

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

July 24, 2018

Philip Clark  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

RE: **9808 Davenport NW**  
**Grading Plan**  
**Engineer's Stamp Date 7/17/18**  
**Hydrology File: B13D011A**

Dear Mr. Clark:

Based on the submittal received on 7/19/18 the above-referenced Grading Plan is approved for Grading Permit.

PO Box 1293

Prior to Building Permit (For Information):

Albuquerque

1. Engineer's Certification of the compacted pad and grading, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

Prior to Certificate of Occupancy (For Information):

NM 87103

2. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required to ensure the site and the grades against the neighboring walls were not disturbed during home construction.

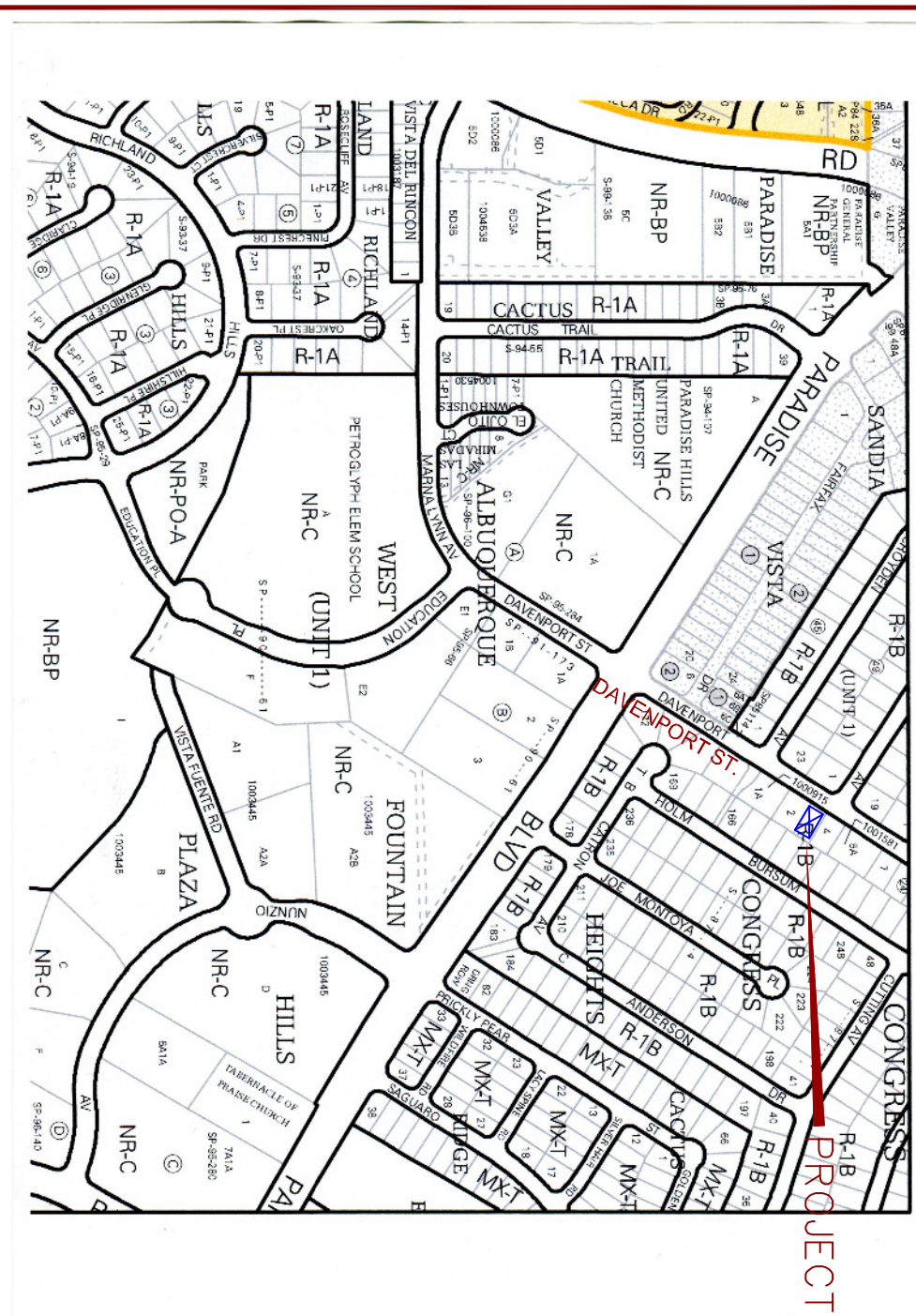
www.cabq.gov

If you have any questions, I can be contacted at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson  
Senior Engineer, Planning Dept.  
Development Review Services





## VICINITY MAP

## ZONE C-12

## NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 1988, W/ 9 UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
5. CONTRACTOR SHALL ENSURE THAT NO SITE SOIL SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
6. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012, NATIVE SEED MIX.
7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1. DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

## LEGEND

- EXIST SPOT ELEVATION
- EXIST. CONTOUR
- NEW SPOT ELEVATION
- NEW CONTOUR
- NEW SWALE
- DRAINAGE DIRECTION, EXISTING
- FLOWLINE
- EXISTING POWER POLE
- NATURAL GROUND, EXISTING
- R/C
- REBAR AND CAP, EXISTING
- NEW TYPE VUL RIPRAP (BURIED 6") (2'-8" DIA. Well Graded)

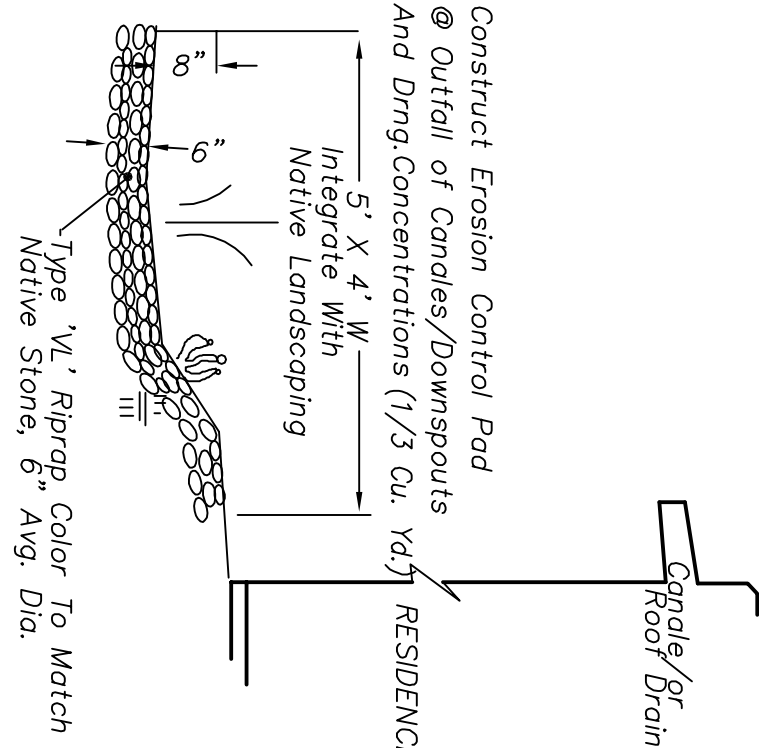
## PROJECT DATA

LEGAL DESCRIPTION:  
LOT 3, BLOCK 24, PARADISE HILLS  
ALBUQUERQUE, BERNALILLO COUNTY, NM  
PROJECT BENCHMARK:  
PROJECTION OF NW PROP. CORNER, EXISTING FLOWLINE,  
SEE PLAN, ASSUME ELEVATION = 6381.0 AS REFERENCED FROM ACS  
MONUMENTATION SYSTEM

EXPRESSLY PREPARED FOR TERRANOVA BUILDERS

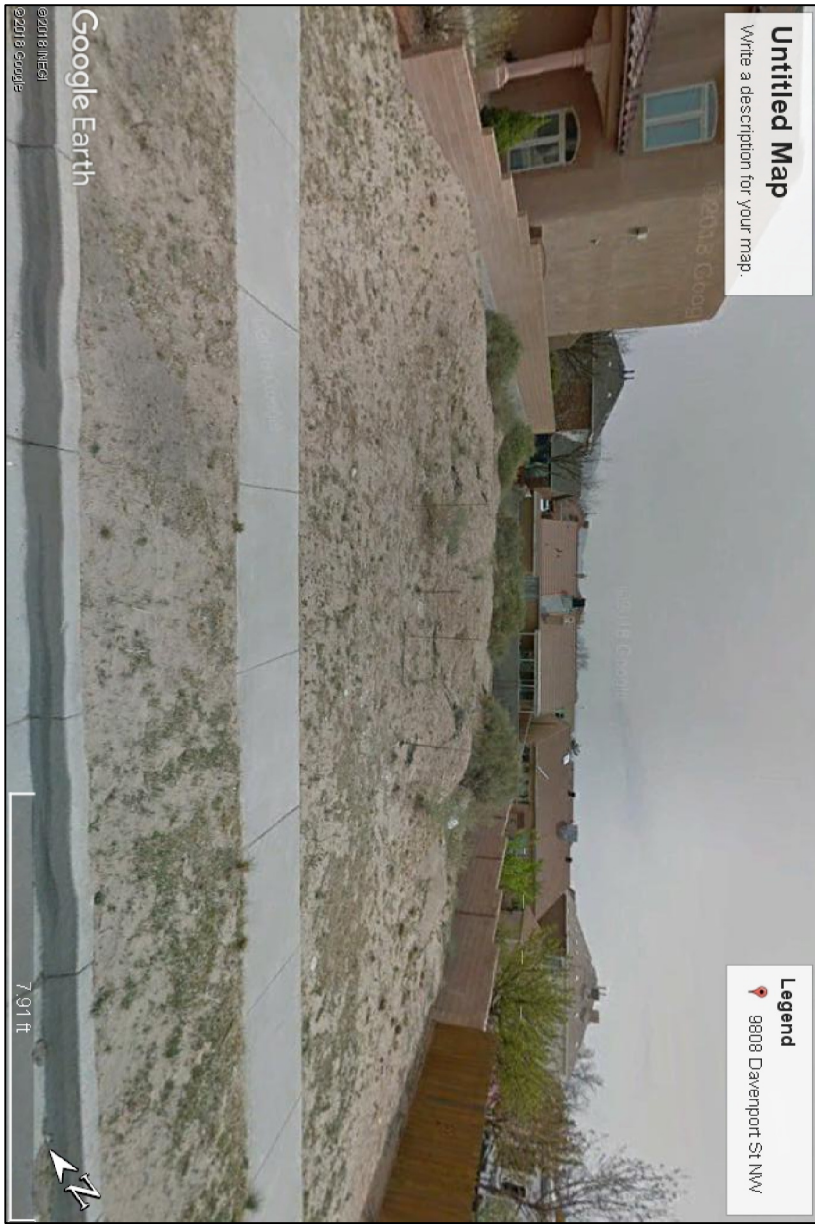
**Clark Consulting Engineers**  
19 Ryan Road  
Edgewood, New Mexico 87015  
Tel: (505) 281-2444  
Cell: (505) 284-0092

DATE	REVISION	LOT 3, BLOCK 24, PARADISE HILLS ALBUQUERQUE, BERNALILLO COUNTY, NM
7/17/18	ADK, OJA, HPBOL, SANDRICKS, DTC	9808 DAVENPORT, NW Grading & Drainage Plan
DESIGNED BY: PWC	DRAWN BY: COE	TERRANOVA BUILDERS
CHECKED BY: PWC	DATE: 6/23/18	FILE #: G/D
		1 OF 1



## EROSION CONTROL PAD

NO SCALE



STREET VIEW - LOOKING EASTERLY

## CALCULATIONS

THIS PROJECT IS PART OF SPECIAL ASSESSMENT DISTRICT NO. 228 WHICH ESTABLISHED FREE-DISCHARGE FOR THIS SUBDIVISION, AND INCLUDED THE EXISTING STORM SEWER LINE ASSOCIATED WITH THE REAR 10' PRIVATE DRAINAGE EASEMENT. A MAJORITY OF OF THE SITE RUN-OFF DRAINS AND IS GRADED TO THIS SYSTEM.

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO SIGNIFICANT EARTHWORK NOR MAJOR DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

1/7/17/18  
6/22/18  
PHILIP W. CLARK  
NEW MEXICO  
ENGINEER  
10706  
10706  
10706