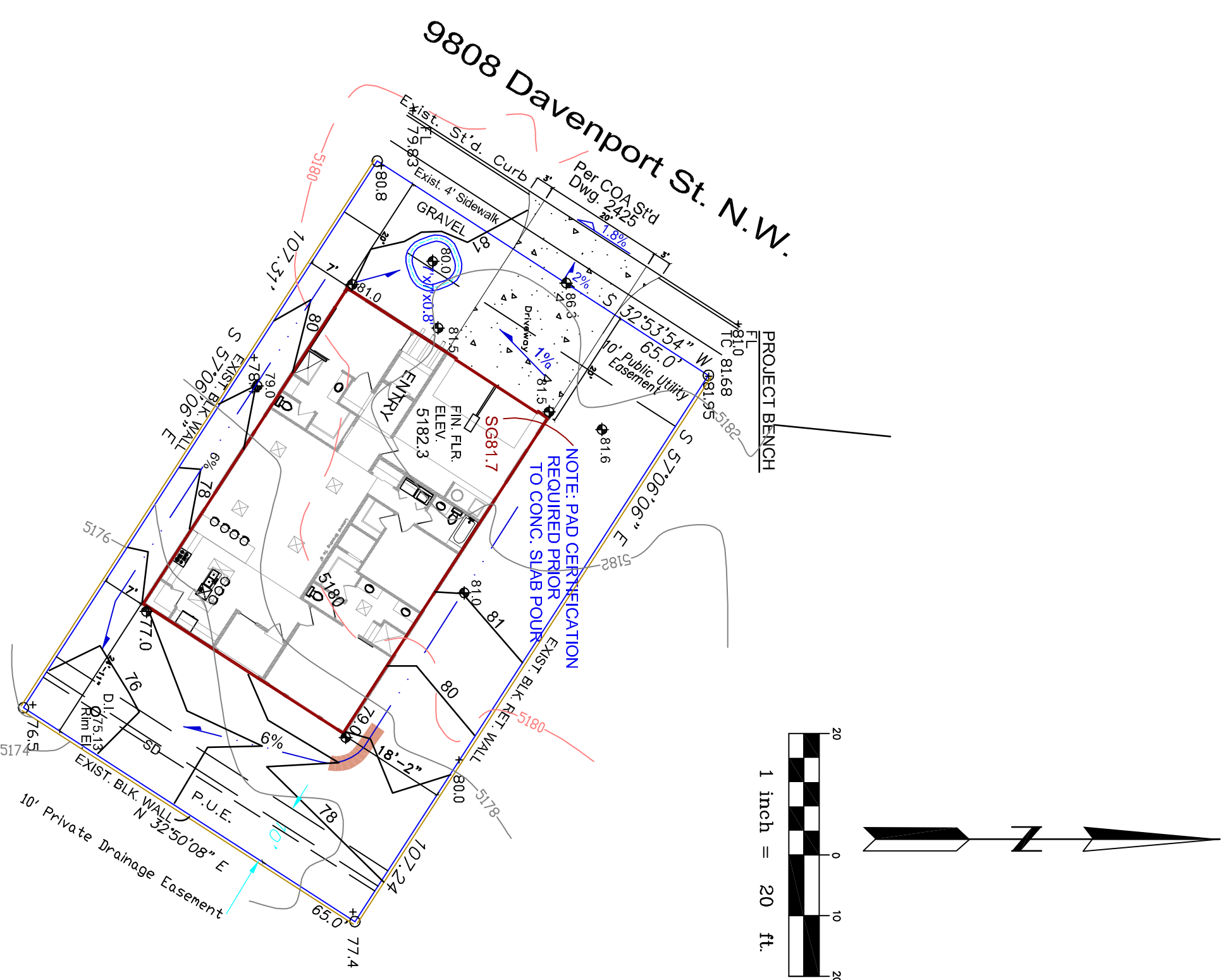


EROSION CONTROL PAD

NO SCALE



STREET VIEW - LOOKING EASTERLY



VICINITY MAP ZONE C-12 PROJECT

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 1988, W/ 9 UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
5. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
6. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012, NATIVE SEED MIX.
7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1. DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

LEGEND

±34.0	EXIST SPOT ELEVATION
-10	EXIST CONTOUR
24.0	NEW SPOT ELEVATION
54	NEW CONTOUR
---	NEW SWALE
---	DRAINAGE DIRECTION, EXISTING
---	FLOWLINE
○ PP	EXISTING POWER POLE
NO OR G	NATURAL GROUND, EXISTING
R/C	REBAR AND CAP, EXISTING
(2"-8" DIA. Well Graded)	NEW TYPE VUL RIPRAP (BURIED 6")

PROJECT DATA

LEGAL DESCRIPTION:
 LOT 3, BLOCK 24, KNOLLS OF PARADISE HILLS
 ALBUQUERQUE, BERNALILLO COUNTY, NM
PROJECT BENCHMARK:
 PROJECTION OF NW PROP. CORNER, EXISTING FLOWLINE.
 SEE PLAN, ASSUME ELEVATION = 3981.0 AS REFERENCED FROM ACS
 MONUMENTATION SYSTEM

EXPRESSLY PREPARED FOR TERANOVA BUILDERS



19 Ryan Road
 Edgewood, New Mexico 87015

Office: (505) 394-0002

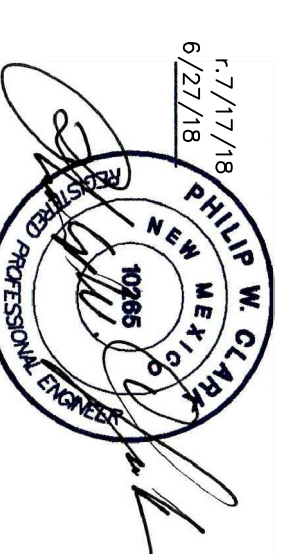
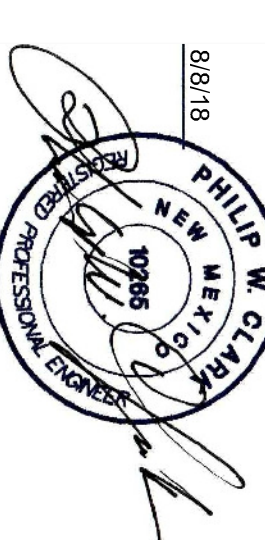
Phone: (505) 391-2444	LOT 3, BLOCK 24, KNOLLS OF PARADISE HILLS
DATE: 7/17/18	ALBUQUERQUE, BERNALILLO COUNTY, NM
REVISION: 9/6/18	9808 DAVENPORT, NW
WORK: GRADING AND DRAINAGE	Grading & Drainage
DATE: 9/6/18	Plan
PROJECT: PAD CERTIFICATION	

DESIGNED BY: PWC	DRAWN BY: COE	Terranova_Palares	1 OF 1
CHECKED BY: PWC	DATE: 6/23/18	FILE #:	G/D

CALCULATIONS

THIS PROJECT IS PART OF SPECIAL ASSESSMENT DISTRICT NO. 228 WHICH ESTABLISHED FREE-CHARGE FOR THIS SUBDIVISION AND INCLUDED THE EXISTING STORM SEWER LINE ASSOCIATED WITH THE REAR 10' PRIVATE DRAINAGE EASEMENT. A MAJORITY OF OF THE SITE RUN-OFF DRAINS AND IS GRADED TO THIS SYSTEM.

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO SIGNIFICANT EARTHWORK NOR MAJOR DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.



DRAINAGE CERTIFICATION
 I, PHILIP W. CLARK, HAVE REVIEWED THE PLAN DRAWN CONSULTING ENGINEERS, HEREBY CERTIFY THAT THE PAD CERT. IS CORRECT AND WILL DRAW IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7-17-18. THE RECORD INFORMATION ENTERED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR MY EMPLOYEE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY—PAD ELEV.
 THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN. THIS CERTIFICATION IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. I AM NOT PROVIDING ANY OTHER SERVICE AND AM NOT BEING HELD RESPONSIBLE FOR ANY OTHER SERVICE PROVIDED BY ANY OTHER PARTY.

6/22/18

1-7/17/18

6/22/18

EXPRESSLY PREPARED FOR TERANOVA BUILDERS



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