

# CITY OF ALBUQUERQUE



November 24, 2015

Richard J. Berry, Mayor

Catherine Otis, P.E.  
Greenberg Farrow Engineering  
19000 MacArthur Blvd Suite 250  
Irvine, CA, 92612

**RE: Texas Roadhouse  
10030 Coors Bypass Blvd NW  
Grading and Drainage Plan  
Engineer's Stamp Date 11-23-15 (File: B13D014)**

Dear Ms. Otis:

Based upon the information provided in your submittal received 10-24-15, the above-referenced plan is approved for Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

Sincerely,

www.cabq.gov

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file

B13D014\_BP\_APPR.docx



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

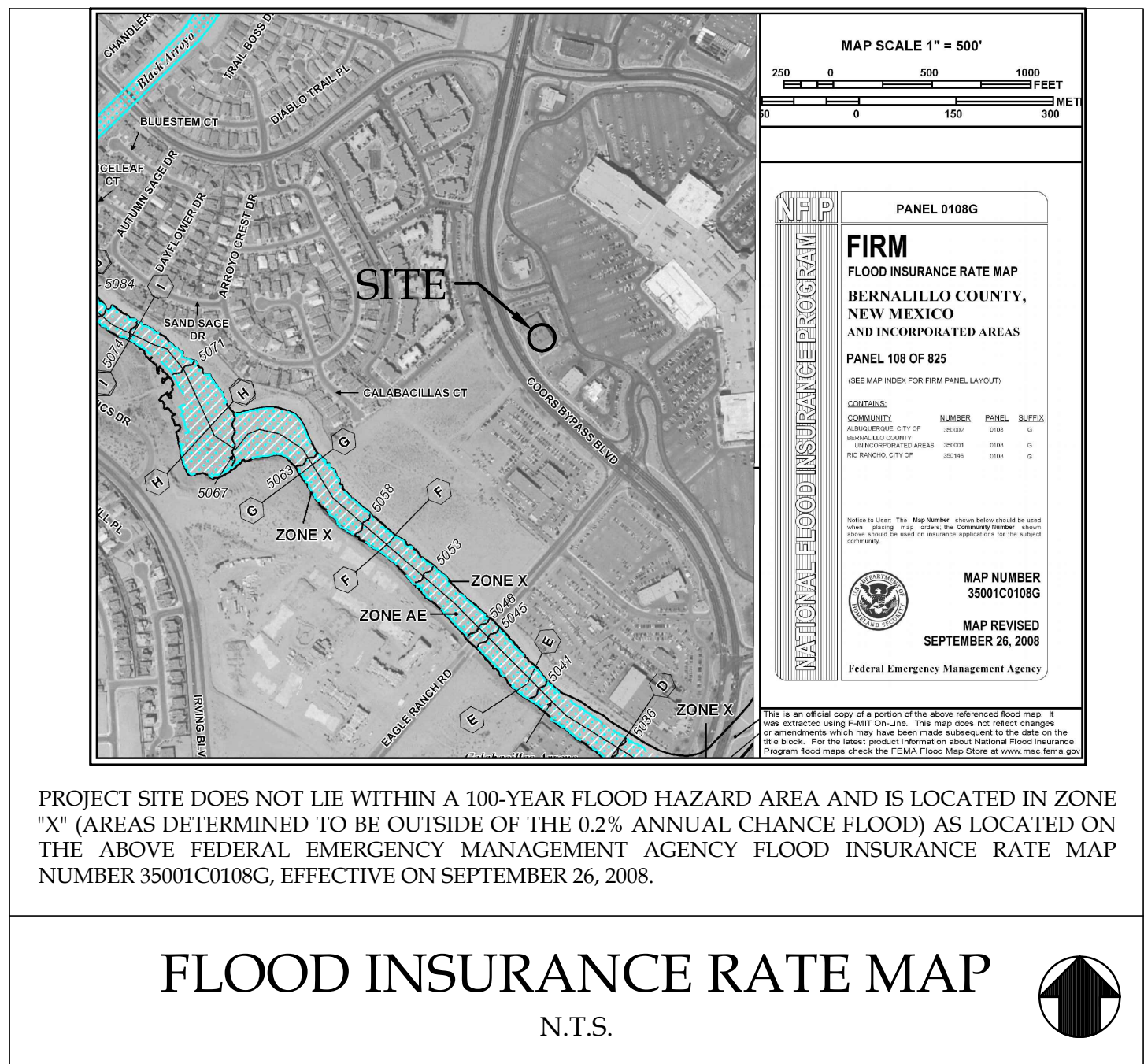
**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



SHEET INDEX:

- C0.0 COVER SHEET
- C1.0 GENERAL NOTES
- C2.0 DEMOLITION PLAN
- C3.0 SITE PLAN
- C4.0 GRADING AND DRAINAGE PLAN
- C4.1 STORM SEWER SIZING PLAN
- C4.2 DRAINAGE PLAN
- C5.0 UTILITY PLAN
- C6.0 STORMWATER POLLUTION PREVENTION PLAN
- C7.0 CONSTRUCTION DETAILS
- C7.1 CONSTRUCTION DETAILS
- C7.2 CONSTRUCTION DETAILS

ATTACHMENTS

- ALTA/ACSM LAND TITLE SURVEY
- PH1.0 PHOTOMETRIC PLAN
- L1.0 IRRIGATION PLAN
- L2.0 IRRIGATION NOTES & DETAILS
- L3.0 PLANTING PLAN
- L4.0 PLANTING NOTES & DETAILS
- L5.0 SPECIFICATIONS
- L6.0 SPECIFICATIONS

PROJECT BENCHMARKS:

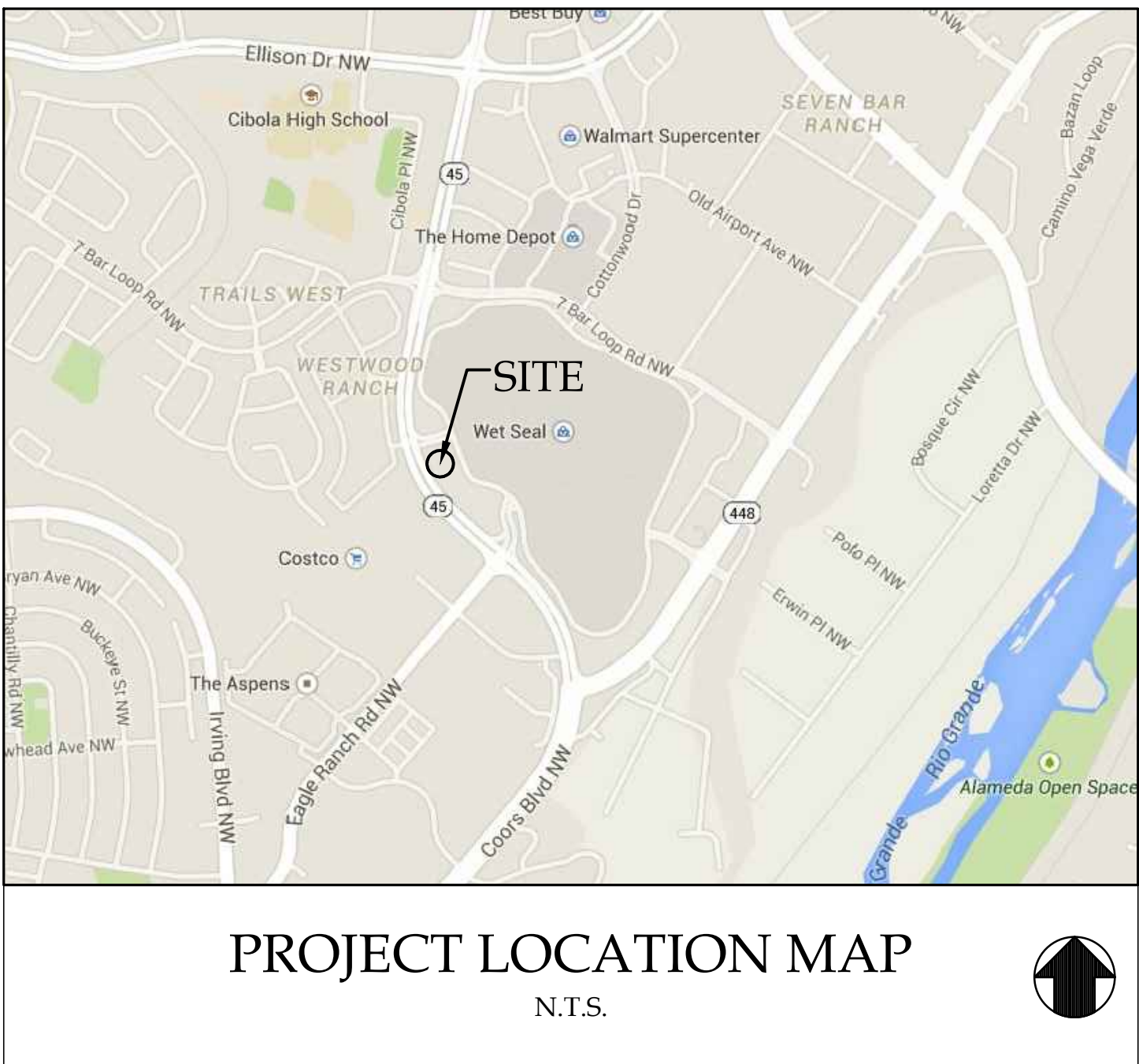
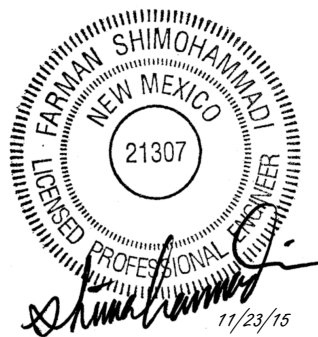
ELEVATIONS SHOWN HEREON ARE BASED ON A CITY OF ALBUQUERQUE BENCHMARK, ID "9\_B13", ELEVATION 5072.491 (NAVD88).



10030 COORS BOULEVARD NW  
(TR C-7A OF TRS C-6A + C-7A  
COTTONWOOD MALL)  
ALBUQUERQUE, NEW MEXICO  
ZONING: SU-1 SPECIAL USE DISTRICT  
RC SU FOR A REGIONAL SHOPPING CENTER

DEVELOPER:  
TEXAS ROADHOUSE  
CONTACT: DUANE BANET  
TEXAS ROADHOUSE HOLDINGS, LLC  
6040 DUTCHMANS LANE, SUITE 400  
LOUISVILLE, KENTUCKY 40205  
EMAIL: DUANE.BANET@TEXASROADHOUSE.COM

ENGINEER:  
**GreenbergFarrow**  
CONTACT: MIKE HOLMES  
19000 MACARTHUR BLVD, SUITE 250  
IRVINE, CA 92612  
TEL: (479) 250-0346  
EMAIL: MHOLMES@GREENBERGFARROW.COM



CONTACTS:

<b>PLANNING:</b> PLANNING DEPARTMENT 600 SECOND STREET N.W. ALBUQUERQUE, NEW MEXICO 87102 CONTACT: N/A TEL: (505) 924-3987 EMAIL: N/A	<b>ENGINEERING:</b> DEVELOPMENT AND BUILDING SERVICES 600 SECOND STREET N.W. ALBUQUERQUE, NEW MEXICO 87102 CONTACT: N/A TEL: (505) 924-3987 EMAIL: N/A	<b>WATER:</b> ALBUQUERQUE-BERNALILLO COUNTY WATER UTILITY AUTHORITY ONE CIVIC PLAZA NW ALBUQUERQUE, NEW MEXICO 87102 CONTACT: N/A TEL: (505) 857-8250
<b>FIRE DEPT:</b> 600 2ND STREET NW ALBUQUERQUE, NM 87102 TEL: (505) 924-3611 CONTACT: N/A EMAIL: N/A	<b>ELECTRIC:</b> PNM CONTACT: N/A 4201 EDITH BOULEVARD NE ALBUQUERQUE, NM 88310 CONTACT: N/A TEL: (505) 241-3425 EMAIL: N/A	<b>SEWER:</b> UTILITY DEVELOPMENT SECTION 600 SECOND STREET N.W. ALBUQUERQUE, NEW MEXICO 87102 CONTACT: N/A TEL: (505) 924-3987 EMAIL: N/A
<b>GAS:</b> NEW MEXICO GAS COMPANY P.O. BOX 97500 ALBUQUERQUE, NM TEL: (505) 697-3335	<b>TELEPHONE:</b> CENTURY LINK 201 3RD STREET NW ALBUQUERQUE, NM 87102 TEL: (505) 245-7500	<b>CABLE:</b> CENTURY LINK 201 3RD STREET NW ALBUQUERQUE, NM 87102 TEL: (505) 245-7500

SURVEYOR:  
YOUNG, HOBBS AND ASSOCIATES  
CONTACT: DAVE HOBBS  
101 SOUTH FIFTH STREET SUITE 1400  
LOUISVILLE, KENTUCKY 40202  
TEL: (502) 627-8900

GEOTECHNICAL  
ENGINEER:  
TERRACON CONSULTANTS, INC.  
CONTACT: MEAGAN J. DUNEMAN, P.E.  
4905 HAWKINS NE  
ALBUQUERQUE, NEW MEXICO 87109  
TEL: (505) 797-4287  
PROJECT NO. 66145081



GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND ALL WAYS, MEANS AND METHODS OF CONSTRUCTION.
2. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCY CODES, STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY SITE PERMITS AND LICENSES FROM THE APPLICABLE GOVERNING AUTHORITIES.
4. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
5. UNLESS OTHERWISE NOTED ON THE PLANS, CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERING OR PUBLIC WORKS DEPARTMENT AND/OR OTHER PROJECT GOVERNING AUTHORITY(S) A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS AND TO SCHEDULE ANY REQUIRED SITE INSPECTIONS.
6. CONTRACTOR SHALL SCHEDULE A UTILITY LOCATING SERVICE AND/OR NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION, ANY NECESSARY RELOCATIONS OR REMOVALS OF EXISTING UTILITY LINES SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
8. ALL EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE SURVEYOR ACCORDING TO INFORMATION AVAILABLE FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.
9. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNER(S).
10. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
11. ALL PROPERTY MARKERS AND SURVEY REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
12. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE CONSTRUCTION OPERATIONS ABUT PUBLIC THROUGH-FARES AND ADJACENT PROPERTY.
13. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITION OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.
14. PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF 12 (TWELVE) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
16. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.
17. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
18. AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(S), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM (WHERE APPLICABLE TO THE SCOPE OF WORK) THE FOLLOWING ITEMS:
  - 18.1. TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
  - 18.2. HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.
  - 18.3. RIM AND INVERT AND/OR TOP OF PIPE ELEVATIONS FOR ALL PROPOSED UTILITIES.
  - 18.4. AS-BUILT AND/OR RECORD DRAWING INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION. ANY AND ALL DEVIATIONS FROM THESE APPROVED PLANS SHALL BE SHOWN BY MEANS OF STRIKING THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.

SITE GRADING AND PAVING NOTES:

1. ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THE PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES ON THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPIILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF LEGALLY OFFSITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
3. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING. UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 6" TOPSOIL RE-SPREAD AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.
4. THE GEOTECHNICAL INVESTIGATION REPORT FOR THE SITE AND ALL ADDENDA THERETO ARE SUPPORTING DOCUMENTS FOR THIS PROJECT. THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY A SOILS ENGINEER OR HIS REPRESENTATIVE. FURTHER CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.
5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH AND PERFORMED AT THE DIRECTION OF THE OWNER'S GEOTECHNICAL ENGINEER.
6. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.
8. REMOVED PAVEMENTS, SIDEWALKS, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFFSITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.
9. ON AND OFFSITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
10. PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVEMENT SECTION (ROADS, WALKS, DRIVE, ETC.) OR TOPSOIL AS INDICATED ON THE PLANS.
11. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
12. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
13. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
14. SITE GRADING AND CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS SHALL NOT CAUSE FLOODING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
15. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
16. DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE THE SURFACE DRAINAGE SYSTEM.
17. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE APPLICABLE STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE FURNISHED AND INSTALLED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.

STORM SEWER NOTES:

1. ALL STORM SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES ON THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
3. RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C443.
4. HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F2308 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212.
5. PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE SDR 26 PIPE PER ASTM D3034 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212, UNLESS OTHERWISE NOTED.
6. STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
  - 6.1. STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D2321. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING LOCAL STANDARD GRADATIONS.
  - 6.2. GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D1557, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
7. REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
8. FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.
  - 8.1. WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING LOCAL STANDARD GRADATIONS.
  - 8.2. GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D1557, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
7. A WATERTIGHT PLUG SHALL BE PLACED IN THE END OF THE WATER MAIN PIPE AT THE END OF EACH CONSTRUCTION DAY.
8. UPON COMPLETION OF THE WATER MAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:
  - 8.1. HYDROSTATIC PRESSURE AND LEAKAGE TESTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL BE WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
  - 8.2. DISINFECTION IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE METHODS STATED IN AWWA STANDARD C651 AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
9. WATER SERVICE PIPING AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
10. WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE 'K' COPPER TUBING CONFORMING TO ASTM B88-58. NO COUPLINGS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOPS OR BETWEEN THE CURB STOP AND THE BUILDING.
11. WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE FURNISHED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
12. SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD "WATER" CAST IN THE TOP.
13. VALVES, VALVE BOXES OR VAULTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
14. PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.
15. VALVE VAULTS SHALL HAVE A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE CONE SECTION. THE VAULTS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VAULTS SHALL BE LEAK PROOF.
16. TEMPORARY CONNECTIONS FOR CONSTRUCTION PURPOSES TO NEWLY INSTALLED OR EXISTING WATER MAINS SHALL BE MADE AND METERED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
17. REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
- 7.1. A FLEXIBLE TYPE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO AND EXITING FROM MANHOLE STRUCTURES AND SHALL BE OF A DESIGN APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. THIS FLEXIBLE JOINT MAY CONSIST OF A SLEEVE OF HIGH QUALITY SYNTHETIC RUBBER WITH A SUBSTANTIAL SERRATED FLANGE WHICH IS CAST DIRECTLY INTO THE WALL OF THE MANHOLE BASE TO FORM A WATERTIGHT SEAL AND PROTRUDES OUTSIDE OF THE MANHOLE WALL TO CONNECT WITH THE PIPE ENTERING/EXITING THE MANHOLE. WHEN THIS TYPE OF FLEXIBLE JOINT IS USED, THE SLEEVE SHALL SLIP OVER THE END OF THE PIPE ADJACENT TO THE MANHOLE BASE AND SHALL BE SECURED BY MEANS OF A STAINLESS STEEL STRAP CLAMP EQUIPPED WITH A DRAW BOLT AND NUT.
8. REQUIRED MANHOLE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.

SANITARY SEWER NOTES (continued):

9. AFTER FINAL ADJUSTMENTS HAVE BEEN MADE, ALL JOINTS IN PRECAST STRUCTURES SHALL BE MORTARED. THE MORTAR SHALL BE COMPOSED OF ONE (1) PART CEMENT TO THREE (3) PARTS SAND, BY VOLUME, BASED ON DRY MATERIALS, AND SHALL BE THOROUGHLY WETTED BEFORE LAYING.
10. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR MANHOLE, THE FOLLOWING METHOD SHALL BE USED:
  - 10.1. CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ('SEWER-TAP' MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.
11. UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION, INCLUDING THE SERVICE LINES, ALL SEWERS SHALL BE TESTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL BE WITNESSED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.

WATER MAIN AND WATER SERVICE NOTES:

1. ALL WATER MAIN CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES ON THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
3. WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) C900 DR18 PIPE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD C900 WITH PRESSURE RATED FLEXIBLE (O-RING) SLIP ON JOINTS CONFORMING TO ASTM D3139, UNLESS OTHERWISE NOTED.
4. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATER MAIN PIPE SHALL BE LAID WITH A MINIMUM COVER OF FIVE (5) FEET FROM THE PROPOSED FINISH GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE ELEVATION INDICATED ON THE PLANS FOR THE WATER MAIN. NO BERMS ARE ALLOWED OVER WATER MAINS EXCLUSIVELY FOR THE PURPOSE OF OBTAINING ADEQUATE GROUND COVER.
5. DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF 8-MIL POLYETHYLENE ENCASEMENT TO PREVENT CORROSION.
6. WATER MAIN TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
  - 6.1. WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING LOCAL STANDARD GRADATIONS.
  - 6.2. GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D1557, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
7. A WATERTIGHT PLUG SHALL BE PLACED IN THE END OF THE WATER MAIN PIPE AT THE END OF EACH CONSTRUCTION DAY.
8. UPON COMPLETION OF THE WATER MAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:
  - 8.1. HYDROSTATIC PRESSURE AND LEAKAGE TESTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL BE WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
  - 8.2. DISINFECTION IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE METHODS STATED IN AWWA STANDARD C651 AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
9. WATER SERVICE PIPING AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
10. WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE 'K' COPPER TUBING CONFORMING TO ASTM B88-58. NO COUPLINGS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOPS OR BETWEEN THE CURB STOP AND THE BUILDING.
11. WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE FURNISHED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
12. SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD "WATER" CAST IN THE TOP.
13. VALVES, VALVE BOXES OR VAULTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
14. PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.
15. VALVE VAULTS SHALL HAVE A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE CONE SECTION. THE VAULTS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VAULTS SHALL BE LEAK PROOF.
16. TEMPORARY CONNECTIONS FOR CONSTRUCTION PURPOSES TO NEWLY INSTALLED OR EXISTING WATER MAINS SHALL BE MADE AND METERED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
17. REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.

WATER AND SEWER SEPARATION NOTES:

1. WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER, OR SEWER SERVICE CONNECTION.
2. WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
  - 2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; AND
  - 2.2. THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER; AND
  - 2.3. THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
3. WHEN IT IS IMPOSSIBLE TO MEET 1) OR 2) ABOVE, BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED FOR THE MAXIMUM EXPECTED SURCHARGE HEAD PRIOR TO BACKFILLING.
4. WATER MAINS SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS, OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
5. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN:
  - 5.1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 4) ABOVE; OR THE WATER MAIN PASSES UNDER A SEWER OR DRAIN
6. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. THE SEWER OR DRAIN LINES SHALL BE SUPPORTED TO PREVENT SETTLING AND BREAKING OF THE WATER MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
7. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

GENERAL SITE NOTES:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
5. ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
6. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
7. CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
8. CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS.
9. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
11. ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
12. ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH.
13. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
14. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
15. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
16. ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
17. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

PROJECT TEAM

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PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE  
FARMAN SHIR, P.E.  
PROFESSIONAL ENGINEER  
LICENSE NO. 21307

PROJECT MANAGER  
MIKE HOLMES

QUALITY CONTROL  
LARRY DIEHL

DRAWN BY  
MIKE HOLMES

PROJECT NAME

TEXAS  
ROADHOUSE

ALBUQUERQUE  
NEW MEXICO

10030 COORS BOULEVARD  
BYPASS NW



PROJECT NUMBER  
20130487.0

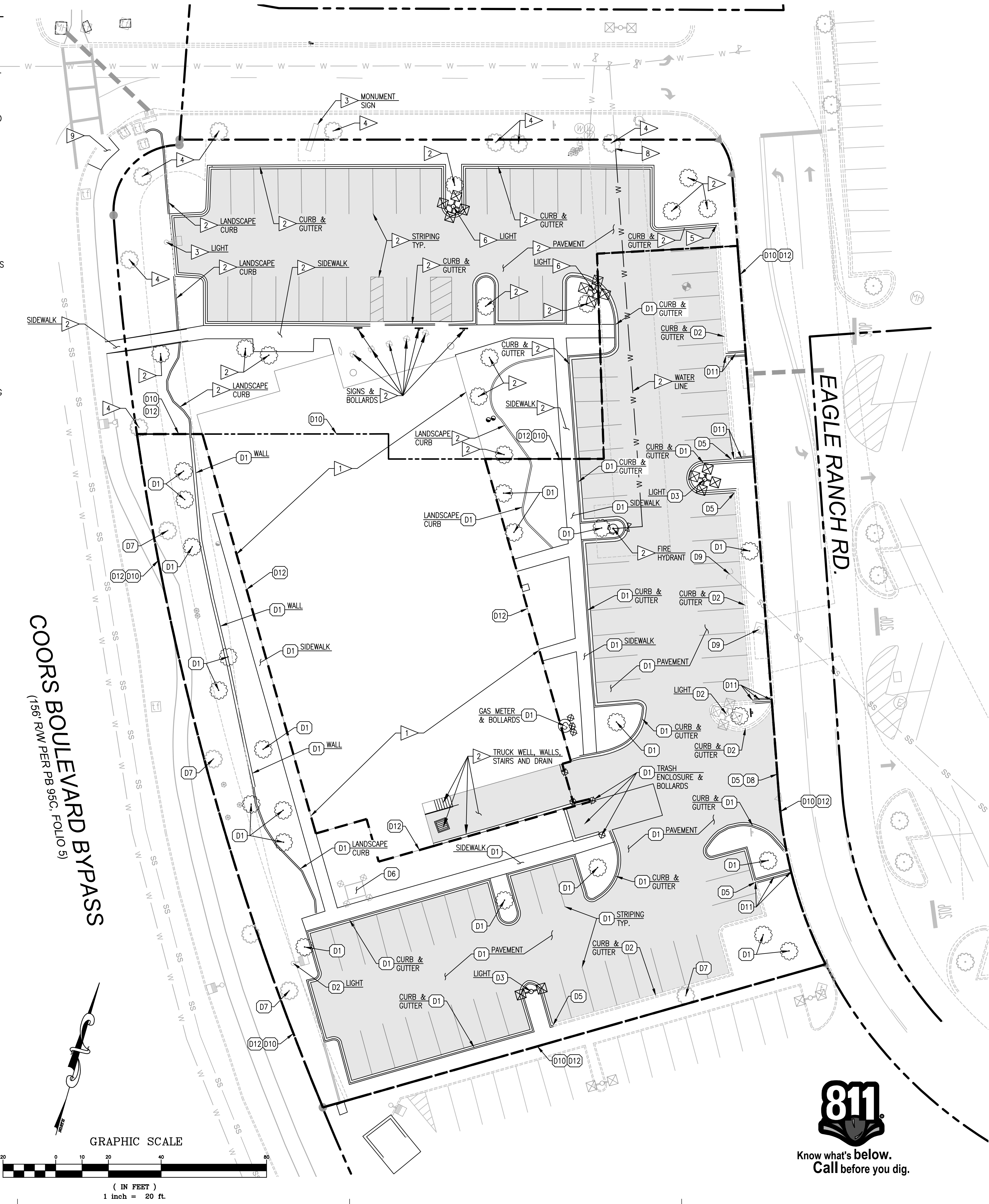
SHEET TITLE  
GENERAL  
NOTES

SHEET NUMBER

C1.0

GENERAL DEMOLITION NOTES:

1. ANY DEMOLITION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE CITY, COUNTY AND STATE, AND/OR GOVERNING BODY'S STANDARDS.
2. THE DEMOLITION PLAN SHALL BE DONE IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION REPORT.
3. EROSION AND SEDIMENT CONTROL MEASUREMENTS SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION.
4. THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
5. THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
8. UPON DISCOVERY OF ANY UNDERGROUND TANKS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS SHALL OCCUR UNTIL AUTHORIZED BY OWNER.
9. BUILDING AND APPURTENANCES DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL HE HAS BEEN FURNISHED WITH A NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION, UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
10. FOUNDATIONS, FLOORS, FLOOR SLABS, AND ANY OTHER UNDERGROUND BUILDING STRUCTURES SHALL BE REMOVED IN ACCORDANCE WITH THE SPECIFICATIONS. AREAS OF STRUCTURE REMOVAL SHALL BE BACKFILLED IN ACCORDANCE WITH SPECIFICATIONS AND THE GEOTECHNICAL REPORT.
11. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE, AND FEDERAL LAWS AND ORDINANCES.
12. ALL DEMOLITION MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL JURISDICTIONAL REQUIREMENTS.
13. AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED, THE FINAL GRADE OF BACKFILL IN DEMOLITION AREAS SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT TO PRESENT A NEAT, WELL DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL GRADE SITE TO EXISTING STORM DRAINAGE SYSTEM TO REMAIN ON SITE.
14. EXISTING TREES TO REMAIN SHOULD BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
15. THE CONTRACTOR SHALL COORDINATE WORK TO ENSURE ACCESS TO ADJACENT PROPERTIES AT ALL TIMES.
16. THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.
17. CONTRACTOR TO IMPLEMENT APPROPRIATE TRAFFIC CONTROL MEASURES PER LOCAL CODE.



PROPOSED LEGEND:

- PROPERTY LINE
- GENERAL SCOPE OF WORK LIMITS
- LIMITS OF PAVEMENT REMOVAL

DEMOLITION KEY NOTES:

- D#
- D1 EXISTING TO BE REMOVED
  - D2 EXISTING TO REMAIN
  - D3 EXISTING TO BE RELOCATED
  - D4 POINT OF RELOCATION. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
  - D5 LIMIT OF REMOVAL. MATCH GRADE AT EXISTING TO REMAIN.
  - D6 EXISTING TRANSFORMER AND PAD TO REMAIN. CONTRACTOR SHALL COORDINATE MODIFICATIONS TO EXISTING ELECTRIC SERVICE WITH UTILITY COMPANY.
  - D7 EXISTING TREE(S) TO BE PROTECTED
  - D8 DEMOLITION LIMITS
  - D9 POINT OF CONNECTION FOR PROPOSED UTILITY EXTENSION. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
  - D10 LIMITS OF PREMISES
  - D11 EXISTING CONCRETE FLUME TO BE REMOVED. MAINTAIN EXISTING CURB CUT.
  - D12 GENERAL SCOPE OF WORK LIMITS. SCOPE MAY INCLUDE ITEMS OUTSIDE GENERAL LIMITS OR EXCLUDE ITEMS WITHIN. SEE KEY NOTES ON PLAN FOR ADDITIONAL INFORMATION.

DEMOLITION KEY NOTES (BY LANDLORD):

- 1 DEMOLISH AND REMOVE EXISTING BUILDING, FOUNDATIONS AND APPURTENANCES.
- 2 EXISTING TO BE REMOVED
- 3 EXISTING TO REMAIN
- 4 EXISTING TREE(S) TO BE PROTECTED
- 5 LIMIT OF REMOVAL. MATCH GRADE AT EXISTING TO REMAIN.
- 6 EXISTING TO BE RELOCATED
- 7 POINT OF RELOCATION. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
- 8 POINT OF CONNECTION FOR PROPOSED UTILITY EXTENSION. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
- 9 EXISTING RAMP TO BE REMOVED AND REPLACED WITH NEW HANDICAP ACCESSIBLE RAMP PER LOCAL CODES

PROJECT TEAM

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PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE

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PROJECT MANAGER  
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QUALITY CONTROL  
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PROJECT NAME

TEXAS  
ROADHOUSE

ALBUQUERQUE  
NEW MEXICO

10030 COORS BOULEVARD  
BYPASS NW



PROJECT NUMBER  
20130487.0

SHEET TITLE  
DEMOLITION  
PLAN

SHEET NUMBER

C2.0

## EXISTING LEGEND:

- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING SETBACK LINE
- ===== EXISTING CONCRETE CURB AND GUTTER
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- ===== NEW CONCRETE CURB AND GUTTER (BY LANDLORD)
- NEW STORM SEWER STRUCTURE (BY LANDLORD)
- NEW SANITARY SEWER STRUCTURE (BY LANDLORD)
- NEW FIRE HYDRANT (BY LANDLORD)
- NEW WATER VALVE AND BOX (BY LANDLORD)

## PROPOSED LEGEND:

- PROPERTY LINE
- GENERAL SCOPE OF WORK LIMITS
- ===== PROPOSED CONCRETE BARRIER CURB
- ===== PROPOSED CONCRETE CURB AND GUTTER
- ===== PROPOSED REVERSE PITCH CURB AND GUTTER
- ===== PROPOSED DEPRESSIONED CONCRETE CURB AND GUTTER
- ===== PROPOSED PARKING STALL COUNT
- ===== PROPOSED CONCRETE WHEEL STOP
- ===== PROPOSED SIGN
- ===== PROPOSED STOP BAR
- ===== PROPOSED LIGHT POLE
- ===== PROPOSED STORM SEWER STRUCTURES
- ===== PROPOSED SANITARY SEWER STRUCTURES
- ===== PROPOSED FIRE HYDRANT
- ===== PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- ===== PROPOSED TRANSFORMER

## PROJECT INFORMATION:

TEXAS ROADHOUSE SITE AREA: ±1.749 ACRES

ZONED: SU-1 (SPECIAL USE DISTRICT)  
RC SU (REGIONAL SHOPPING CENTER)

TEXAS ROADHOUSE BUILDING AREA: 7,163 SQ. FT.  
RETAIL BUILDING AREA: 5,000 SQ. FT.  
TOTAL BUILDING AREA: 12,163 SQ. FT.  
PROPOSED USE: TEXAS ROADHOUSE: RESTAURANT  
RETAIL A & B: RETAIL

BUILDING HEIGHT: 27'-6"  
SEATING CAPACITY: 281 SEATS  
EMPLOYEE COUNT: 40 EMPLOYEES

PARKING REQUIRED: 107 STALLS (SEE NOTE #2)  
PARKING PROVIDED: 107 STALLS (INCLUDING 6 ADA STALLS)  
ACCESSIBLE REQUIRED: 5 STALLS  
ACCESSIBLE PROVIDED: 6 STALLS  
BICYCLE PARKING REQUIRED: 6 SPACES (SEE NOTE #3)  
BICYCLE PARKING PROVIDED: 6 SPACES  
MOTORCYCLE PARKING REQUIRED: 4 SPACES (SEE NOTE #4)  
MOTORCYCLE PARKING PROVIDED: 4 SPACES

### NOTES:

- SEE ARCHITECTURAL PLANS FOR ADDITIONAL BUILDING INFORMATION
- PARKING REQUIREMENTS ARE BASED ON 1 SPACE PER 3 PEOPLE OF OCCUPANCY LOAD FOR THE TEXAS ROADHOUSE BUILDING. FOR RETAIL A & B, PARKING IS BASED ON 1 SPACE PER 200 SQ. FT. 119 SPACES ARE REQUIRED PER ABOVE REQUIREMENTS. WITH A 10% TRANSIT REDUCTION, 107 SPACES ARE REQUIRED.
- BICYCLE PARKING REQUIREMENTS ARE BASED ON 1 SPACE PER 20 VEHICULAR SEATS
- MOTORCYCLE PARKING REQUIREMENTS ARE BASED ON 4 SPACES FOR 101-150 REQUIRED PARKING SPACES

## LEGAL DESCRIPTION:

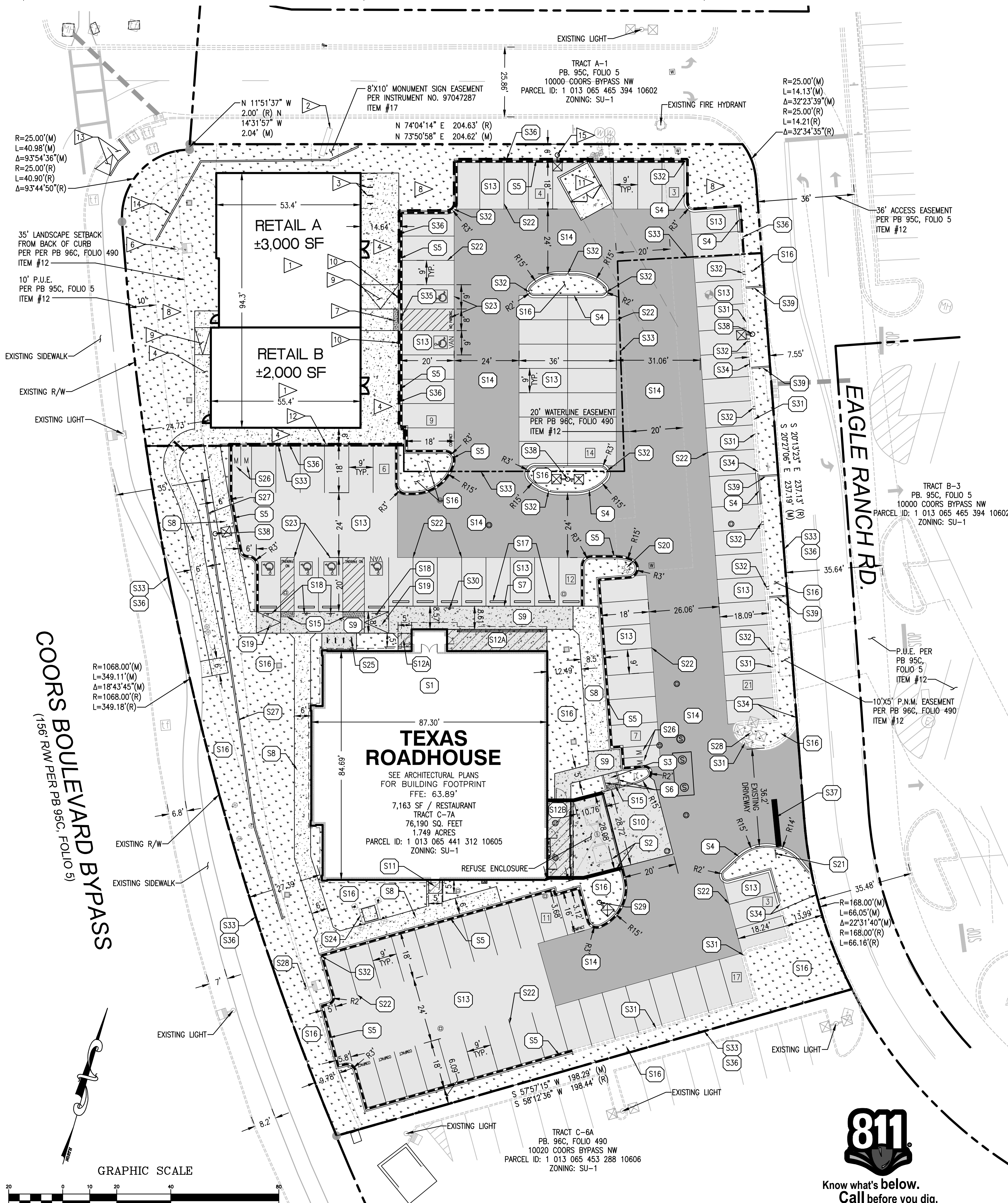
THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING ALL OF TRACT C-7A OF THE COTTONWOOD MALL, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "TRACTS C-6A AND C-7A, COTTONWOOD MALL (BEING A REPLAT OF TRACTS C-6 AND C-7, COTTONWOOD MALL) CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 16, 1996 IN VOLUME 96C, FOLIO 490.

## ADDRESS:

10030 COORS BOULEVARD BYPASS NW  
ALBUQUERQUE, NM 87104

### SITE PLAN NOTES:

- REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC. AND DATED DECEMBER 10, 2014 FOR ADDITIONAL INFORMATION REGARDING THE EXISTING SOIL CONDITIONS AND PROPOSED SUBGRADE PREPARATION RECOMMENDATIONS (TERRACON PROJECT NO. 66145081).
- SEE CONSTRUCTION DETAILS SHEET C7.0 FOR PAVEMENT SECTION DETAILS.
- SEE SHEET 1.0 FOR GENERAL SITE NOTES



## PAVEMENT HATCH LEGEND:

- S8 PROPOSED CONCRETE SIDEWALK  
5" PORTLAND CEMENT CONCRETE  
4" AGGREGATE BASE COURSE
- S9 PROPOSED INTEGRAL BLACK COLORED CONCRETE SIDEWALK  
5" PORTLAND CEMENT CONCRETE  
4" AGGREGATE BASE COURSE
- S10 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE PAVEMENT  
6" PORTLAND CEMENT CONCRETE  
WITH #3 BARS AT 12" O.C. EACH WAY  
COMPACTED SUBGRADE  
(SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S11 PROPOSED CONCRETE LANDING  
6" PORTLAND CEMENT CONCRETE WITH 6X6 W2.9XW2.9 WWF  
COMPACTED SUBGRADE  
(SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S12A PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING  
6" PORTLAND CEMENT CONCRETE WITH 6X6 W2.9XW2.9 WWF  
COMPACTED SUBGRADE  
(SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S12B PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING  
5" PORTLAND CEMENT CONCRETE WITH 6X6 W2.9XW2.9 WWF  
COMPACTED SUBGRADE  
(SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S13 PROPOSED ASPHALT PAVEMENT  
2-1/2" HMA SURFACE COURSE  
6" AGGREGATE BASE COURSE
- S14 PROPOSED HEAVY DUTY ASPHALT PAVEMENT  
3-1/2" HMA SURFACE COURSE  
6" AGGREGATE BASE COURSE
- S15 PROPOSED DETECTABLE WARNING PLATE
- S16 PROPOSED LANDSCAPE AREA  
(SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)

## SITE KEY NOTES:

- PROPOSED TEXAS ROADHOUSE BUILDING (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- PROPOSED TRASH ENCLOSURE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- PROPOSED HANDICAP ACCESSIBLE LOADING/DELIVERY RAMP AT 12:1 MAXIMUM SLOPE PER LOCAL CODES. SEE DETAIL ON SHEET C7.1
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER
- PROPOSED CONCRETE BARRIER CURB
- PROPOSED MONOLITHIC CONCRETE CURB AND SIDEWALK
- PROPOSED 5" CONCRETE SIDEWALK
- PROPOSED 5" INTEGRAL BLACK COLORED CONCRETE SIDEWALK
- PROPOSED 6" HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE PAVEMENT (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAIL). CONCRETE SHALL HAVE 4000 PSI STRENGTH AND SHALL INCLUDE 3/4" AGGREGATE CONFORMING TO NEW MEXICO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- PROPOSED 6" CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- PROPOSED 6" INTEGRAL BLACK COLORED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- PROPOSED 5" INTEGRAL BLACK COLORED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- PROPOSED ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED DETECTABLE WARNING PLATE
- PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- PROPOSED PRECAST CONCRETE WHEEL STOP (TYP. OF 12)
- PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE (TYP. OF 6)
- PROPOSED HANDICAP ACCESSIBLE CURB RAMP AT 12:1 MAXIMUM SLOPE PER LOCAL CODES
- PROPOSED FIRE HYDRANT
- PROPOSED 30" R1-1 STOP SIGN
- PROPOSED 4" PAVEMENT STRIPING PER LOCAL CODE
- PROPOSED HANDICAP ACCESSIBLE PARKING STALL STRIPING AND SYMBOL PER LOCAL CODE (TYP.)
- EXISTING CONCRETE TRANSFORMER PAD TO REMAIN WITH PROPOSED STEEL BOLLARD PROTECTION (CONTRACTOR SHALL COORDINATE CONCRETE TRANSFORMER CONFIGURATION WITH ELECTRIC COMPANY)
- PROPOSED MAGLIN MBR501 BIKE RACKS WITH BLACK POWDER COATED FINISH.
- PROPOSED MOTORCYCLE PARKING
- PROPOSED BLOCK RETAINING WALL. SEE GRADING PLAN FOR ELEVATIONS. SEE SHEET C7.0 FOR DETAIL.
- EXISTING LIGHT POLE (SEE PHOTOMETRIC PLAN)
- PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN)
- PROPOSED VETERAN PARKING SIGN
- EXISTING CURB AND GUTTER TO REMAIN
- PROPOSED 1" WIDE CURB CUT. SEE DETAIL ON SHEET C7.1.
- LIMITS OF PREMISES
- MAINTAIN EXISTING CURB CUT AT AREA OF FLUME REMOVAL.
- PROPOSED DEPRESSIONED CONCRETE CURB AND GUTTER
- GENERAL SCOPE OF WORK LIMITS. SCOPE MAY INCLUDE ITEMS OUTSIDE GENERAL LIMITS OR EXCLUDE ITEMS WITHIN. SEE KEY NOTES ON PLAN FOR ADDITIONAL INFORMATION.
- PROPOSED 24" WIDE WHITE STRIPE (STOP BAR). SEE SHEET C7.0 FOR DETAIL.
- PROPOSED POINT OF RELOCATION FOR EXISTING LIGHT POLE (SEE PHOTOMETRIC PLAN)
- PROPOSED 12" WIDE x 30" HIGH CONCRETE BARRIER CURB WALL (SEE GRADING PLAN FOR ADDITIONAL INFORMATION)

## SITE KEY NOTES (BY LANDLORD):

- NEW RETAIL BUILDINGS
- EXISTING MONUMENT SIGN TO REMAIN
- NEW BIKE RACK
- NEW CONCRETE SIDEWALK
- PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN)
- EXISTING LIGHT POLE (SEE PHOTOMETRIC PLAN)
- NEW DETECTABLE WARNING PLATE
- NEW LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- NEW PROPOSED HANDICAP ACCESSIBLE CURB RAMP AT 12:1 MAXIMUM SLOPE PER LOCAL CODES
- NEW HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE
- NEW DUMPSTER ENCLOSURE AND ASSOCIATED CONCRETE PAVEMENT
- NEW MONOLITHIC CONCRETE CURB AND SIDEWALK
- EXISTING RAMP TO BE REMOVED AND REPLACED WITH NEW HANDICAP ACCESSIBLE RAMP PER LOCAL CODES
- NEW RETAINING WALL
- PROPOSED POINT OF RELOCATION FOR EXISTING LIGHT POLE

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### PROJECT TEAM

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### ISSUE/REVISION RECORD

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### PROFESSIONAL SEAL



### PROFESSIONAL IN CHARGE

FARMAN SHIR, P.E.  
PROFESSIONAL ENGINEER  
LICENSE NO. 21307

### PROJECT MANAGER

MIKE HOLMES

### QUALITY CONTROL

LARRY DIEHL

### DRAWN BY

MIKE HOLMES

### PROJECT NAME

**TEXAS ROADHOUSE**

**ALBUQUERQUE NEW MEXICO**

**10030 COORS BOULEVARD BYPASS NW**



### PROJECT NUMBER

20130487.0

### SHEET TITLE

**SITE PLAN**

### SHEET NUMBER

**C3.0**



## EXISTING LEGEND:

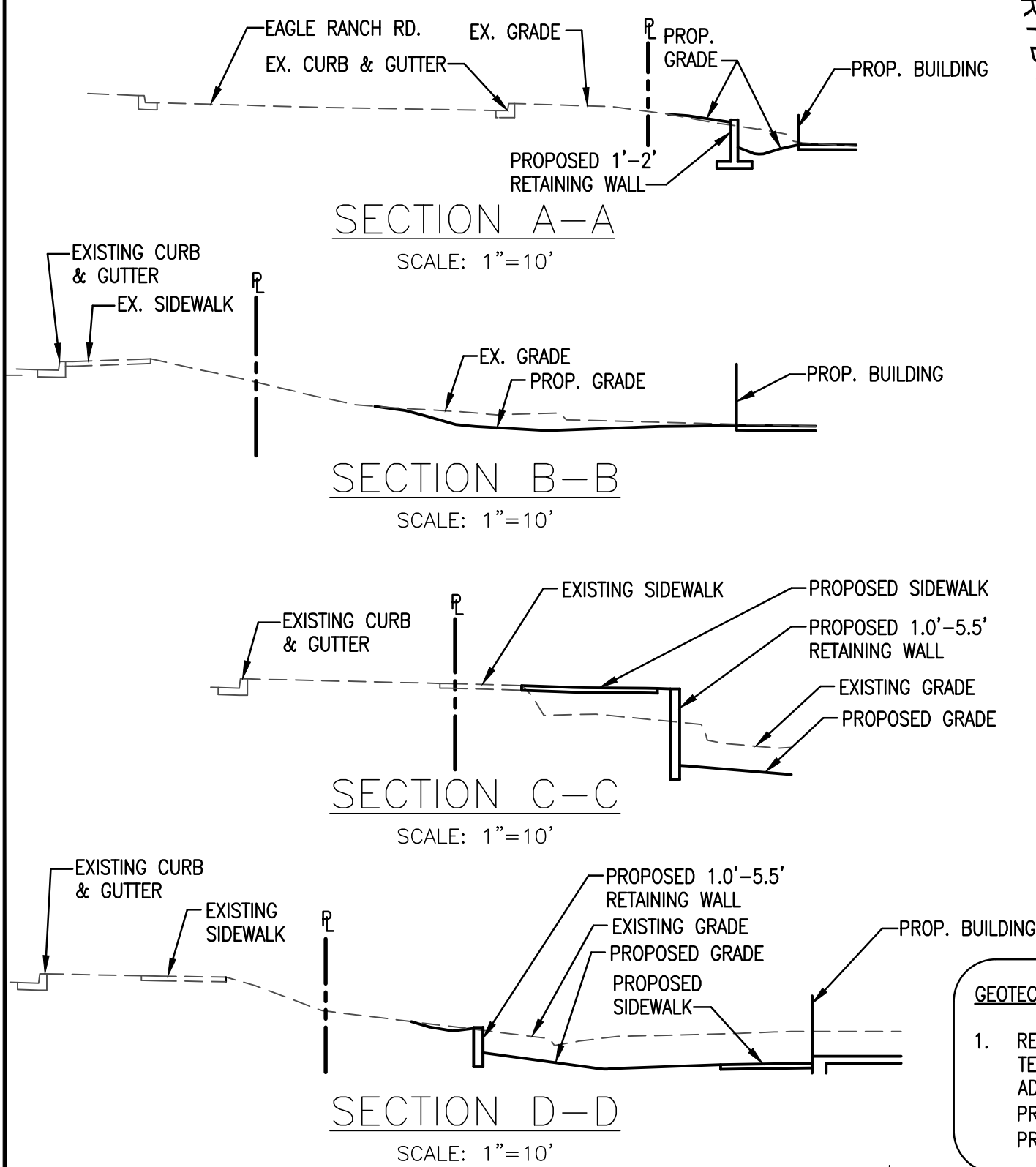
- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING CONCRETE CURB AND GUTTER
- EXISTING STORM SEWER
- EXISTING FIRE HYDRANT

## GENERAL GRADING NOTES:

- ALL GRADING AND SITE PREPARATION WORK SHALL CONFORM WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL CAREFULLY PRESERVE ALL SITE BENCHMARKS AND REFERENCE POINTS DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSTALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
- ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL STORM DRAINAGE STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
- MAXIMUM SLOPES WITHIN THE HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT CONCRETE SIDEWALKS FOR THE ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.
- ALL HANDICAP ACCESSIBLE EXTERIOR DOORWAY LOCATIONS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION.
- EXCAVATION SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

## NARRATIVE:

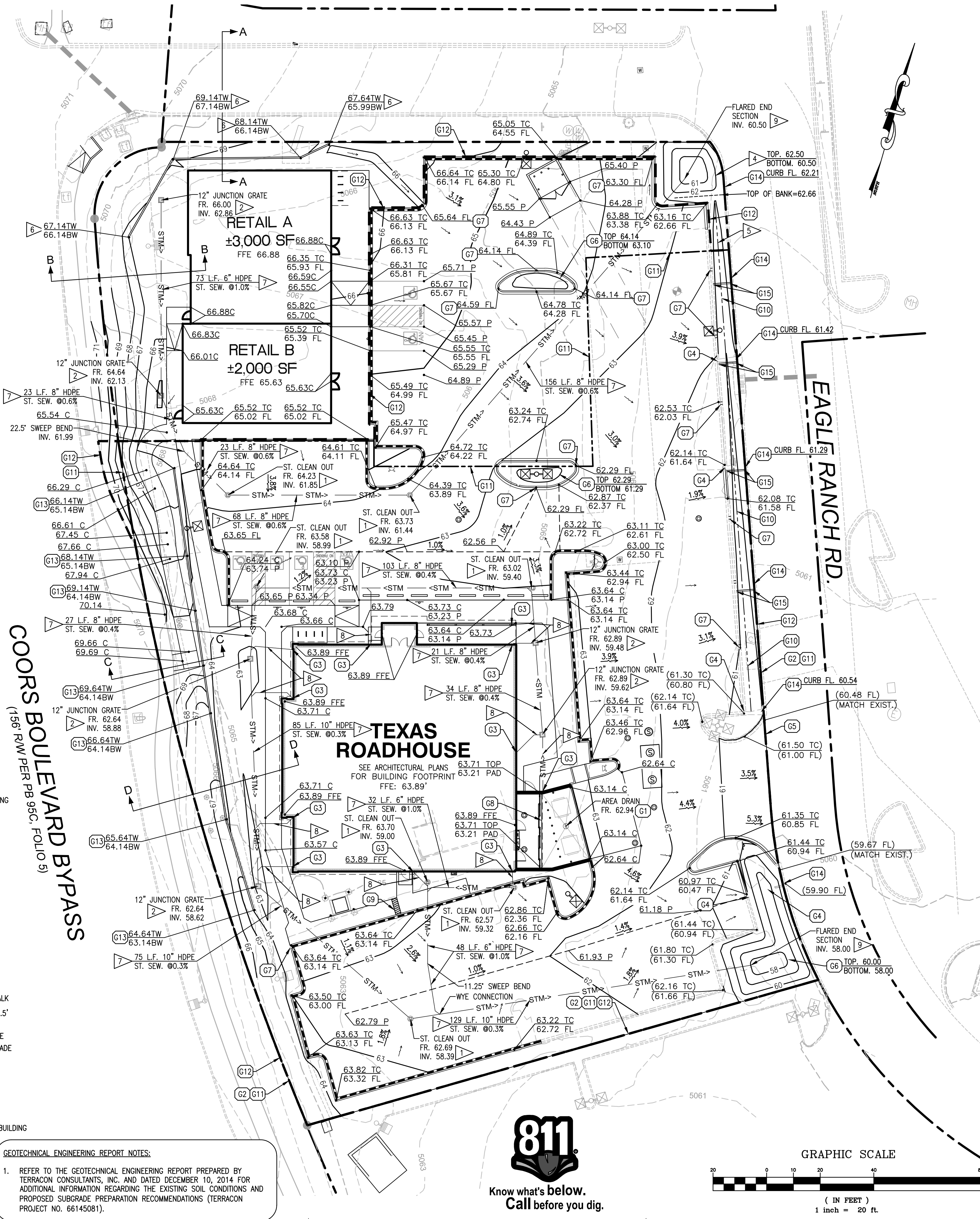
THE SUBJECT PROPERTY IS A FULLY DEVELOPED SITE WITHIN THE COTTONWOOD SHOPPING CENTER. THE SITE SLOPES FROM THE WEST PROPERTY LINE (COORS BOULEVARD) TO THE EAST PROPERTY LINE (EAGLE RANCH ROAD). THE EXISTING SITE HAS A DISCHARGE OF 6.99 CFS. THE PROPOSED REDEVELOPMENT WILL MAINTAIN THE EXISTING DRAINAGE PATTERNS AND WILL DISCHARGE 6.86 CFS, WHICH IS LESS THAN EXISTING. WATER QUALITY MEASURES INCLUDED IN THE LANDSCAPE AREAS WILL CAPTURE 0.34" OF RAINFALL FOR THE IMPERVIOUS AREAS. THE PROJECT SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" AS SHOWN ON FEMA FIRM 35001C0108G, EFFECTIVE SEPTEMBER 26, 2008.



### GEOTECHNICAL ENGINEERING REPORT NOTES:

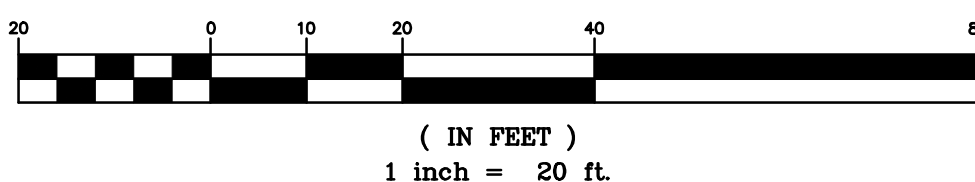
- REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC. AND DATED DECEMBER 10, 2014 FOR ADDITIONAL INFORMATION REGARDING THE EXISTING SOIL CONDITIONS AND PROPOSED SUBGRADE PREPARATION RECOMMENDATIONS (TERRACON PROJECT NO. 66145081).

**COORS BOULEVARD BYPASS**  
(156 RW PER PB 96C, FOLIO 5)



Know what's below.  
Call before you dig.

### GRAPHIC SCALE



## PROPOSED LEGEND:

- PROPERTY LINE
- GENERAL SCOPE OF WORK LIMITS
- PROPOSED CONCRETE BARRIER CURB
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED REVERSE PITCH CURB AND GUTTER
- PROPOSED DEPRESSED CONCRETE CURB AND GUTTER
- PROPOSED BLOCK RETAINING WALL
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FFE: FINISHED FLOOR ELEVATION  
TC: TOP OF CURB ELEVATION  
FL: CURB FLOWLINE ELEVATION  
C: TOP OF CONCRETE ELEVATION  
P: TOP OF PAVEMENT ELEVATION  
FG: FINISHED GRADE ELEVATION  
ME: MATCH EXISTING ELEVATION  
TW: TOP OF WALL ELEVATION  
BW: BOTTOM OF WALL ELEVATION
- PROPOSED GRADING RIDGE LINE
- PROPOSED DRAINAGE FLOW DIRECTION
- PROPOSED OVERLAND FLOOD ROUTE
- PROPOSED STORM SEWER INLET
- PROPOSED STORM SEWER CATCH BASIN
- PROPOSED HEAVY DUTY AREA DRAIN
- PROPOSED STORM SEWER GREASE INTERCEPTOR
- PROPOSED STORM SEWER CLEAN OUT
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER GREASE INTERCEPTOR
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED SANITARY SEWER SAMPLING WELL
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE AND BOX
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)

## GRADING & DRAINAGE KEY NOTES:

- PROPOSED ZURN Z505 HEAVY DUTY AREA DRAIN. DRAIN SHALL CONNECT TO SANITARY SEWER SYSTEM AND FLOWS TO DRAIN SHALL BE ROUTED THROUGH THE PROPOSED GREASE INTERCEPTOR (SEE UTILITY AND PLUMBING PLANS FOR ADDITIONAL INFORMATION).
- FIELD VERIFY AND MATCH EXISTING ELEVATION AT PROJECT SCOPE OF WORK LIMITS (TYP.).
- PROPOSED 4" BUILDING ROOF DRAIN CONNECTION (COORDINATE EXACT LOCATIONS AND PIPE SIZES WITH ARCHITECTURAL AND PLUMBING PLANS). SCOPE OF WORK SHALL INCLUDE STORM DRAIN FROM LANDLORD LIMIT OF WORK 5' FROM BUILDING TO ROOF DRAIN AT BUILDING. REMOVE EXISTING CONCRETE CHANNEL, MAINTAIN EXISTING CURB CUTS PAVEMENT SAWCUT LINE. PROPOSED PAVEMENT TO MATCH EXISTING PROPOSED POND.
- PROPOSED 1" CURB CUT.
- PROPOSED 6" CURB.
- PROPOSED 2" SIDEWALK CULVERT.
- BIO SWALE. DIVERT 12" BELOW FLOW LINE OF CURB.
- LIMITS OF PREMISES.
- GENERAL SCOPE OF WORK LIMITS. SCOPE MAY INCLUDE ITEMS OUTSIDE GENERAL LIMITS OR EXCLUDE ITEMS WITHIN. SEE KEY NOTES ON PLAN FOR ADDITIONAL INFORMATION.
- PROPOSED BLOCK RETAINING WALL.
- PROVIDE CURB HEIGHT 2" LOWER THAN ADJACENT FOR A LONGITUDINAL DISTANCE OF 2' FOR EMERGENCY OVERFLOW LOCATION FOR PONDING AREA.
- PROVIDE 12" WIDE x 30" HIGH CONCRETE BARRIER CURB WALL TO BLOCK SWALE. TOP OF CURB WALL SHALL MATCH TOP OF CURB ON EACH END.

## GRADING & DRAINAGE KEY NOTES (BY LANDLORD) :

- NEW STORM SEWER CLEAN OUT
- NEW NYLOPLAST 12" JUNCTION AND DRAIN GRATE
- NOT USED
- NEW POND
- NEW BIO SWALE. DIVERT 12" BELOW FLOW LINE OF CURB.
- NEW RETAINING WALL
- NEW HPDE 12" STORM SEWER LINE
- PROPOSED BUILDING ROOF DRAIN CONNECTION (CONTRACTOR SHALL COORDINATE EXACT DOWNSPOUT LOCATIONS AND PIPE SIZES WITH ARCHITECTURAL AND PLUMBING PLANS). SCOPE OF WORK SHALL INCLUDE STORM DRAIN TO A POINT 5' FROM THE EDGE OF BUILDING. CONTRACTOR SHALL INSTALL NEW WYE FITTING AT PROPOSED STORM SEWER CONNECTION POINTS.
- NEW FLARED END SECTION

## PROJECT BENCHMARKS:

### NOTE:

ELEVATIONS SHOWN ARE BASED ON A CITY OF ALBUQUERQUE BENCHMARK, ID "9\_B13", ELEVATION 5072.491. (NAVD88).

## FLOOD NOTE:

PROJECT SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD) AS LOCATED ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 35001C0108G, DATED SEPTEMBER 9, 2008.

### PROJECT TEAM

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11/23/15	PERMIT RESPONSE

### PROFESSIONAL SEAL



**PROFESSIONAL IN CHARGE**  
**FARMAN SHIR, P.E.**  
PROFESSIONAL ENGINEER  
LICENSE NO. 21307

**PROJECT MANAGER**  
MIKE HOLMES

**QUALITY CONTROL**  
LARRY DIEHL

**DRAWN BY**  
MIKE HOLMES

### PROJECT NAME

**TEXAS ROADHOUSE**

**ALBUQUERQUE NEW MEXICO**

**10030 COORS BOULEVARD BYPASS NW**

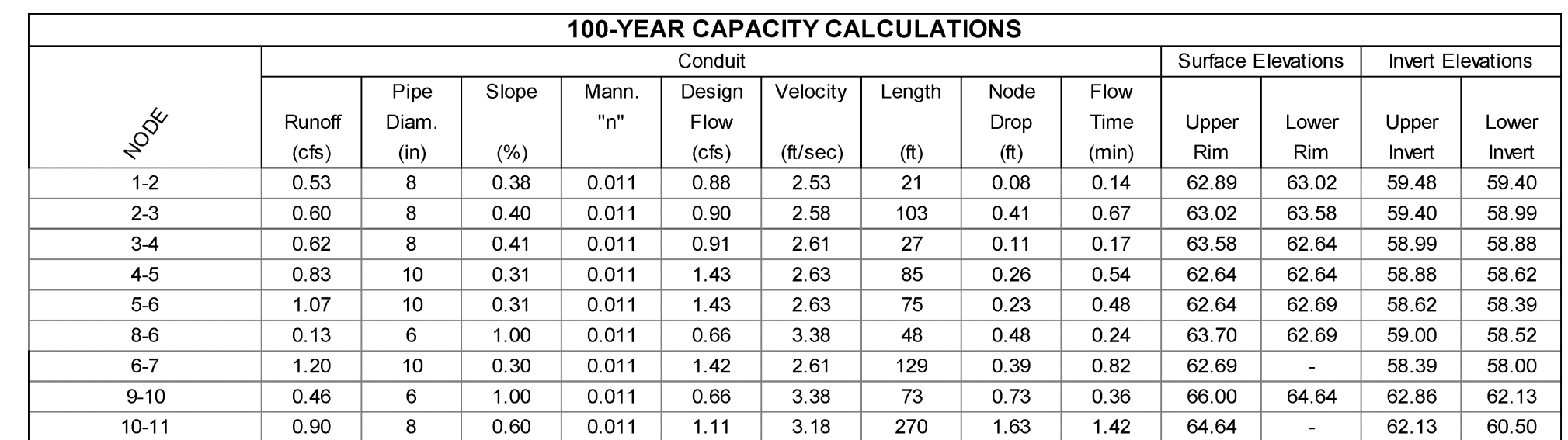
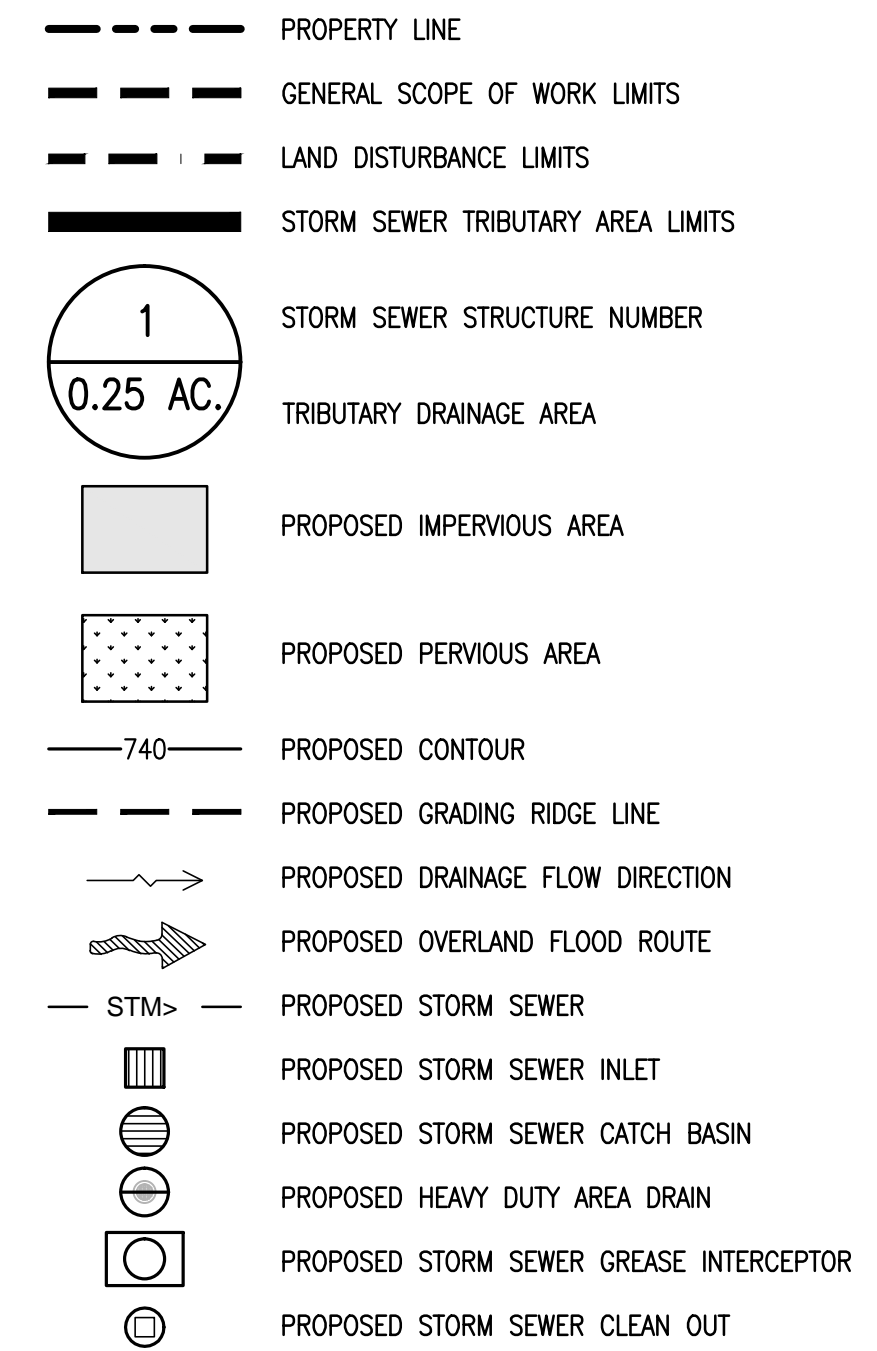


**PROJECT NUMBER**  
20130487.0

**SHEET TITLE**  
**GRADING AND DRAINAGE PLAN**

### SHEET NUMBER

**C4.0**



Location	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				Op Node	Qp Total (includes upstream)	
			%		Qpa		%		Qpa		%		Qpa		%		Qpa			(cfs)	(cfs)
			%				%				%				%						
1	5593	0.13	0.00	0.00	1.29	0.00	0.00	2.03	13.73	0.02	2.87	86.27	0.11	4.37	0.53	0.53					
2	604	0.01	0.00	0.00	1.29	0.00	0.00	2.03	0.00	0.00	2.87	100.00	0.01	4.37	0.06	0.60					
3	199	0.00	0.00	0.00	1.29	0.00	0.00	2.03	0.00	0.00	2.87	100.00	0.00	4.37	0.02	0.62					
4	2493	0.06	0.00	0.00	1.29	0.00	0.00	2.03	36.94	0.02	2.87	63.06	0.04	4.37	0.22	0.83					
5	3394	0.08	0.00	0.00	1.29	0.00	0.00	2.03	87.92	0.07	2.87	12.08	0.01	4.37	0.24	1.07					
6	0	0.00	0.00	0.00	1.29	0.00	0.00	2.03	0.00	0.00	2.87	0.00	0.00	4.37	0.00	1.20					
7	0	0.00	0.00	0.00	1.29	0.00	0.00	2.03	0.00	0.00	2.87	0.00	0.00	4.37	0.00	1.20					
8	1297	0.03	0.00	0.00	1.29	0.00	0.00	2.03	0.00	0.00	2.87	100.00	0.03	4.37	0.13	0.13					
9	5385	0.12	0.00	0.00	1.29	0.00	0.00	2.03	42.99	0.05	2.87	57.01	0.07	4.37	0.46	0.46					
10	5182	0.12	0.00	0.00	1.29	0.00	0.00	2.03	43.86	0.05	2.87	56.14	0.07	4.37	0.44	0.90					
Total Pipe Flow																	2.10				

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11/02/15	PERMIT RESPONSE
11/23/15	PERMIT RESPONSE



## PROJECT INFORMATION

PROJECT NAME: TEXAS ROADHOUSE  
ADDRESS: 10030 COORS BOULEVARD NW  
PARCEL ID: 1 013 065 441 312 10605  
ZONING: SU-1 SPECIAL USE DISTRICT  
RC SU FOR A REGIONAL SHOPPING CENTER  
PARCEL INFO: TRACT C-7A OF THE COTTONWOOD MALL, VOLUME 96C, FOLIO 490,  
FILED DECEMBER 16, 1996  
PROPOSED USE: RESTAURANT AND RETAIL  
BENCHMARK: CITY OF ALBUQUERQUE BENCHMARK, ID "9\_B13",  
ELEVATION 5072.491 (NAVD88)

## NARRATIVE

### INTRODUCTION

THE PROPOSED PROJECT WILL INCLUDE THE DEMOLITION OF AN EXISTING 16,915± BUILDING AND RELATED APPURTANANCES AND THE CONSTRUCTION OF A 7,163 SQUARE FOOT TEXAS ROADHOUSE AND ADDITIONAL RETAIL SPACES APPROXIMATELY 3,000 SQUARE FEET AND 2,000 SQUARE FEET IN SIZE. THE PROJECT WILL ENTAIL THE REMOVAL AND RECONSTRUCTION OF SITE PAVEMENTS AND UTILITIES, INFILTRATION PONDS AND A BIOSWALE HAVE BEEN INCORPORATED INTO THE DESIGN IN ORDER TO CAPTURE AND INFILTRATE THE FIRST FLUSH VOLUMES FROM IMPERVIOUS SITE AREAS. STORM DRAINAGE FLOWS FROM BUILDING ROOF TOP AREAS WILL BE CARRIED THROUGH UNDERGROUND PIPING TO THE PROPOSED INFILTRATION PONDS AT THE NORTHEAST AND SOUTHEAST CORNERS OF THE PROPERTY.

### PROJECT DESCRIPTION

THE PROPOSED PROJECT IS LOCATED AT 10030 COORS BOULEVARD BYPASS NW IN THE CITY OF ALBUQUERQUE. THE PROPERTY IS DESCRIBED AS TRACT C-7A OF THE COTTONWOOD MALL IN VOLUME 96C, FOLIO 490 AS FILED ON DECEMBER 16, 1996. THE SITE IS INCLUDED ON ZONE ATLAS PAGE B-13-Z AS SHOWN ON THE RIGHT SIDE OF THIS SHEET. THE PROJECT SITE LIES WITHIN AND ALONG THE WESTERN SIDE OF THE EXISTING COTTONWOOD MALL DEVELOPMENT. THE PROJECT SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD HAZARD AREA ACCORDING TO FEMA FIRM NUMBER 35001C01086, EFFECTIVE SEPTEMBER 26, 2008. THE EXISTING SITE WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON DECEMBER 13, 1996. THE EXISTING SITE CASE NUMBER IS DRB-96-496. AN ADMINISTRATIVE AMENDMENT FOR THE PROPOSED DEVELOPMENT WAS APPROVED ON JUNE 25, 2015 FILE # 15 AA-10039, PROJECT # 1007500, DESCRIPTION "AMENDMENT TO EXISTING SITE D. PLAN FOR BUILDING PERMIT (DRB-96-496)".

### EXISTING CONDITIONS

THE EXISTING SITE INCLUDES AN EXISTING 16,915± SQUARE FOOT BUILDING, PARKING AREAS AND DRIVE AISLES, A LOADING DOCK, A REFUSE ENCLOSURE, AND RELATED HARDSCAPE AND LANDSCAPE AREAS. EXISTING STORM WATER FALLING ON THE PROPERTY SHEET FLOWS FROM WEST TO EAST WHERE IT PASSES THROUGH SHORT FLUMES TO THE GUTTER FLOW LINE ALONG EAGLE RANCH ROAD. STORM WATER THEN TRAVELS ALONG THE GUTTER TO WHERE IT ENTERS CURB INLETS THAT DISCHARGE INTO THE COTTONWOOD MALL STORM DRAINAGE SYSTEM. THE SITE RECEIVES A SMALL AMOUNT OF STORM WATER RUN-ON FROM THE EASTERNMOST SECTIONS OF COORS BOULEVARD BYPASS RIGHT-OF-WAY. GRADES ALONG THE WESTERNMOST, LANDSCAPED PORTIONS OF THE SITE CONTAIN SLOPES OF UP TO 20% TO 30%. GRADES ALONG THE NORTH AND SOUTH SIDE OF THE BUILDING GENERALLY RANGE FROM 1% TO 5%. GRADES EAST OF THE BUILDING FALL APPROXIMATELY 5% FROM WEST TO EAST. ADJACENT PROPERTIES AND RIGHT-OF-WAY ARE FULLY DEVELOPED AND ARE IN GOOD CONDITION. THE EXISTING SITE DOES NOT INCLUDE STORM WATER RETENTION OR INFILTRATION FACILITIES.

### DEVELOPED CONDITIONS

THE PROPOSED DEVELOPMENT INCLUDES THE DEMOLITION OF THE EXISTING BUILDING AND SURROUNDING PAVEMENT AND THE CONSTRUCTION OF A 7,163 SQUARE FOOT TEXAS ROADHOUSE BUILDING, 5,000 SQUARE FEET OF RETAIL BUILDING SPACE, AND ASSOCIATED PARKING AND DRIVE AREAS, SIDEWALKS, UTILITIES AND ADDITIONAL SITE APPURTANANCES. TREATMENT OF THE 0.34" FIRST FLUSH VOLUME FOR IMPERVIOUS AREAS WILL BE PROVIDED BY THE INCORPORATION OF 4 PONDING AREAS ON THE EASTERN PORTIONS OF THE SITE AND BY THE INCLUSION OF A BIOSWALE ALONG AN ISLAND ON THE EAST SIDE OF THE SITE THAT SEPARATES THE SITE PARKING AREAS FROM EAGLE RANCH ROAD TO THE EAST. STORM WATER FLOWS ABOVE THE FIRST FLUSH VOLUME WILL EXIT THE SITE AS SURFACE FLOWS, WHERE THEY WILL FOLLOW EXISTING DRAINAGE PATTERNS TO THE CURB AND CUTTER ALONG EAGLE RANCH ROAD AND THEN ENTER THE COTTONWOOD MALL STORM DRAINAGE SYSTEM THROUGH CURB INLETS. STORM DRAIN LINES WILL BE UTILIZED TO CARRY STORM DRAINAGE FROM BUILDING ROOF TOPS TO THE PROPOSED PONDING AREAS AT THE NORTHEAST AND SOUTHEAST CORNERS OF THE SITE. THE PROPOSED SITE WILL MAINTAIN THE OVERALL DRAINAGE PATTERN OF STORM WATER FLOW FROM THE WEST SIDE OF THE SITE TO THE EAST. GRADES ALONG THE WESTERN PORTIONS OF THE SITE WILL VARY FROM APPROXIMATELY 20% TO 33%. AREAS ADJACENT TO THE WEST SIDES OF THE PROPOSED BUILDINGS WILL BE SLOPED AWAY FROM THE BUILDINGS AND WILL HAVE FLATTER GRADES BETWEEN 2% TO 10%. SURFACE AREAS TO THE NORTH AND SOUTH OF THE PROPOSED RESTAURANT BUILDING WILL GENERALLY RANGE FROM 1% TO 5%. THE PAVED AREAS ALONG THE EAST SIDE OF THE PARKING AND DRIVE AISLES WILL VARY FROM APPROXIMATELY 2% TO 5%.

### CALCULATIONS

AS SHOWN IN THE "100-YEAR HYDROLOGY CALCULATIONS" TABLE BELOW, THE PROPOSED SITE WILL DECREASE STORM WATER FLOWS FROM THE SITE. A FIRST FLUSH TREATMENT VOLUME OF 1,685 CUBIC FEET IS REQUIRED FOR THE 59,485 SQUARE FEET OF IMPERVIOUS AREA PROPOSED FOR THE PROJECT. THE INCLUSION OF 4 PONDING AREAS WITHIN THE PARKING AREAS AND ALONG THE EASTERN PORTIONS OF THE PROPERTY, ALONG WITH THE INCORPORATION OF A BIOSWALE TO THE EAST OF THE PARKING AND DRIVE AREA WILL PROVIDE A TOTAL TREATMENT VOLUME OF 1,733 CUBIC FEET.

### CONCLUSION

THE PROPOSED PROJECT WILL MAINTAIN THE OVERALL, EXISTING DRAINAGE PATTERNS FOR THE SITE, WILL REDUCE PEAK STORM WATER FLOWS, AND WILL PROVIDE THE REQUIRED FIRST FLUSH TREATMENT VOLUME REQUIRED BY THE CITY OF ALBUQUERQUE MUNICIPAL CODE.

## PROPOSED LEGEND:

---	PROPERTY LINE
▨	LAND TREATMENT D - IMPERVIOUS AREA

## STORM WATER TREATMENT INFORMATION:

PROPERTY AREA:	76,190 SF
IMPERVIOUS AREA (LAND TREATMENT D):	59,485 SF
90TH PERCENTILE STORM EVENT:	0.44 INCHES
LAND TREATMENT D INITIAL ABSTRACTION:	0.1 INCHES
FIRST FLUSH DEPTH ((0.44"-0.1")):	0.34 INCHES
FIRST FLUSH VOLUME ((0.34IN/12)*59,485SF):	1,685 CF

## STORM WATER BMP VOLUME:

NORTH POND:	349 CF
SOUTH POND:	704 CF
NORTH ISLAND:	56 CF
SOUTH ISLAND:	57 CF
BIO SWALE:	567 CF
TOTAL:	1,733 CF

### 100-YEAR HYDROLOGY CALCULATIONS

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				Weighted E (inches)	Volume (ac-ft)	Flow (cfs)
			%	(acres)	Ea	Qpa	%	(acres)	Eb	Qpb	%	(acres)	Ec	Qpc	%	(acres)	Ed	Qpd			
Existing Site	76190	1.75	0	0.00	0.44	1.29	0	0.00	0.67	2.03	25	0.44	0.99	2.87	75	1.31	1.97	4.37	1.725	0.251	6.99
Proposed Site	76190	1.75	0	0.00	0.44	1.29	14	0.24	0.67	2.03	8	0.14	0.99	2.87	78	1.36	1.97	4.37	1.710	0.249	6.86
Comparison	0	0.00		0.00				0.24			-0.30					0.05			-0.002	-0.13	

### Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

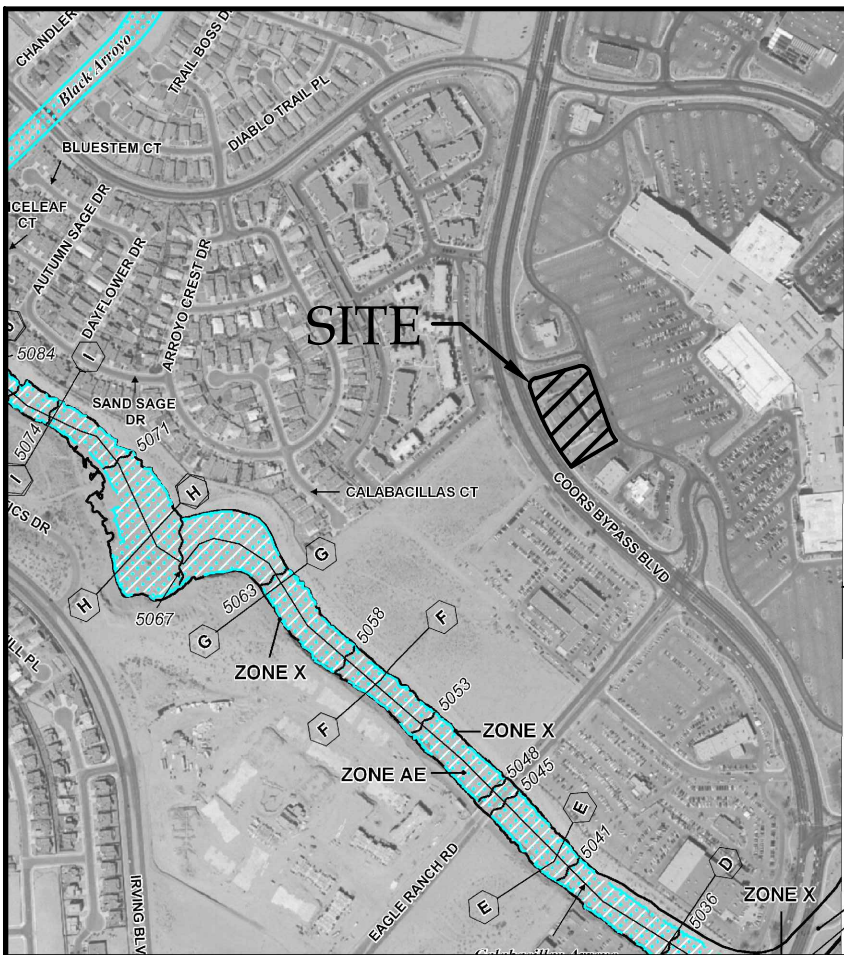
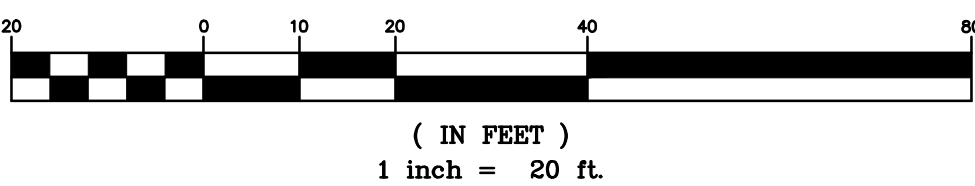
Volume = Weighted E \* Total Area

Flow = Qa\*Aa + Qb\*Ab + Qc\*Ac + Qd\*Ad

Where for 100-year, 6-hour storm (zone 1)

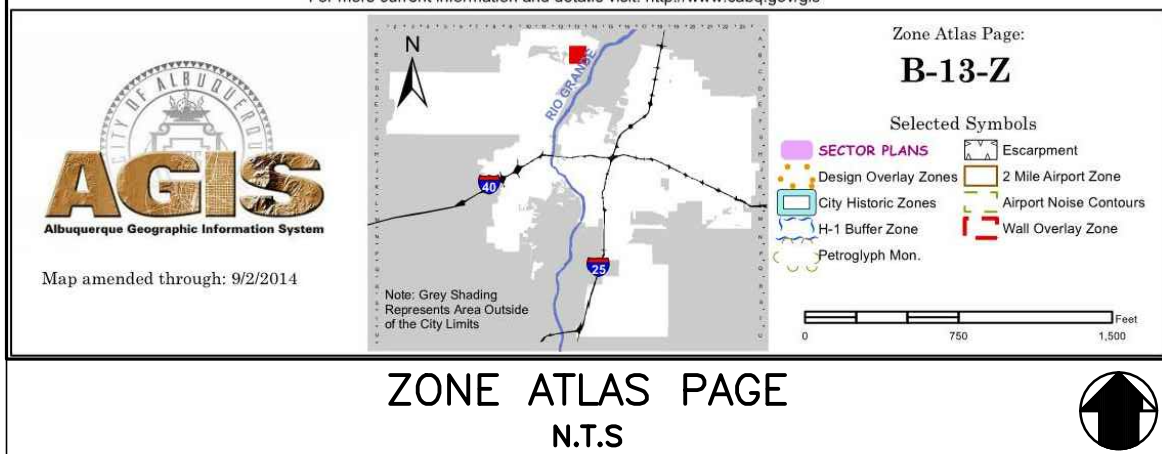
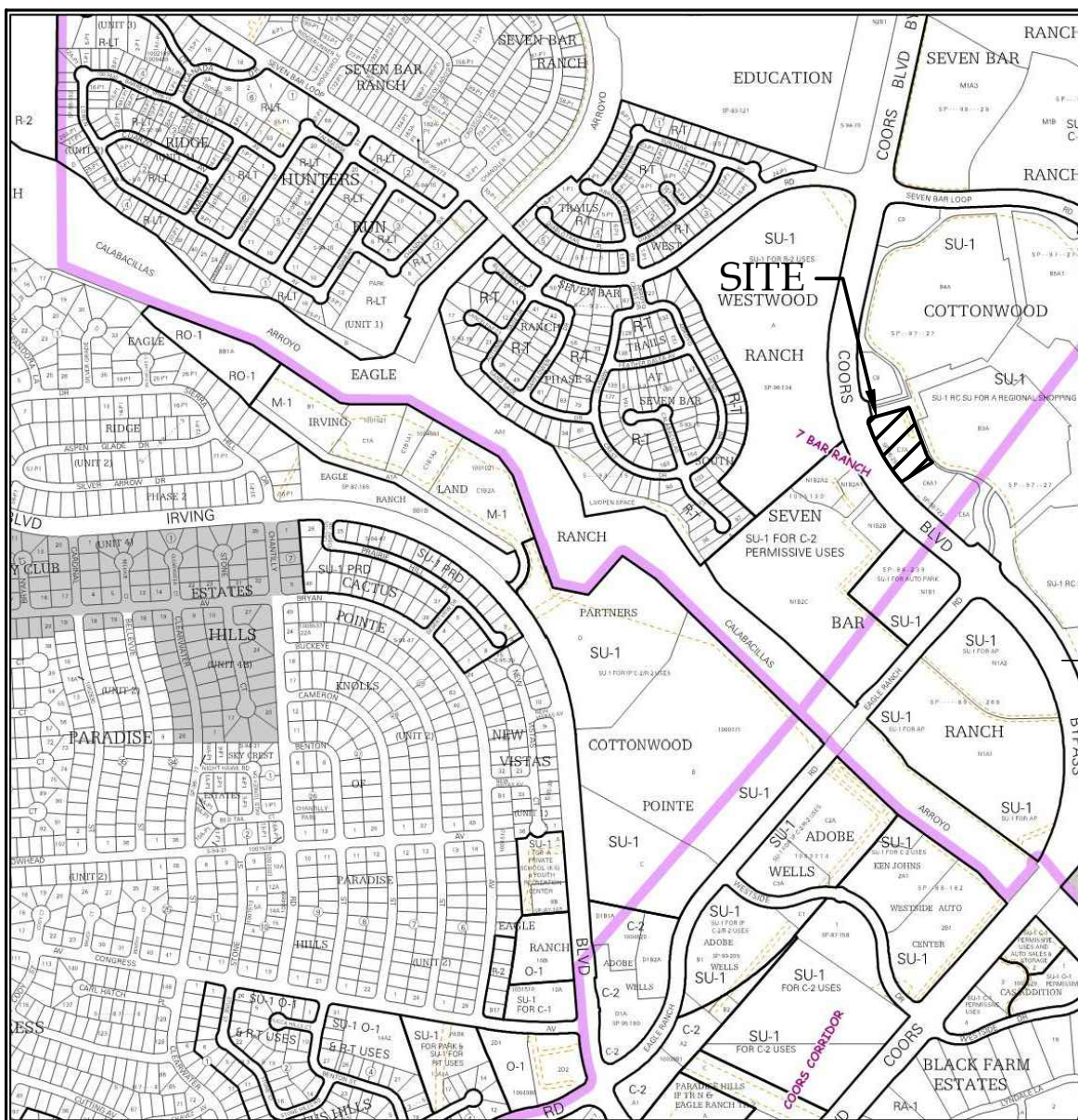
Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

### GRAPHIC SCALE



PROJECT SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD) AS LOCATED ON THE ABOVE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 35001C01086, EFFECTIVE ON SEPTEMBER 26, 2008.

FLOOD INSURANCE RATE MAP  
N.T.S



COORS BOULEVARD BYPASS

EAGLE RANCH RD.



Know what's below.  
Call before you dig.

GENERAL UTILITY NOTES:

1. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
3. CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO COMMENCING ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. ALL PROPOSED CONNECTIONS TO EXISTING UTILITY STRUCTURES OR PIPING SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNING AUTHORITY REQUIREMENTS AND SPECIFICATIONS.
5. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING SEWER SYSTEMS DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
6. SEE THE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS INCLUDING ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
7. SEE THE GENERAL NOTES SHEET FOR INFORMATION ON MSD'S FOG REQUIREMENTS FOR FOOD SERVICE ESTABLISHMENTS.

EXISTING LEGEND:

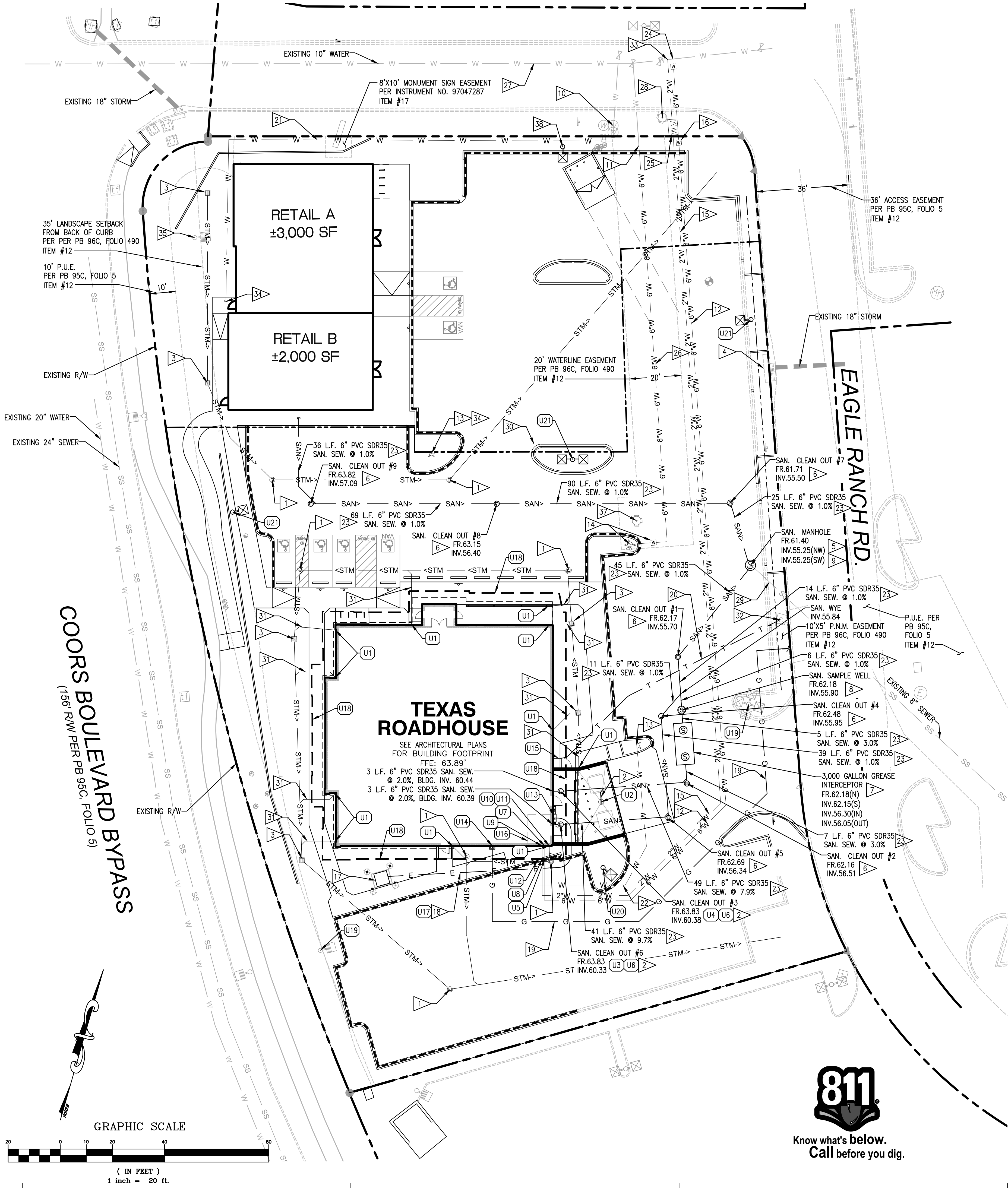
- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING CONCRETE CURB AND GUTTER
- EXISTING STORM SEWER
- EXISTING FIRE HYDRANT

PROPOSED LEGEND:

- PROPERTY LINE
- GENERAL SCOPE OF WORK LIMITS
- STM> PROPOSED STORM SEWER
- SAN> PROPOSED SANITARY SEWER
- W--- PROPOSED WATER LINE
- 8"W--- PROPOSED 8" WATER MAIN
- 6"W--- PROPOSED 6" FIRE PROTECTION WATER SERVICE
- 2"W--- PROPOSED 2" DOMESTIC WATER SERVICE
- 1"W--- PROPOSED 1" IRRIGATION WATER SERVICE
- E--- PROPOSED ELECTRIC SERVICE LINE
- GAS--- PROPOSED GAS SERVICE LINE
- T--- PROPOSED TELEPHONE SERVICE LINE
- PROPOSED STORM SEWER STRUCTURES
- PROPOSED HEAVY DUTY AREA DRAIN
- PROPOSED STORM SEWER GREASE INTERCEPTOR
- PROPOSED SANITARY SEWER GREASE INTERCEPTOR
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED SANITARY SEWER SAMPLING WELL
- PROPOSED FIRE HYDRANT
- PROPOSED WATER SERVICE VALVE AND BOX
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED LIGHT POLE
- PROPOSED TRANSFORMER
- PROPOSED GAS METER
- PROPOSED ELECTRIC METER, CT CABINET AND DISCONNECT

UTILITY SERVICE NOTE:

CONTRACTOR SHALL COORDINATE ALL PROPOSED UTILITY SERVICE LINE POINTS OF CONNECTION WITH BUILDING MEP PLANS.



UTILITY KEY NOTES:

- U1 PROPOSED BUILDING ROOF DRAIN CONNECTION (CONTRACTOR SHALL COORDINATE EXACT DOWNSPOUT LOCATIONS AND PIPE SIZES WITH ARCHITECTURAL AND PLUMBING PLANS. SEE GRADING AND DRAINAGE PLAN). SCOPE OF WORK SHALL INCLUDE STORM DRAIN FROM LANDLORD LIMIT OF WORK 5' FROM BUILDING TO ROOF DRAIN AT BUILDING.
- U2 PROPOSED ZURN Z505 HEAVY DUTY AREA DRAIN TO CONNECT TO SEWER SYSTEM (COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS)
- U3 CONNECT PROPOSED 6" SANITARY SEWER SERVICE TO NEW 6" SANITARY SEWER STUB PROVIDED BY LANDLORD
- U4 CONNECT PROPOSED 6" SANITARY SEWER GREASE WATER TO NEW 6" SANITARY SEWER PROVIDED BY LANDLORD WITH NEW WYE FITTING
- U5 CONNECT PROPOSED 6" FIRE PROTECTION WATER SERVICE LINE TO NEW 6" FIRE MAIN PROVIDED BY LANDLORD
- U6 PROPOSED SANITARY SEWER CLEAN OUT
- U7 PROPOSED FIRE PROTECTION WATER SERVICE DOUBLE CHECK VALVE BACKFLOW PREVENTION DEVICE TO BE LOCATED INSIDE BUILDING MECHANICAL ROOM (SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- U8 CONNECT PROPOSED 2" TYPE K COPPER WATER SERVICE LINE TO NEW 2" WATER SERVICE LINE PROVIDED BY LANDLORD
- U9 PROPOSED 2" DOMESTIC WATER SERVICE BUILDING ENTRY
- U10 PROPOSED 1" TYPE K COPPER IRRIGATION WATER SERVICE LINE STUB (IRRIGATION SERVICE TO BE TAPPED OFF NEW DOMESTIC WATER SERVICE INSIDE BUILDING. SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION)
- U11 PROPOSED IRRIGATION WATER SERVICE LINE BACKFLOW PREVENTION DEVICE AND 1" WATER METER TO BE LOCATED INSIDE BUILDING MECHANICAL ROOM (CONTRACTOR SHALL COORDINATE EXACT IRRIGATION STUB LOCATION WITH PLUMBING PLANS AND SEE IRRIGATION PLAN FOR LINE CONTINUATION)
- U12 CONNECT PROPOSED FIRE DEPARTMENT CONNECTION LINE TO NEW 6" PVC C900 WATER LINE PROVIDED BY LANDLORD
- U13 PROPOSED ELECTRIC SERVICE METER, CT CABINET AND DISCONNECT LOCATION (SEE BUILDING ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- U14 PROPOSED GAS SERVICE METER (CONTRACTOR SHALL COORDINATE METER LOCATION WITH GAS COMPANY AND BUILDING MECHANICAL PLANS)
- U15 PROVIDE (2) 2" PVC SCHEDULE 80 CONDUITS FROM STUB PROVIDED BY LANDLORD TO BUILDING WITH PULL WIRE FOR NEW TELEPHONE AND CABLE TELEVISION SERVICE LINES (CONTRACTOR SHALL COORDINATE ROUTING AND INSTALLATION REQUIREMENTS WITH TELEPHONE AND CABLE COMPANIES. SEE BUILDING ELECTRICAL PLANS FOR ADDITIONAL INFORMATION)
- U16 PROPOSED BUILDING MECHANICAL ROOM (SHOWN FOR REFERENCE ONLY)
- U17 PROPOSED SECONDARY ELECTRIC SERVICE LINE. CONTRACTOR SHALL PULL NEW PRIMARY WIRING THROUGH LANDLORD SUPPLIED CONDUIT. (CONTRACTOR SHALL COORDINATE NEW BUILDING ELECTRIC SERVICE INSTALLATION WITH POWER COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS. SEE BUILDING ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- U18 GENERAL SCOPE OF WORK LIMITS. SCOPE MAY INCLUDE INCLUDE ITEMS OUTSIDE GENERAL LIMITS OR EXCLUDE ITEMS WITHIN. SEE KEY NOTES ON PLAN FOR ADDITIONAL INFORMATION.
- U19 EXISTING LIGHT POLE TO REMAIN (SEE PHOTOMETRIC PLAN)
- U20 PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN AND BUILDING ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- U21 PROPOSED POINT OF RELOCATION FOR EXISTING LIGHT POLE (SEE PHOTOMETRIC PLAN AND BUILDING ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND DETAIL)

UTILITY KEY NOTES (BY LANDLORD):

- 1 NEW STORM SEWER CLEAN OUT
- 2 NEW 6" SANITARY SEWER STUB FOR TEXAS ROADHOUSE CONNECTION
- 3 NEW NYLOPLAST 12" JUNCTION AND DRAIN GRATE
- 4 CONNECT TO EXISTING CURB INLET (CONTRACTOR SHALL FIELD VERIFY EXISTING LOCATION AND ELEVATION OF CURB INLET PRIOR TO INSTALLING NEW CONNECTION)
- 5 NEW 4" DIAMETER SANITARY SEWER MANHOLE
- 6 NEW SANITARY SEWER CLEANOUT
- 7 NEW 3,000 GALLON SANITARY SEWER GREASE INTERCEPTOR (SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- 8 NEW SANITARY SEWER SAMPLING WELL (SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION AND DETAIL)
- 9 CONNECT NEW SANITARY SEWER MANHOLE TO EXISTING 8" SANITARY SEWER SERVICE STUB (CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION AND ELEVATION OF EXISTING 8" SANITARY SEWER LINE PRIOR TO INSTALLING PROPOSED SANITARY SEWER SERVICE LINES)
- 10 EXISTING WATER VALVE AND BOX TO REMAIN
- 11 CONNECT NEW 6" WATER SERVICE LINE TO EXISTING 6" WATER LINE (CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION AND DEPTH OF EXISTING 6" WATER LINE)
- 12 NEW 6" PVC C900 FIRE SPRINKLER SERVICE LINE FOR TEXAS ROADHOUSE CONNECTION
- 13 NEW REMOTE FIRE DEPARTMENT CONNECTION (FDC) WITH SIGNAGE.
- 14 PROPOSED LOCATION OF NEW FIRE HYDRANT AND 6" AUXILIARY VALVE
- 15 NEW 2" TYPE K DOMESTIC WATER SERVICE LINE FOR TEXAS ROADHOUSE CONNECTION
- 16 POST INDICATOR VALVE BY LANDLORD.
- 17 ELECTRIC TRANSFORMER LOCATION (CONTRACTOR SHALL COORDINATE TRANSFORMER LOCATION, SIZE AND DESIGN WITH POWER COMPANY)
- 18 NEW SECONDARY ELECTRIC SERVICE LINE CONDUITS ((3) 4" PVC SCHEDULE 80 CONDUITS WITH PULL WIRE)
- 19 NEW GAS SERVICE LINE (CONTRACTOR SHALL COORDINATE ROUTING AND INSTALLATION REQUIREMENTS WITH GAS COMPANY. SEE BUILDING MECHANICAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- 20 NEW (2) 2" PVC SCHEDULE 80 CONDUITS WITH PULL WIRE FOR NEW TELEPHONE AND CABLE TELEVISION SERVICE LINES (CONTRACTOR SHALL COORDINATE ROUTING AND INSTALLATION REQUIREMENTS WITH TELEPHONE AND CABLE COMPANIES. SEE BUILDING ELECTRICAL PLANS FOR ADDITIONAL INFORMATION)
- 21 1.5" DOMESTIC SERVICE LINE BY LANDLORD
- 22 NEW 6" PVC C900 WATER LINE TO FIRE DEPARTMENT CONNECTION (FDC)
- 23 NEW 6" SANITARY SEWER LINE
- 24 NEW 6" PRESSURE CONNECTION BY LANDLORD
- 25 NEW 2" WATER METER AND BACKFLOW PREVENTION DEVICE BY LANDLORD
- 26 REMOVE EXISTING FIRE LINE AND REPLACE WITH NEW 6" FIRE LINE IN SAME TRENCH (CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION AND DEPTH OF EXISTING FIRE LINE)
- 27 EXISTING 10" WATER LINE TO REMAIN. PROTECT IN PLACE
- 28 EXISTING FIRE HYDRANT TO REMAIN. PROTECT IN PLACE
- 29 EXISTING 8" SANITARY SEWER LINE TO REMAIN. PROTECT IN PLACE
- 30 NOT USED
- 31 PROPOSED BUILDING ROOF DRAIN CONNECTION (CONTRACTOR SHALL COORDINATE EXACT DOWNSPOUT LOCATIONS AND PIPE SIZES WITH ARCHITECTURAL AND PLUMBING PLANS. SEE GRADING AND DRAINAGE PLAN). SCOPE OF WORK SHALL INCLUDE STORM DRAIN TO A POINT 5' FROM THE EDGE OF BUILDING. CONTRACTOR SHALL INSTALL NEW WYE FITTING AT PROPOSED STORM SEWER CONNECTION POINTS. POINT OF CONNECTION WITH EXISTING UTILITY SERVICE. COORDINATE UTILITY SERVICE INSTALLATION WITH THE APPROPRIATE UTILITY COMPANY.
- 32 NEW 2" DOMESTIC WATER SERVICE CONNECTION
- 33 SEE LANDLORD'S CIVIL AND ARCHITECTURAL PLANS FOR WATER LINE ROUTE AND RETAIL BUILDING ENTRY LOCATION
- 35 EXISTING LIGHT POLE TO REMAIN (SEE PHOTOMETRIC PLAN)
- 36 PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN)
- 37 LOCATION OF EXISTING HYDRANT TO BE REMOVED AND REPLACED BY NEW HYDRANT.
- 38 PROPOSED POINT OF RELOCATION FOR EXISTING LIGHT POLE (SEE PHOTOMETRIC PLAN)

PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
04/03/15	COORDINATION SET
04/06/15	PERMIT SET
07/28/15	BID SET
09/14/15	PERMIT RESPONSE
10/19/15	CONSTRUCTION SET
11/02/15	PERMIT RESPONSE
11/23/15	PERMIT RESPONSE

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE  
**FARMAN SHIR, P.E.**  
PROFESSIONAL ENGINEER  
LICENSE NO. 21307

PROJECT MANAGER  
MIKE HOLMES

QUALITY CONTROL  
LARRY DIEHL

DRAWN BY  
MIKE HOLMES

PROJECT NAME

**TEXAS ROADHOUSE**

**ALBUQUERQUE NEW MEXICO**

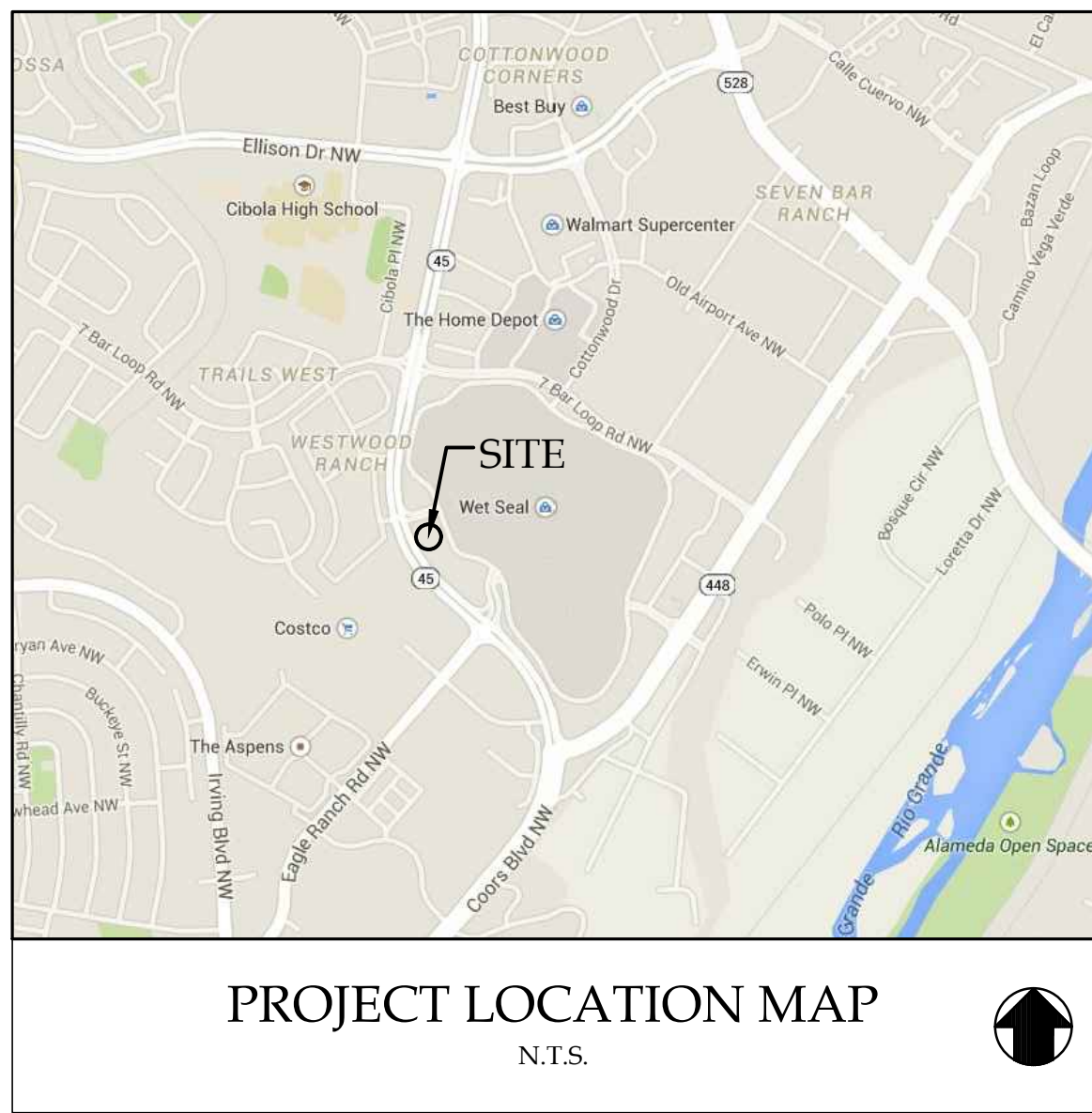
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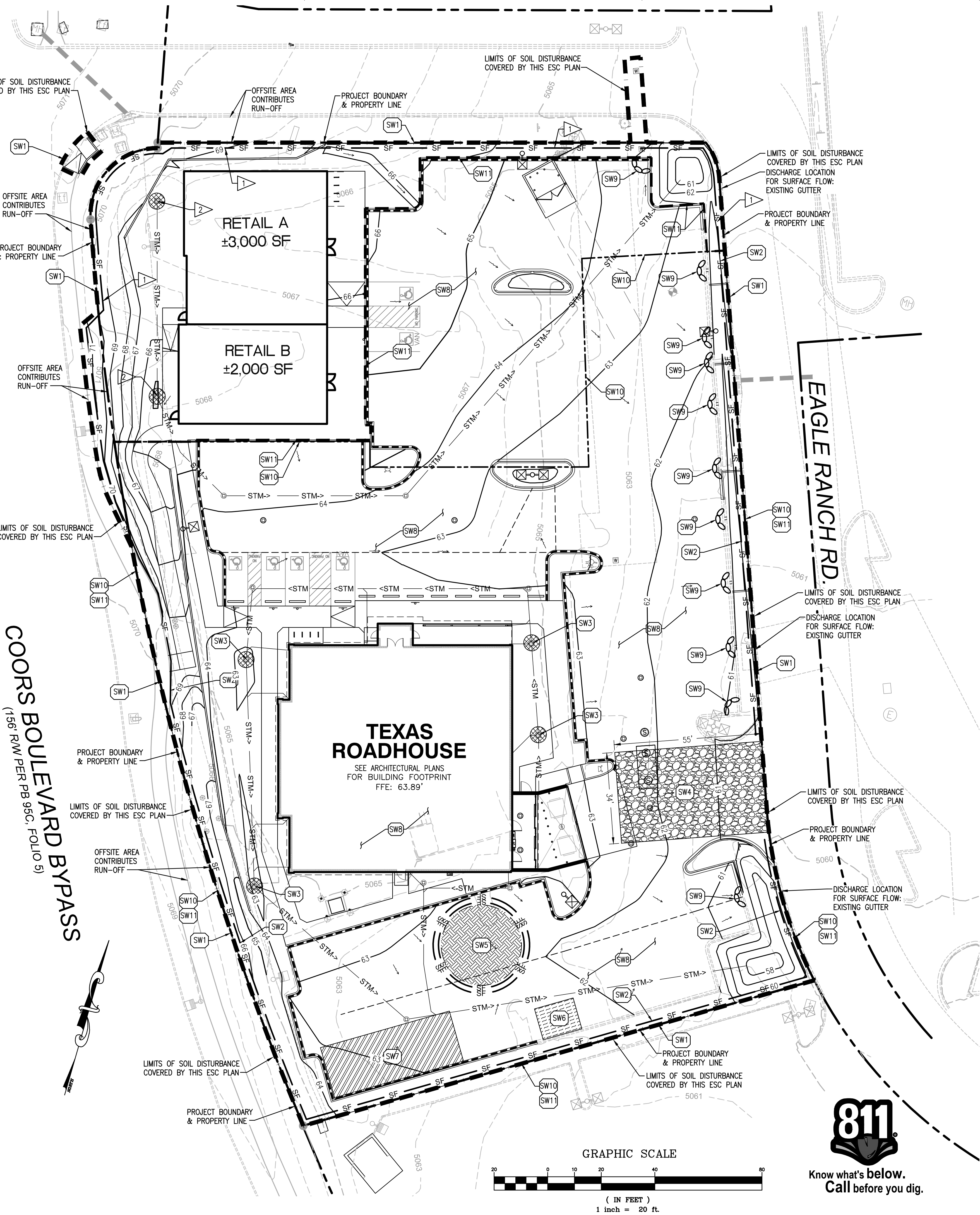
SHEET TITLE  
**UTILITY PLAN**

SHEET NUMBER  
**C5.0**



GENERAL SWPPP NOTES:

- COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH ANY NECESSARY PERMITS AND INSPECTION FORMS. ALL CONSTRUCTION ACTIVITIES SHALL BE IN COMPLIANCE WITH THE PROJECT SWPPP.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
- CONTRACTOR SHALL IMPLEMENT SITE SPECIFIC BEST MANAGEMENT PRACTICES (BMPs) AS SHOWN AND REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED BY THE CONTRACTOR AS DICTATED BY SITE CONDITIONS OR THE PROJECT GOVERNING AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- ALL BEST MANAGEMENT PRACTICES AND CONTROLS SHALL CONFORM TO THE APPLICABLE FEDERAL, STATE, OR LOCAL REQUIREMENTS, STANDARDS, AND SPECIFICATIONS OR MANUAL OF PRACTICE.
- IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL SOIL EROSION, SEDIMENT AND/OR POLLUTION FROM THE PROJECT SITE, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
- INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN WITHIN THE VICINITY OF THE DISTURBED AREA LIMITS AS SHOWN ON THE PLANS. THESE SHALL BE MAINTAINED UNTIL THE TRIBUTARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER AND/OR APPROPRIATE GROUND STABILIZATION.
- ALL STREETS ADJACENT TO THE PROJECT SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS. CONTRACTOR SHALL CLEAN ADJACENT PAVEMENTS AT THE END OF EACH WORKING DAY WHEN NECESSARY. ANY FUGITIVE DIRT/DEBRIS ON ADJACENT PAVEMENTS SHALL BE REMOVED AT THE END OF EACH DAY.
- CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION TO THE EXTENT PRACTICABLE.
- ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AS SOON AS IS PRACTICABLE.
- IF DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED.
- ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST SHALL BE ADEQUATELY CONTROLLED ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED TRASH CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SWALES. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER SYSTEMS IS PROHIBITED.
- ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED WITHIN THREE (3) DAYS OF FINAL DISTURBANCE.
- ALL SOIL STOCKPILES SHALL BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
  - WHEN THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
  - WHEN CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED (I.E. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS), THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
- PRE-QUALIFIED PERSONNEL (PROVIDED BY THE CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 4:1 SLOPE OR STEEPER.
- ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OF OFF SITE BY THE CONTRACTOR.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY STORM WATER POLLUTION PREVENTION PLAN SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW.
- ALL DIRT AND DEBRIS ORIGINATING FROM CONSTRUCTION ACTIVITIES SHALL REMAIN WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THIS PLAN. DIRT AND DEBRIS DESIGNATED FOR EXPORT SHALL BE REMAIN WITHIN THE LIMITS OF DISTURBANCE EXCEPT FOR MATERIALS THAT ARE ACTIVELY BEING EXPORTED.
- ALL GOOD HOUSEKEEPING MEASURES LISTED IN THE PROJECT SWPPP SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES AND UNTIL FINAL STABILIZATION OF THE SITE HAS OCCURRED.
- REFER TO THE PROJECT LANDSCAPE PLANS FOR IMPERVIOUS AREA SURFACE TREATMENT FOR FINAL SITE STABILIZATION. REMOVAL OF TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT OCCUR UNTIL FINAL SITE STABILIZATION.



EXISTING LEGEND:

- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING CONCRETE CURB AND GUTTER
- EXISTING STORM SEWER
- EXISTING FIRE HYDRANT

PROPOSED LEGEND:

- PROPERTY LINE
- GENERAL SCOPE OF WORK LIMITS
- PROPOSED CONTOUR
- LAND DISTURBANCE LIMITS (SEE DISTURBED SITE AREA TABLE)
- PROPOSED SILT FENCE
- PROPOSED STONE BAG INLET PROTECTION
- PROPOSED GRAVEL BAG BARRIER
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED TEMPORARY TOPSOIL STOCKPILE (SUGGESTED LOCATION)
- PROPOSED CONCRETE WASHOUT (SUGGESTED LOCATION)
- PROPOSED CONTRACTOR STAGING AREA (SUGGESTED LOCATION)
- PROPOSED GRADING RIDGE LINE
- PROPOSED STORM SEWER
- PROPOSED DRAINAGE FLOW DIRECTION
- PROPOSED OVERLAND FLOOD ROUTE
- PROPOSED STORM SEWER STRUCTURES
- PROPOSED SANITARY SEWER STRUCTURES
- PROPOSED SANITARY SEWER GREASE INTERCEPTOR

SWPPP KEY NOTES:

- SW1 PROPOSED PROJECT LAND DISTURBANCE LIMITS
- SW2 PROPOSED SILT FENCE
- SW3 PROPOSED INLET PROTECTION
- SW4 PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- SW5 PROPOSED TEMPORARY TOPSOIL STOCKPILE WITH DOUBLE SILT FENCE PROTECTION
- SW6 PROPOSED CONCRETE WASHOUT WITH MINIMUM 30-MIL POLYETHYLENE LINING AND LOCATION SIGNAGE
- SW7 PROPOSED CONTRACTOR STAGING AREA INCLUDING BUILDING MATERIALS STORAGE, COVERED TRASH DUMPSTER, AND PORTABLE TOILET FACILITIES
- SW8 SOIL TYPE: (BCC) BLUEPOINT LOAMY FINE SAND, 1 TO 9 PERCENT SLOPES MLRA 42
- SW9 GRAVEL BAG BARRIER
- SW10 LIMITS OF PREMISES
- SW11 GENERAL SCOPE OF WORK LIMITS. SCOPE MAY INCLUDE ITEMS OUTSIDE GENERAL LIMITS OR EXCLUDE ITEMS WITHIN. SEE KEY NOTES ON PLAN FOR ADDITIONAL INFORMATION.

SWPPP KEY NOTES  
(BY LANDLORD):

- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- SOIL TYPE: (BCC) BLUEPOINT LOAMY FINE SAND, 1 TO 9 PERCENT SLOPES MLRA 42

PROJECT INFORMATION:

TOTAL DISTURBED AREA: 77,056 SQ. FT. / 1.77 ACRES  
TOTAL SITE AREA: 76,190 SQ. FT. / 1.75 ACRES

SWPPP MAINTENANCE & SCHEDULE:

- OBTAIN ALL APPLICABLE SITE PERMITS AND THOROUGHLY REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
- INSTALL PERIMETER SEDIMENT CONTROL MEASURES (I.E. SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE).
- INSTALL INLET PROTECTION DEVICES FOR EXISTING STORM SEWER INLETS AND DRAINAGE STRUCTURES.
- PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
  - ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
  - CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
- INSTALL NEW STORM SEWERS AND OTHER SITE UTILITIES AS INDICATED ON THE PLANS.
- PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
- INSTALL TEMPORARY CONCRETE WASHOUT FACILITY PRIOR TO COMMENCEMENT OF ANY CONCRETE WORK ON SITE.
- INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
- PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED FOR AREAS ADJACENT TO THE PROJECT SITE.
- INSTALL BUILDING FOUNDATION AND COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
- REMOVE ALL TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.

GreenbergFarrow  
COAF

19000 MacArthur Blvd, Suite 250  
Irvine, CA 92612  
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PROJECT TEAM

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11/23/15	PERMIT RESPONSE

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE  
**FARMAN SHIR, P.E.**  
PROFESSIONAL ENGINEER  
LICENSE NO. 21307

PROJECT MANAGER

MIKE HOLMES

QUALITY CONTROL

LARRY DIEHL

DRAWN BY

MIKE HOLMES

PROJECT NAME

**TEXAS  
ROADHOUSE**

**ALBUQUERQUE  
NEW MEXICO**

**10030 COORS BOULEVARD  
BYPASS NW**



PROJECT NUMBER

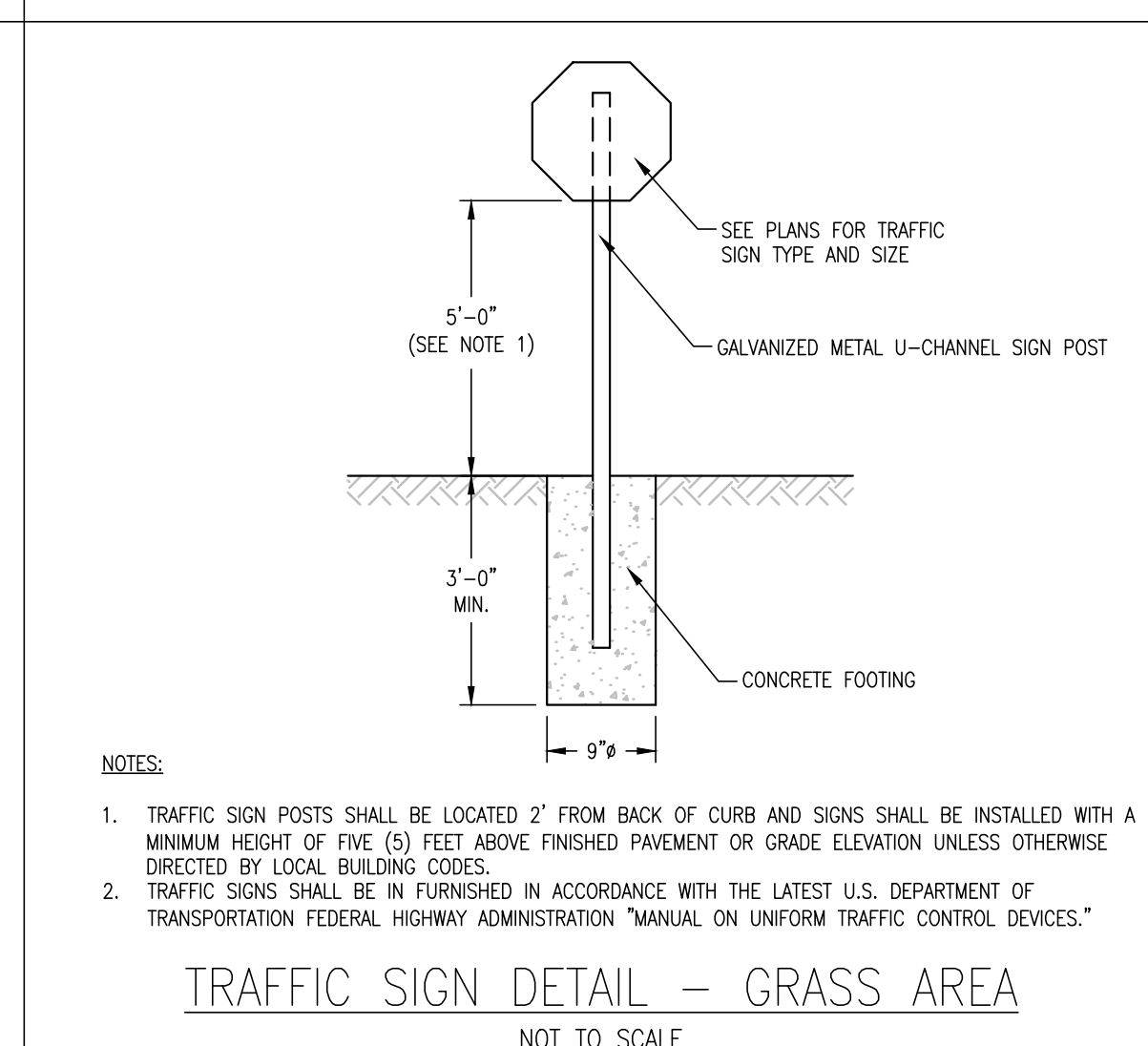
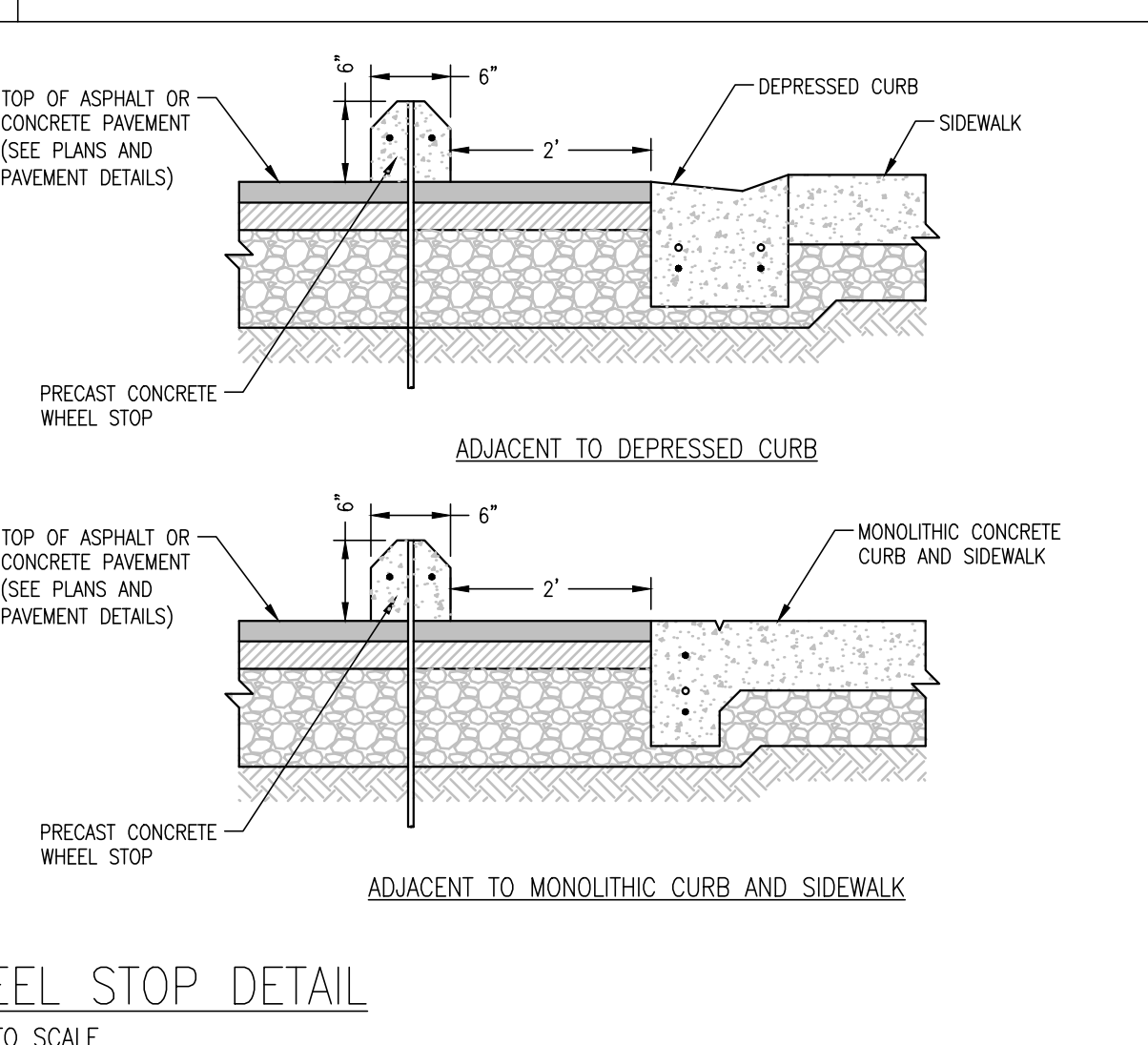
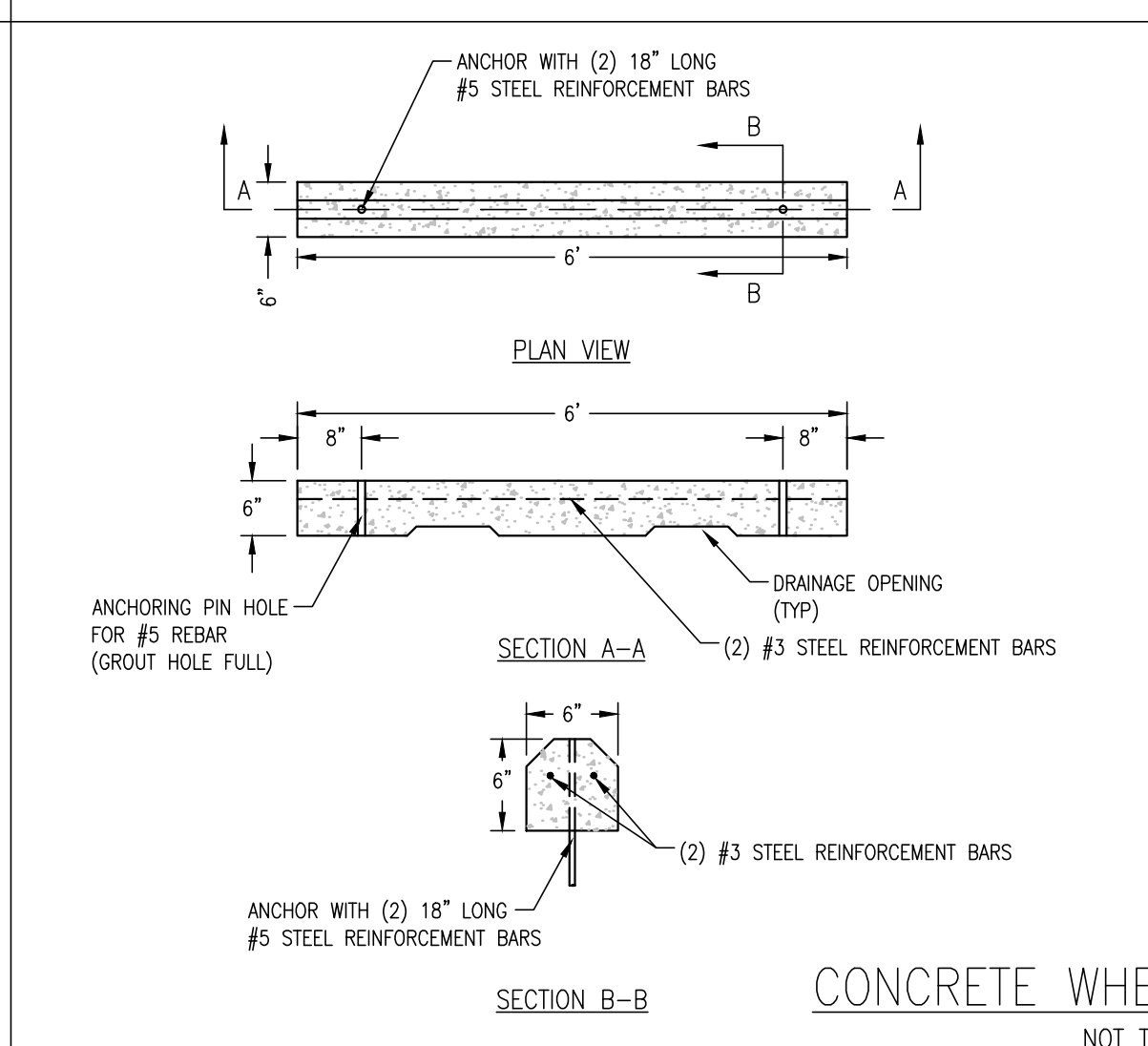
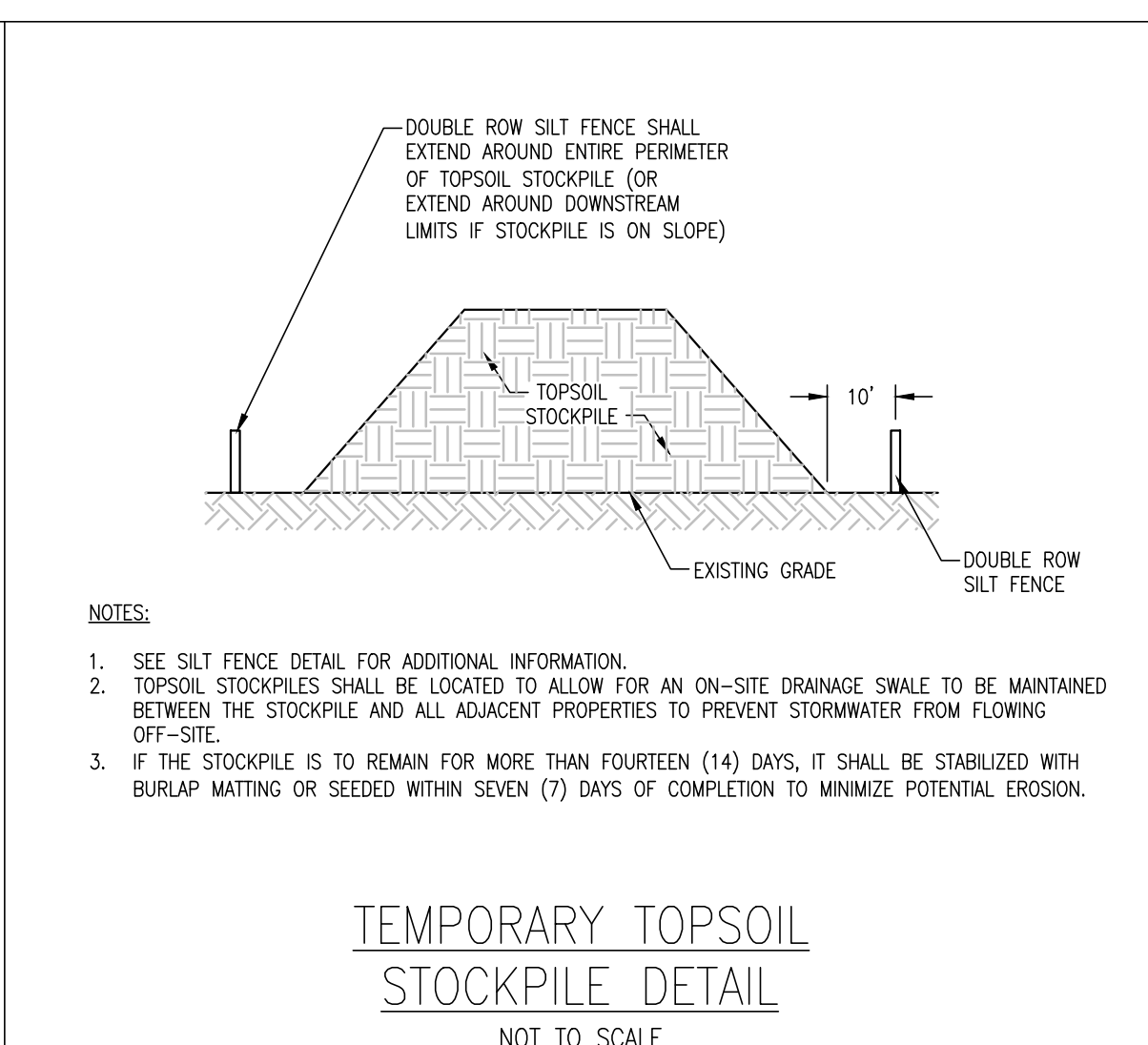
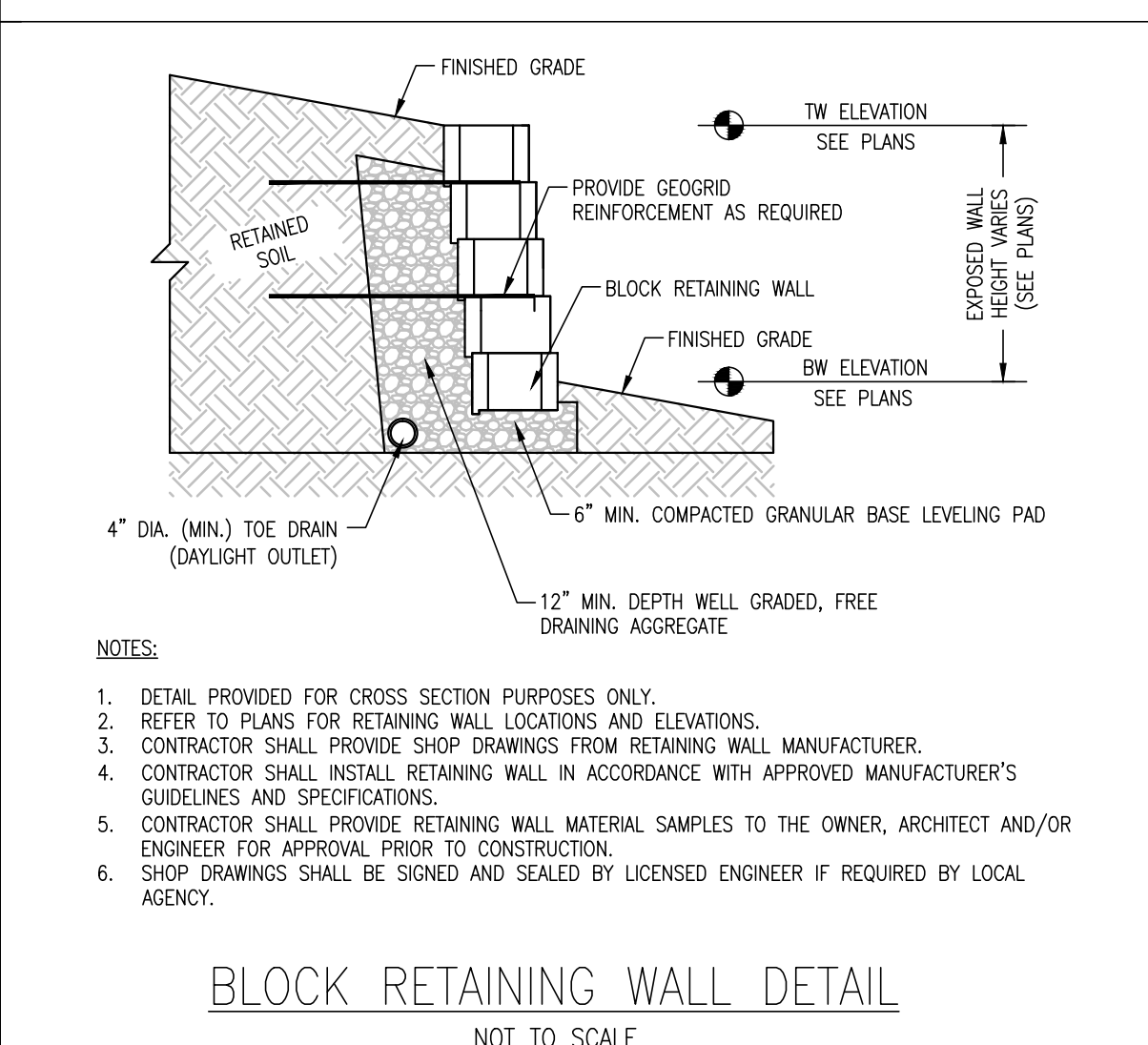
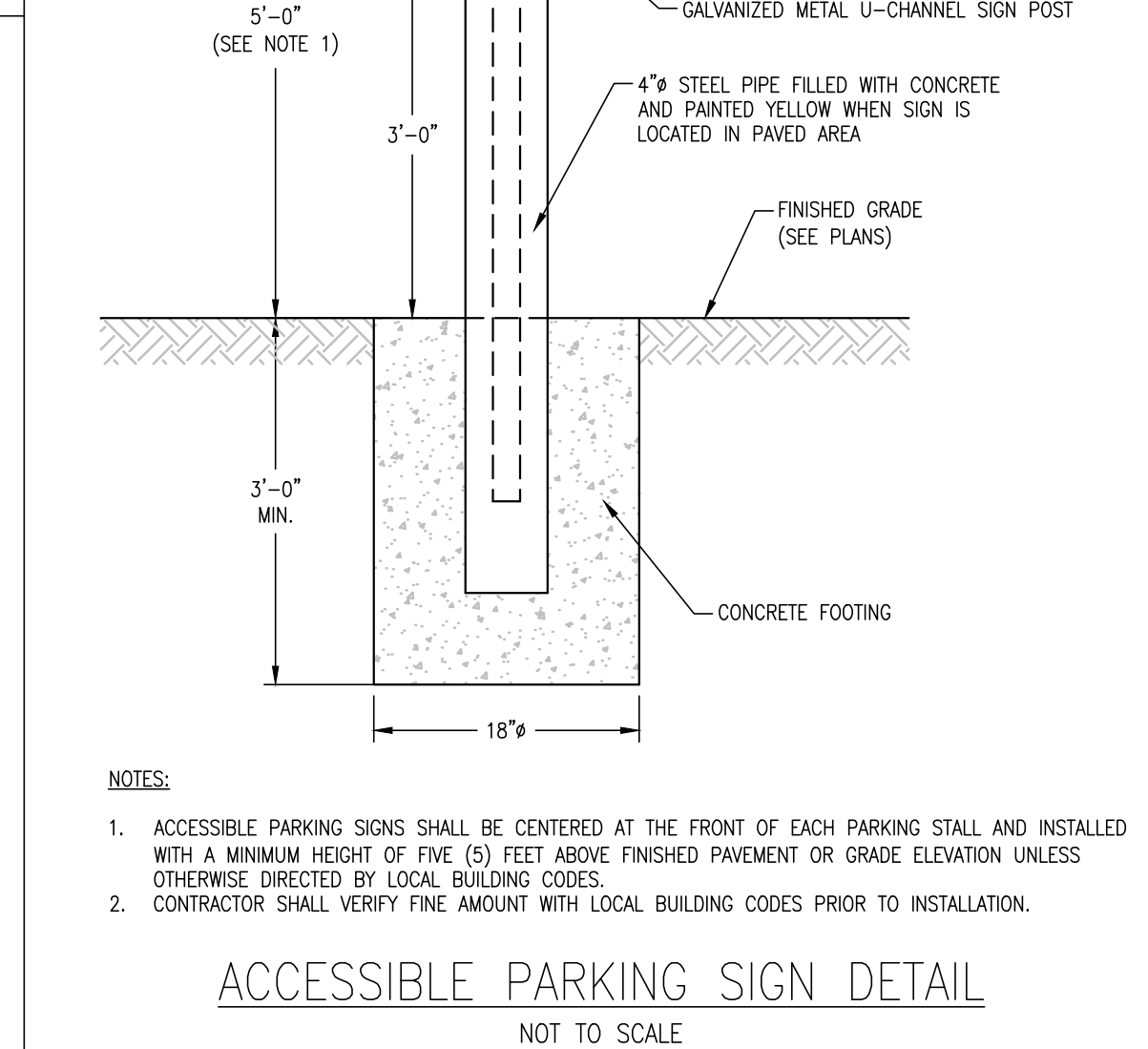
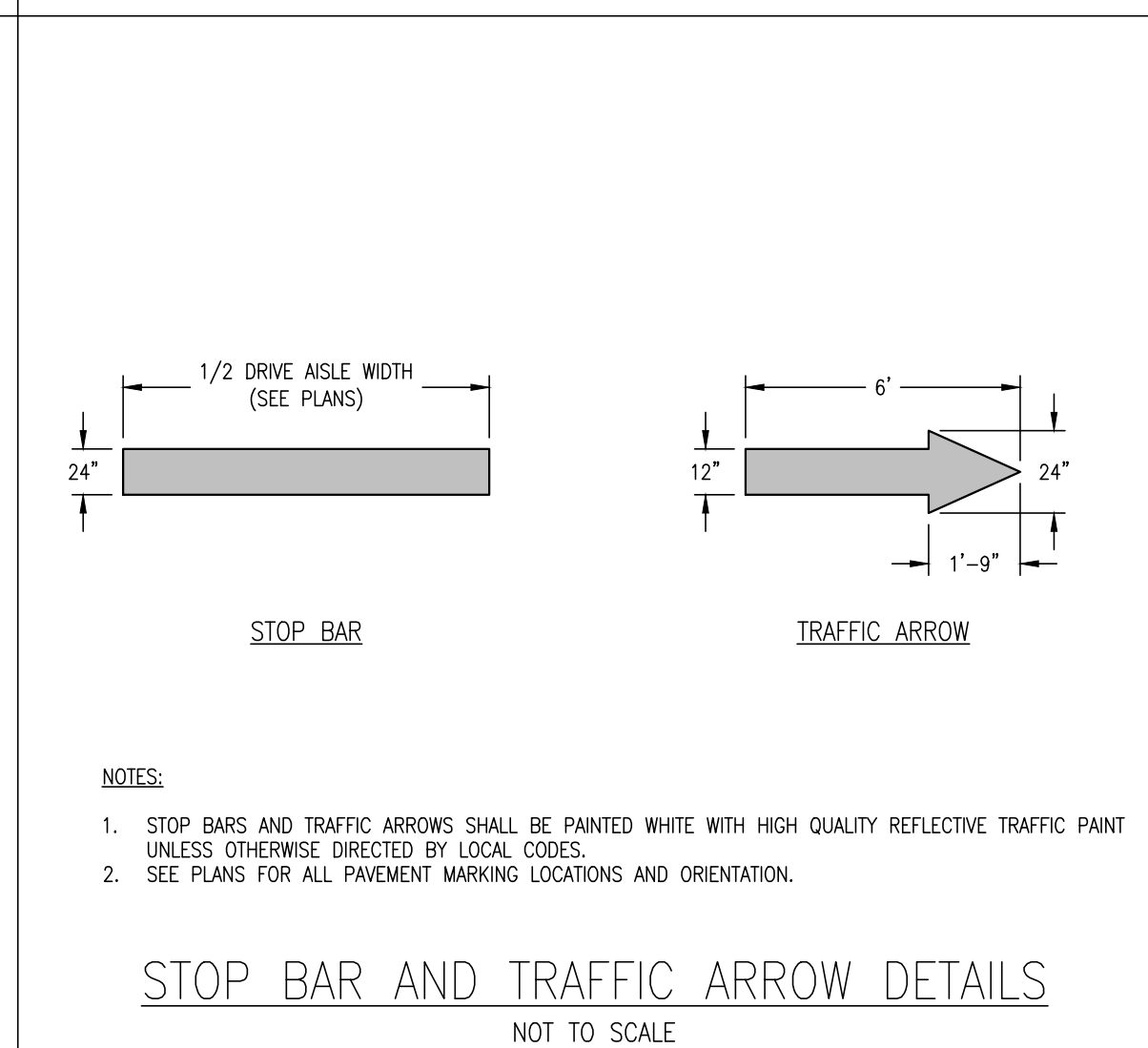
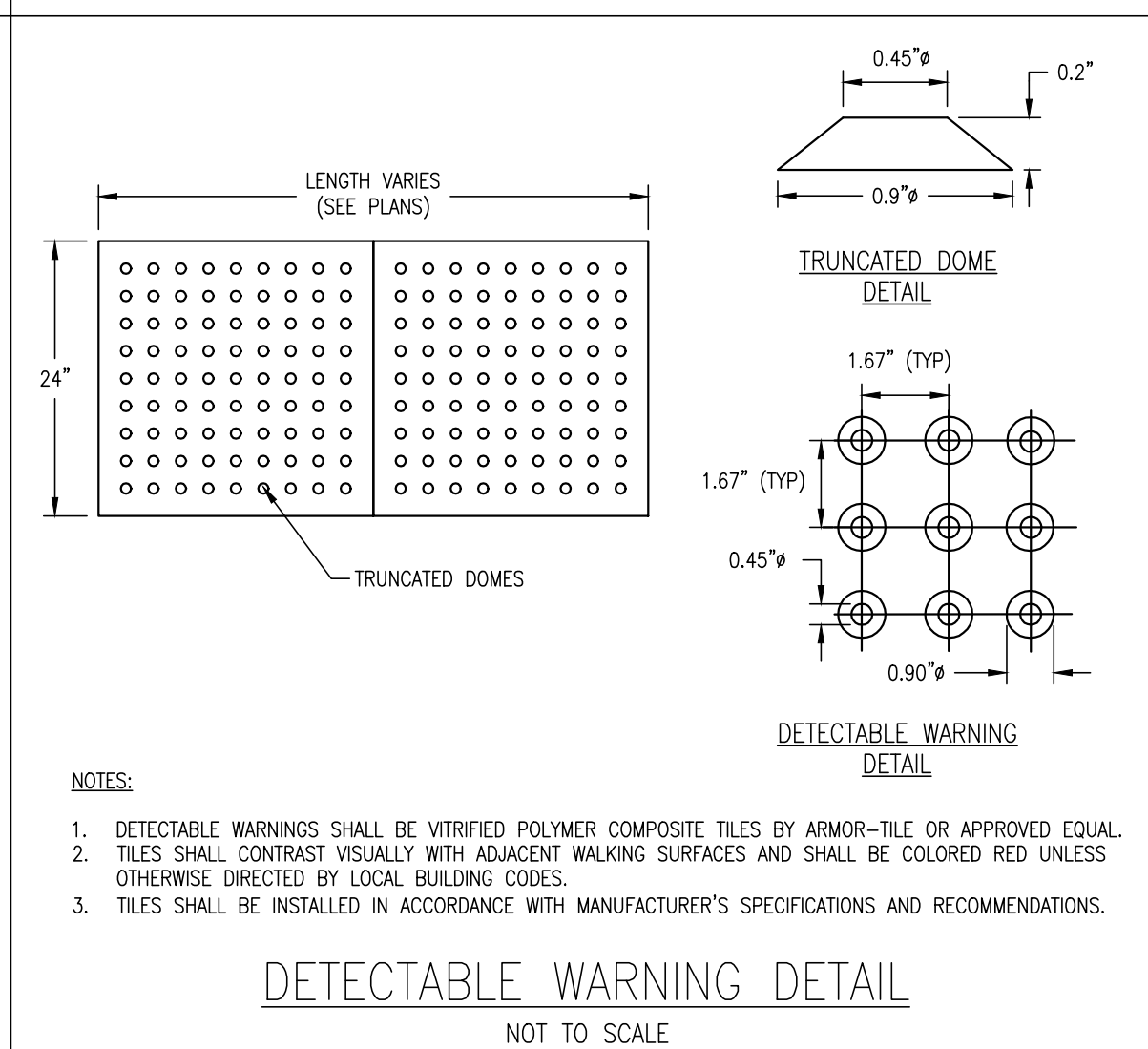
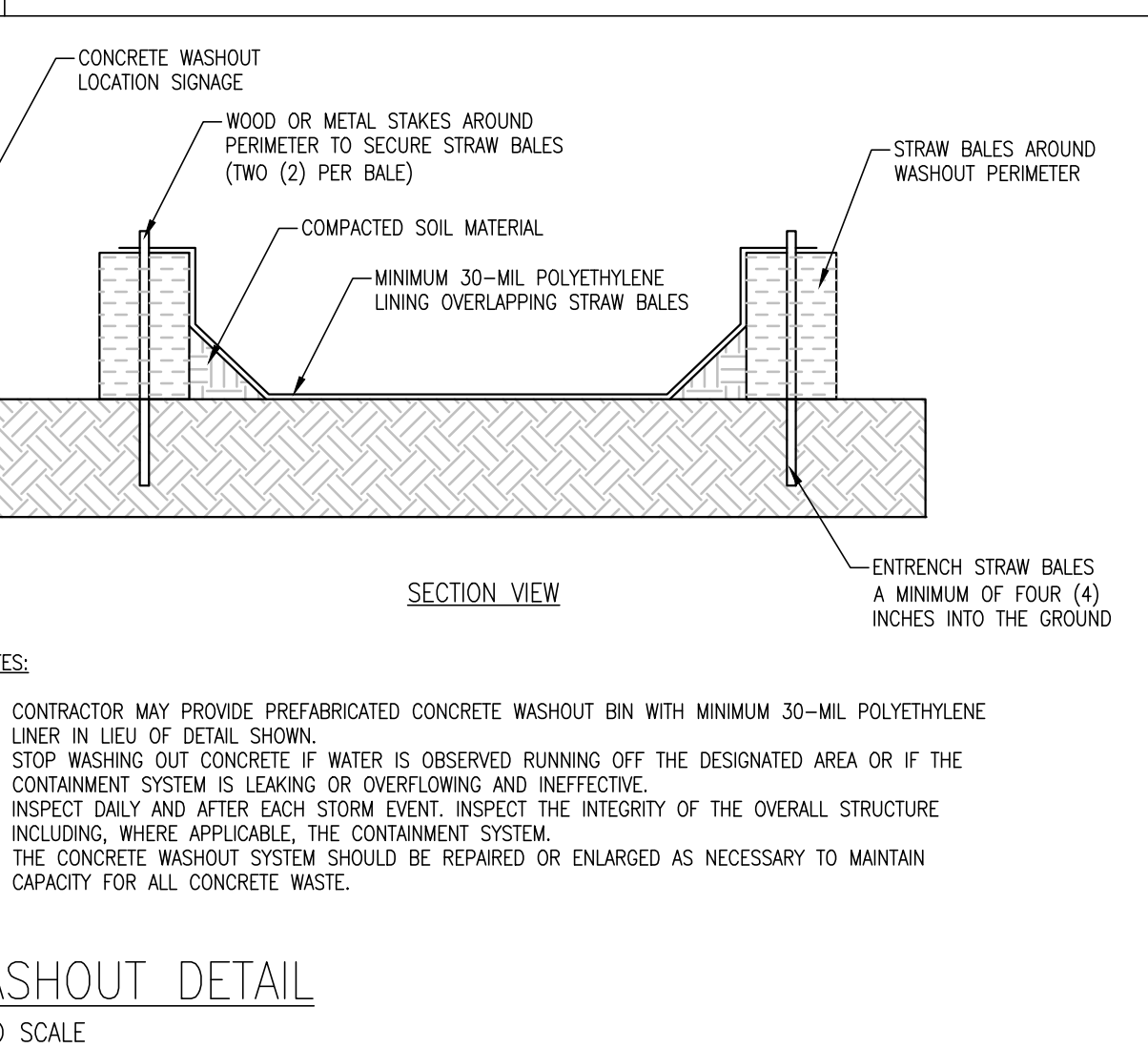
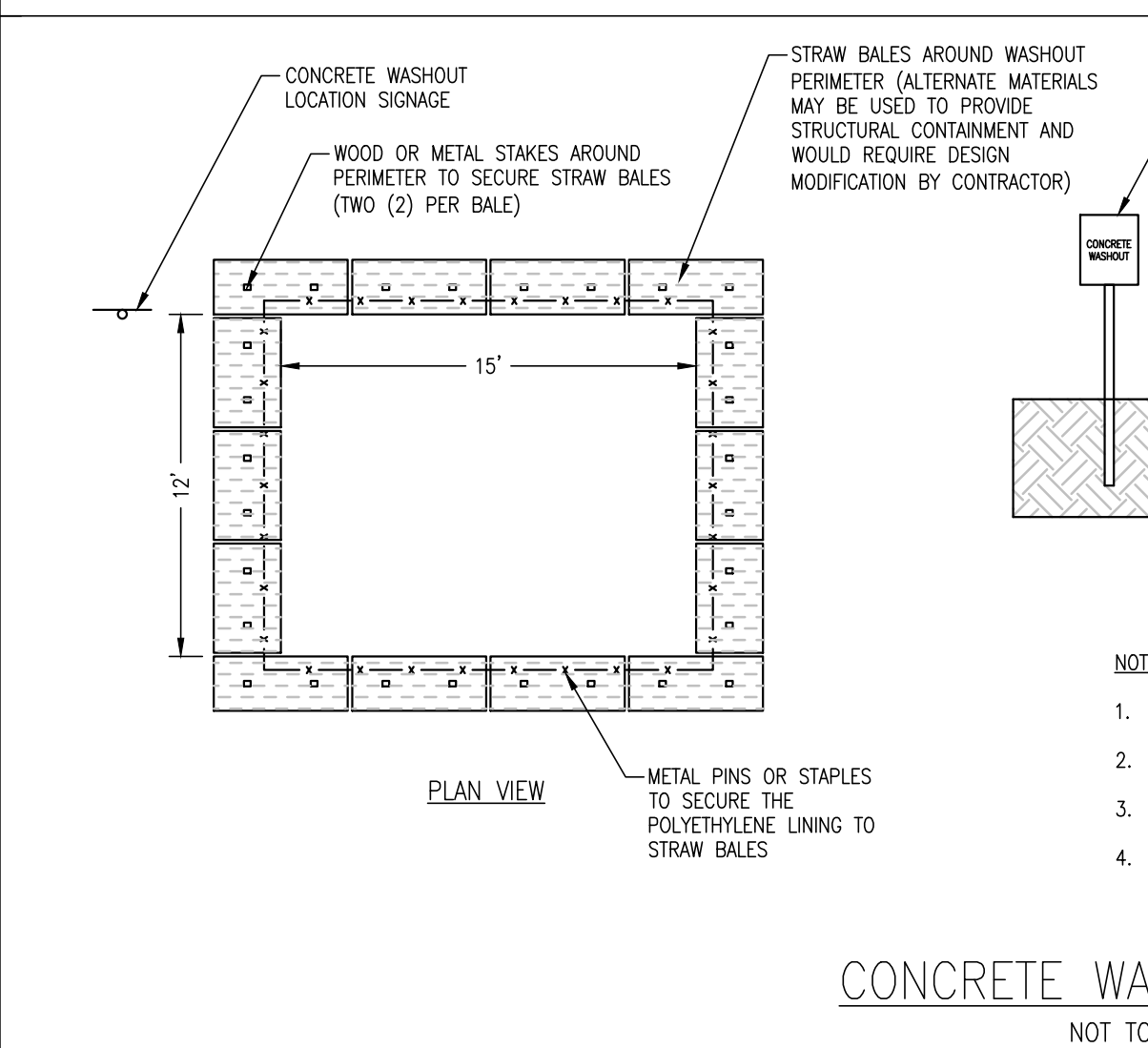
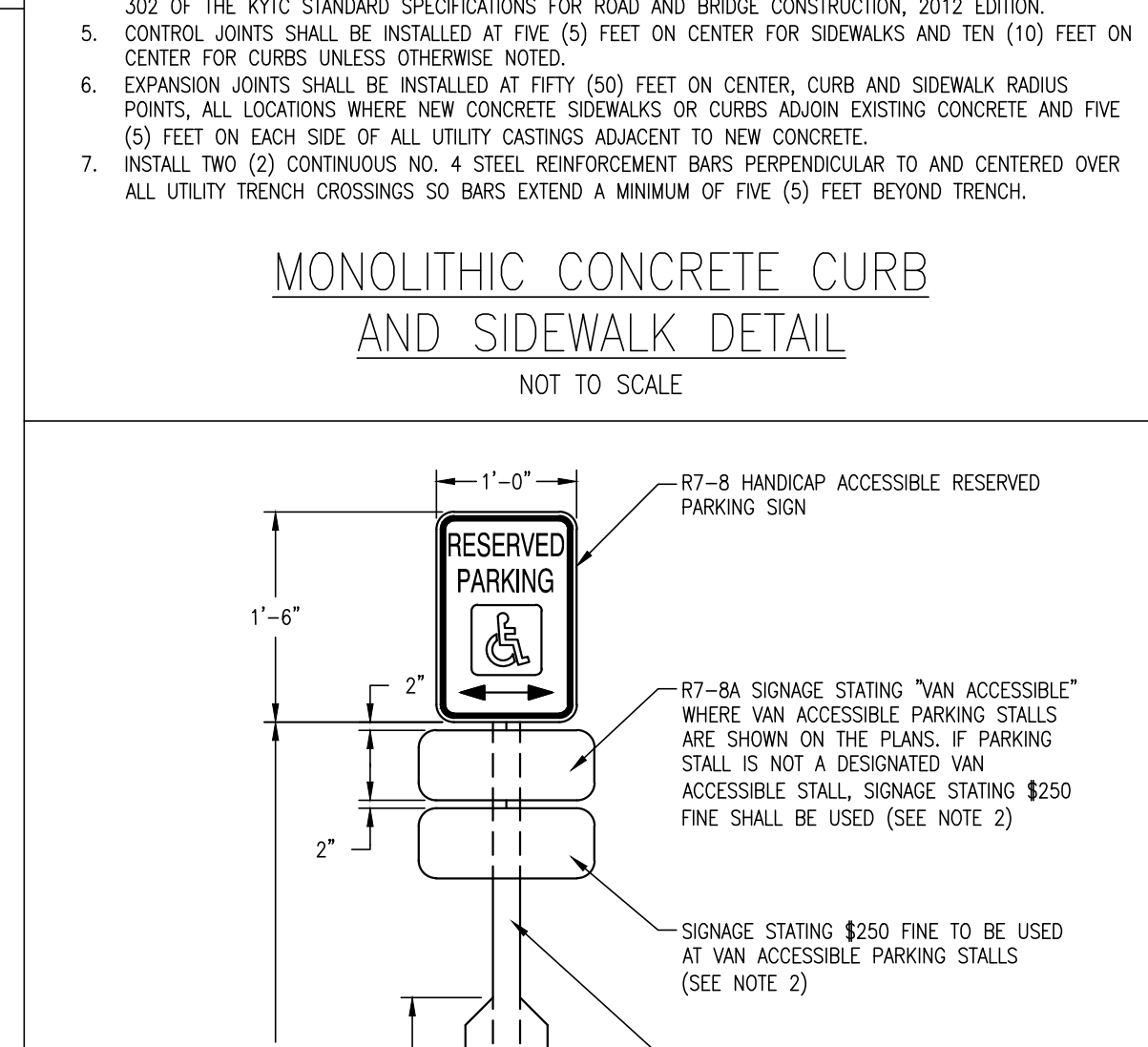
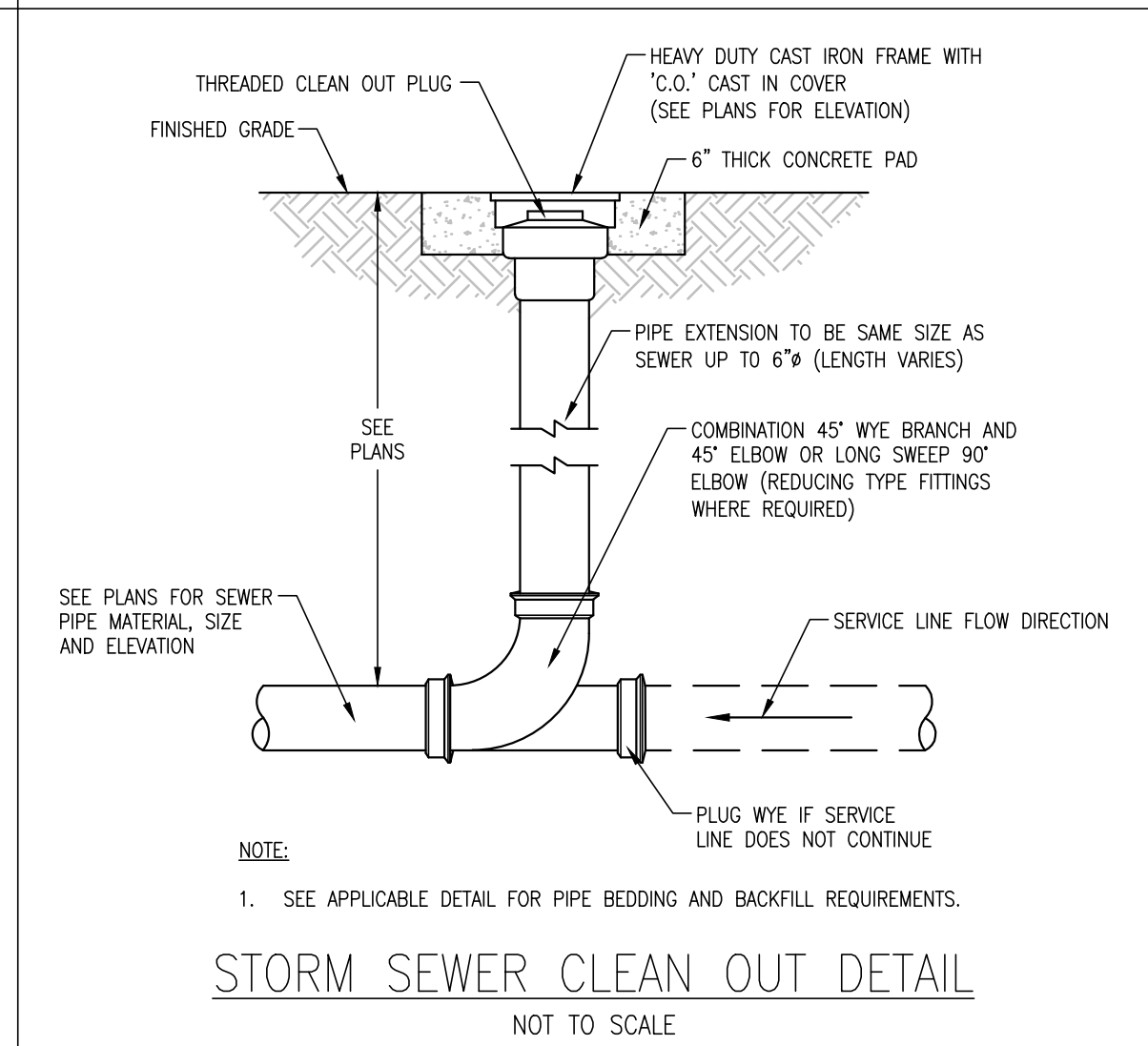
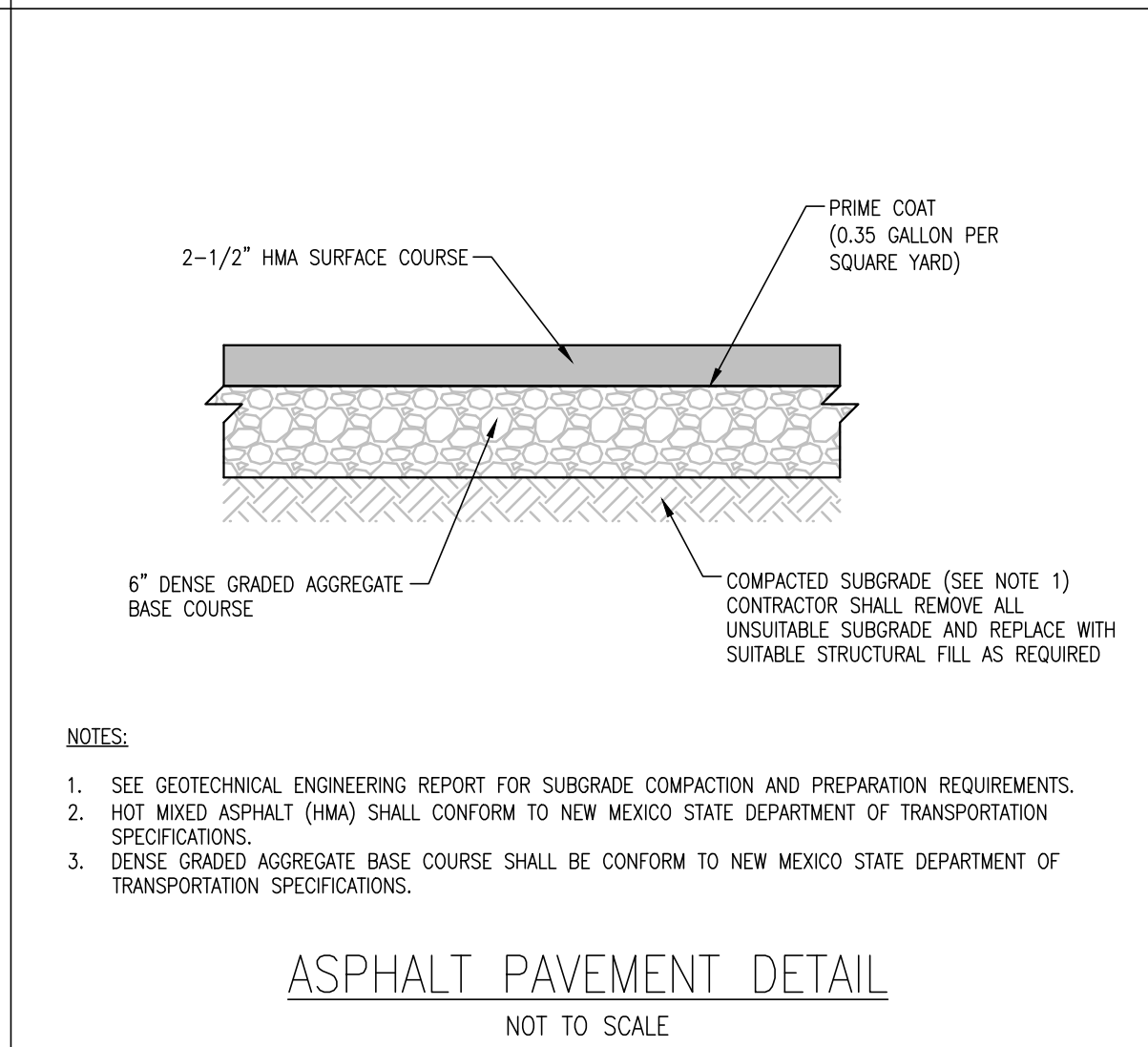
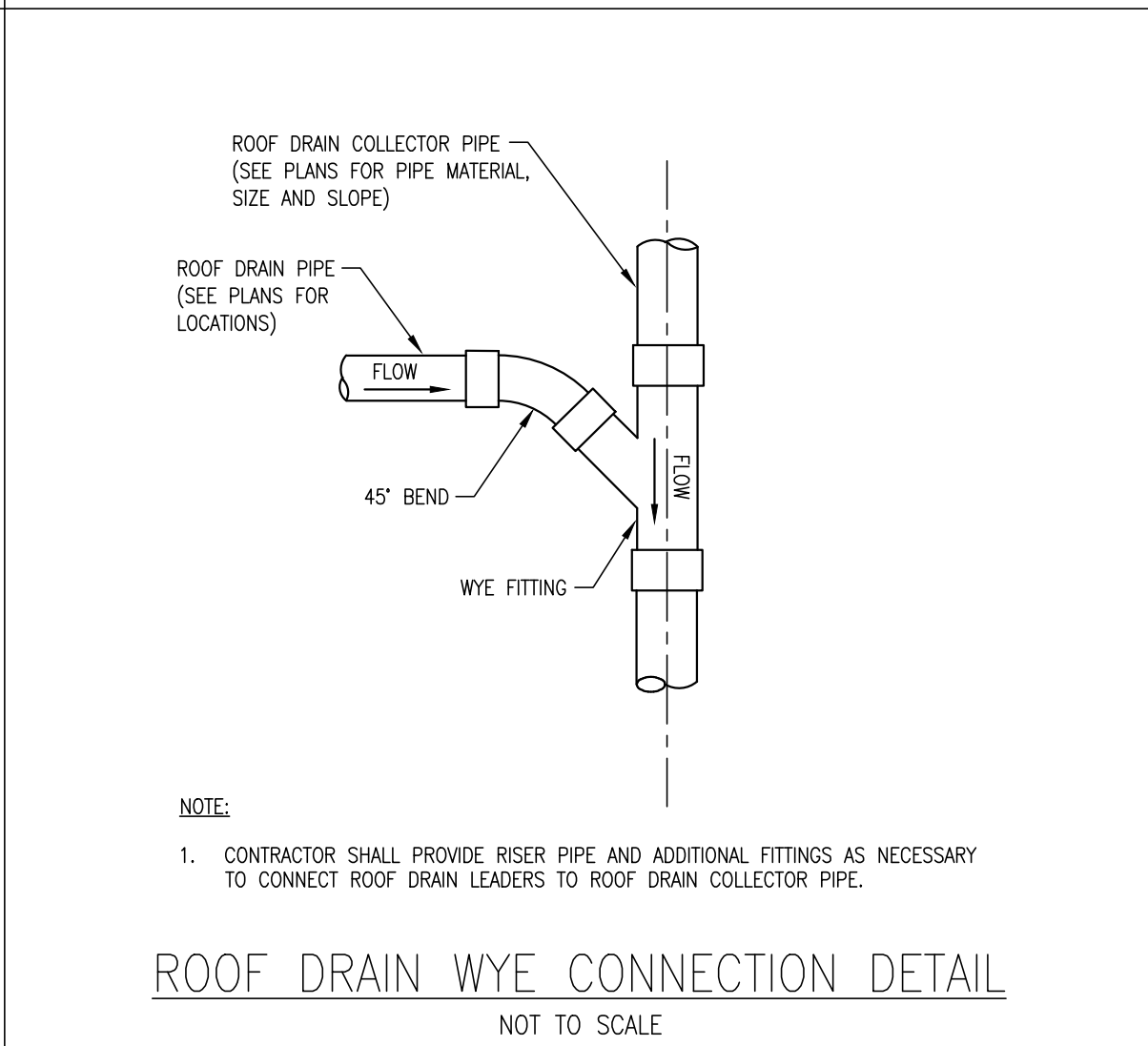
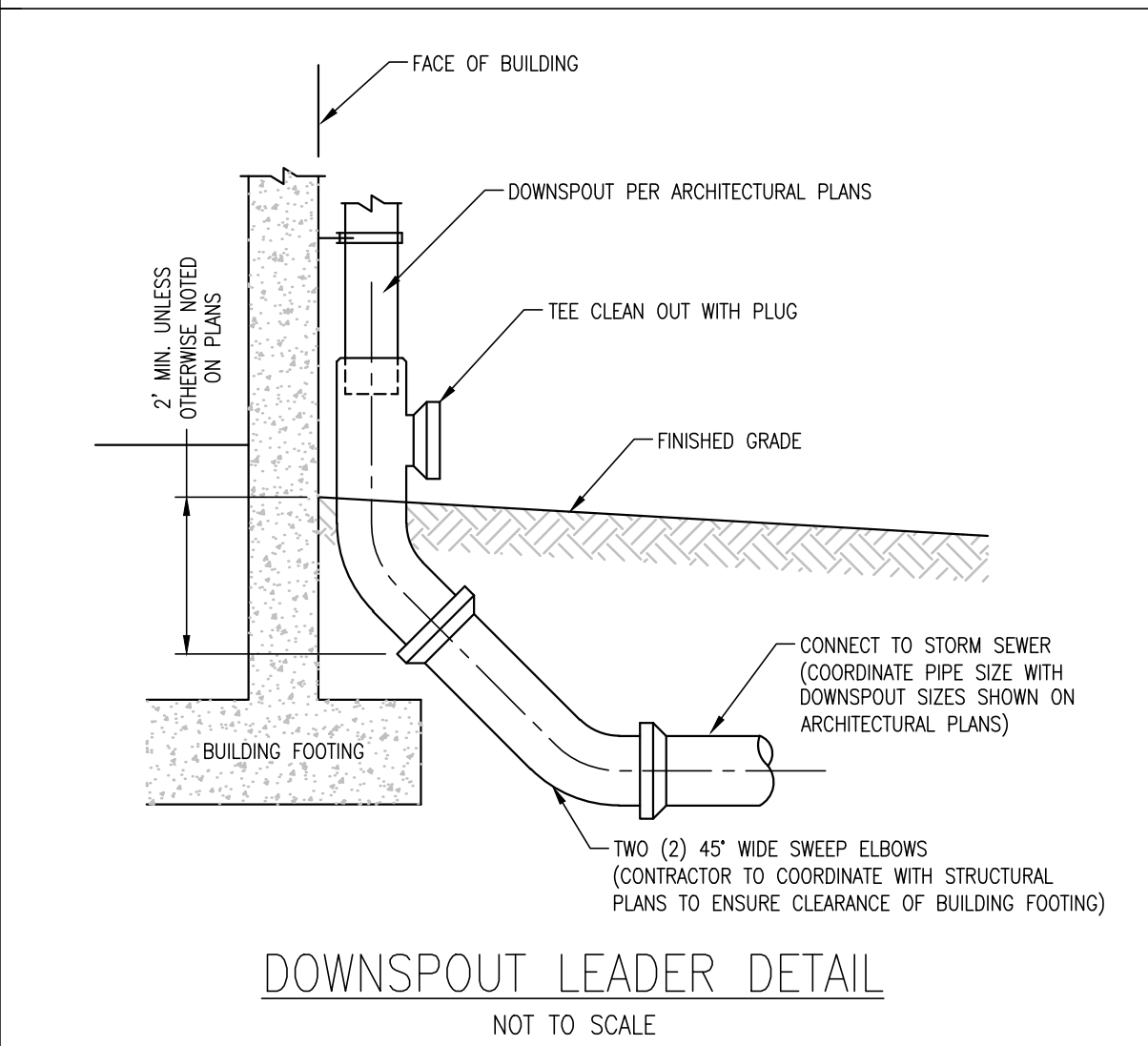
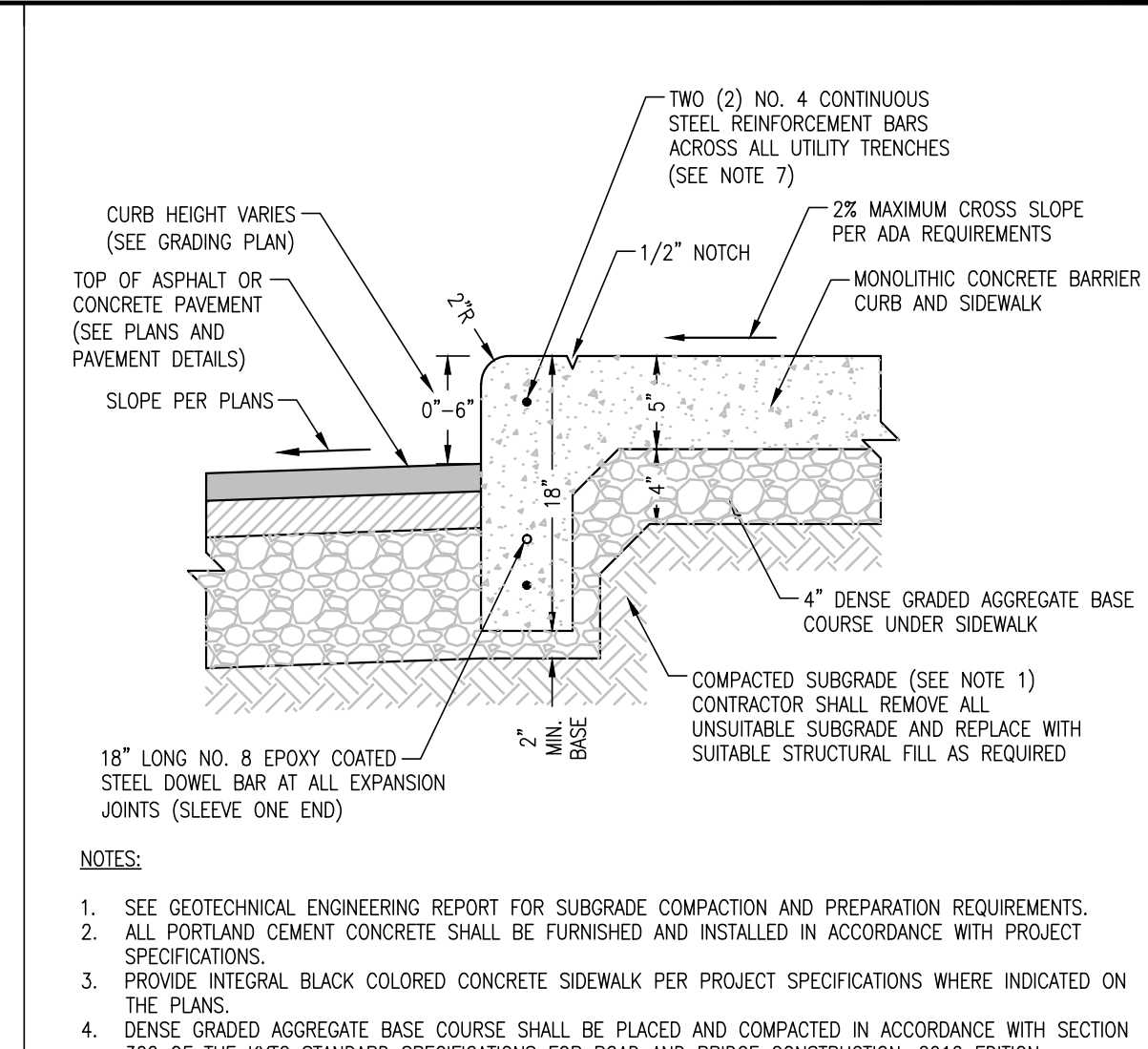
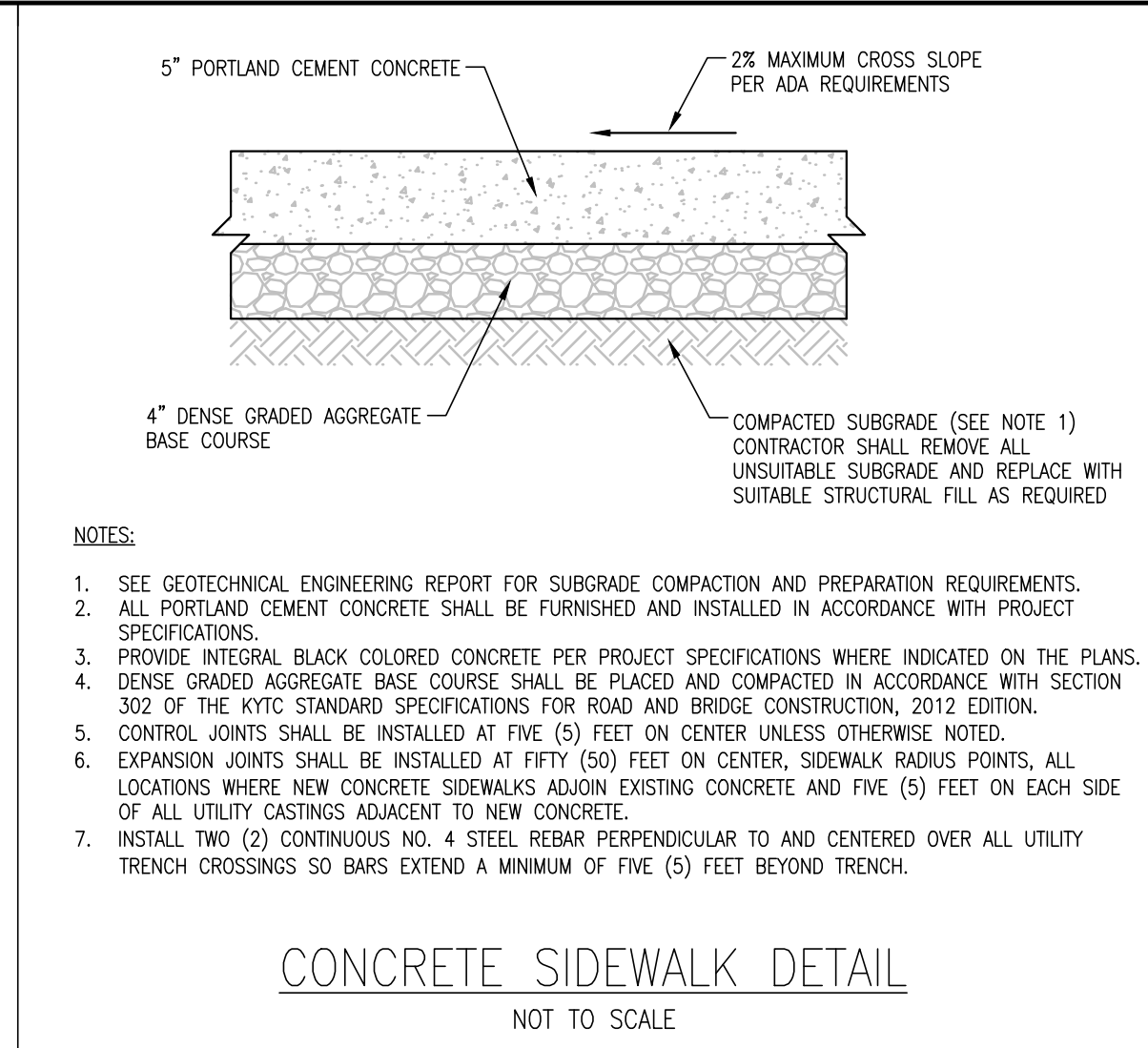
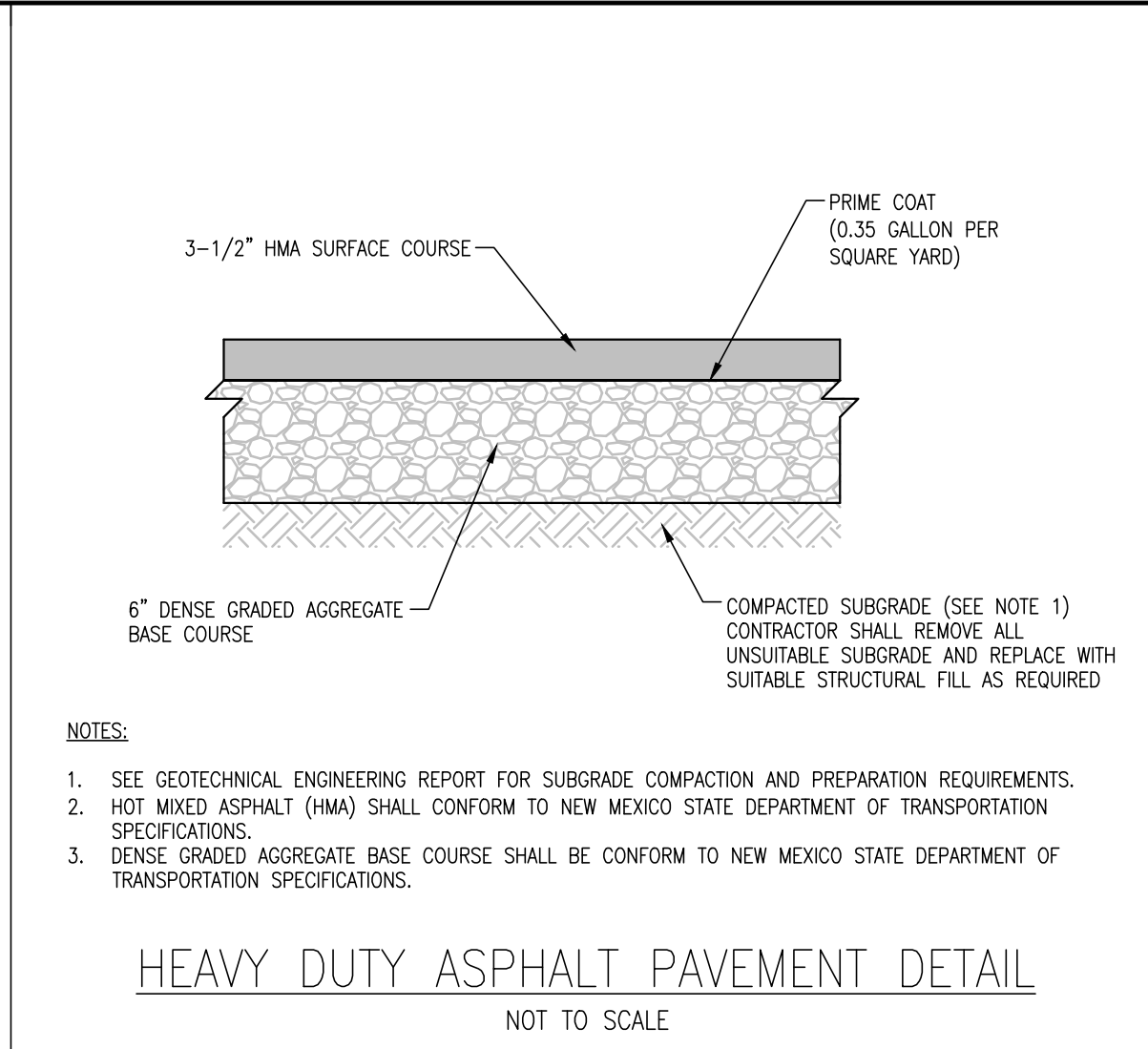
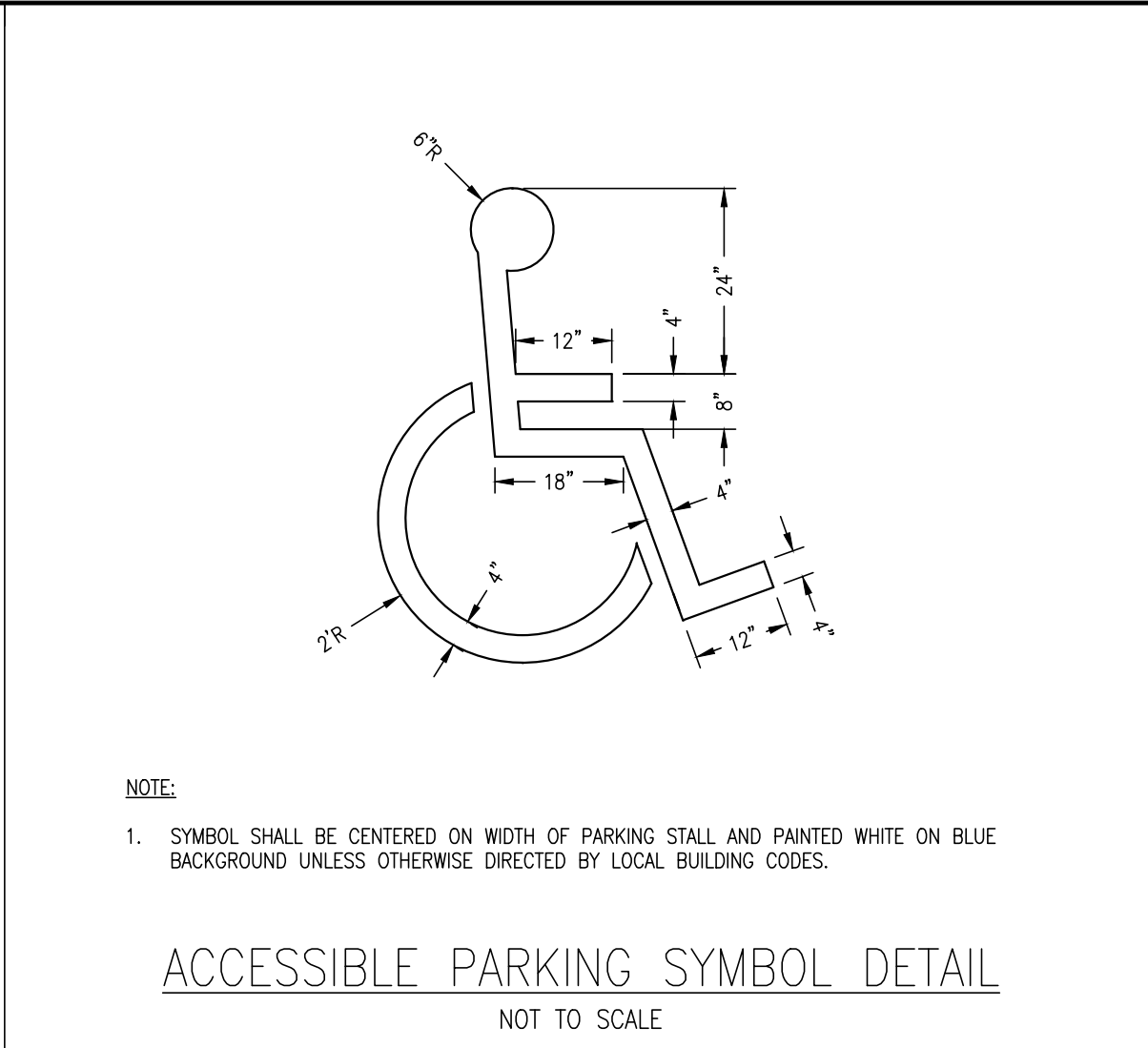
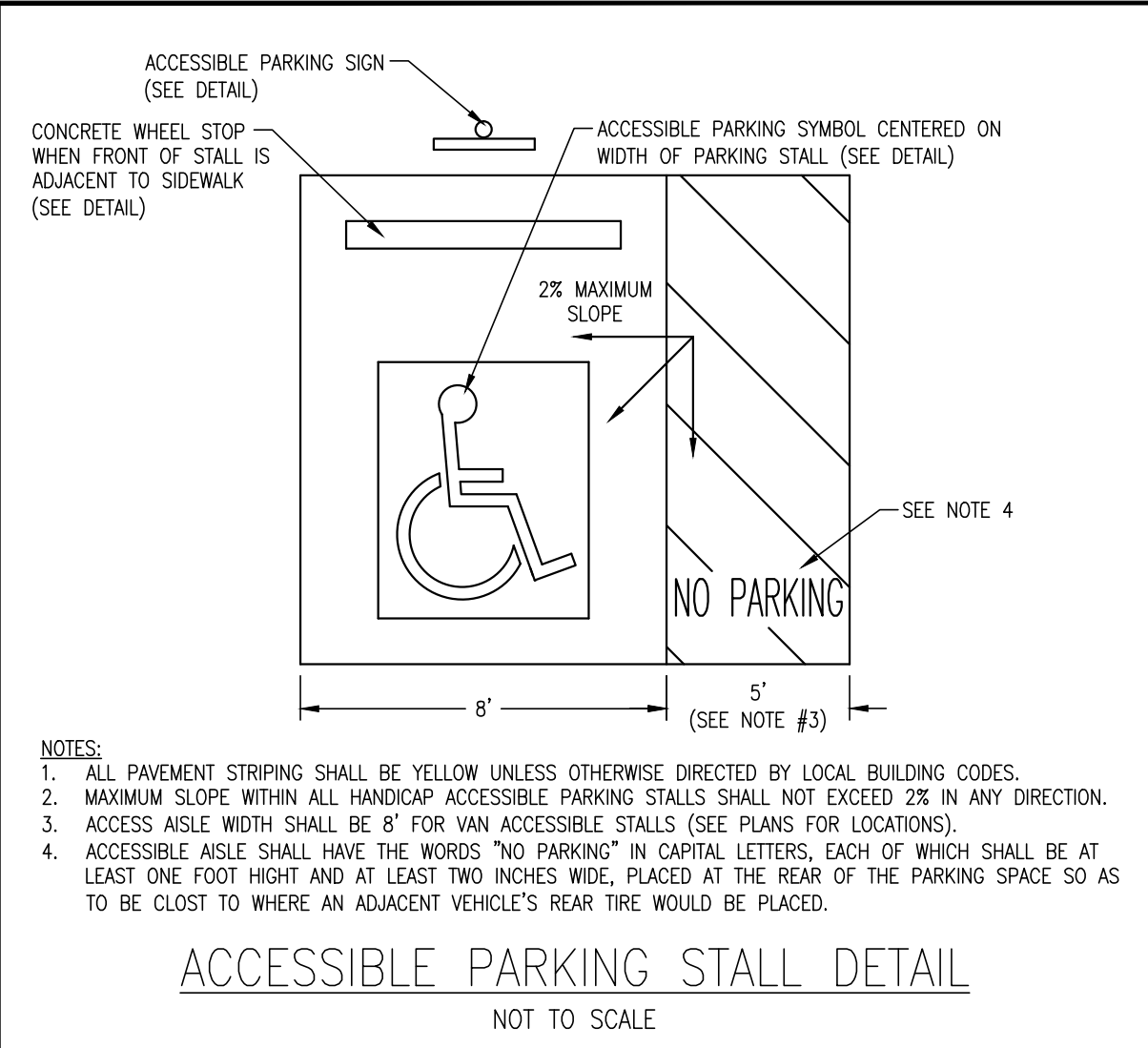
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SHEET TITLE

**STORMWATER  
POLLUTION  
PREVENTION PLAN**

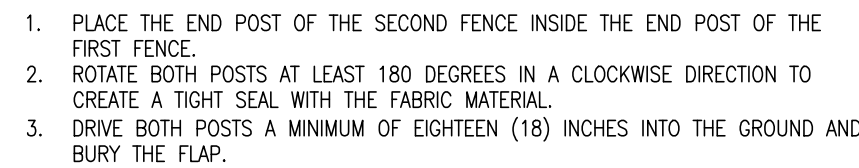
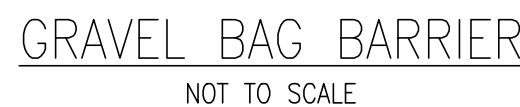
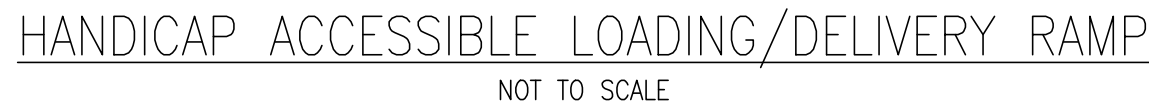
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**C6.0**



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11/23/15	PERMIT RESPONSE



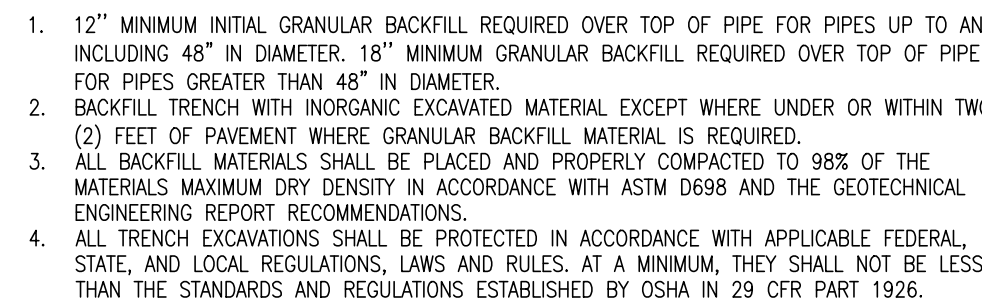
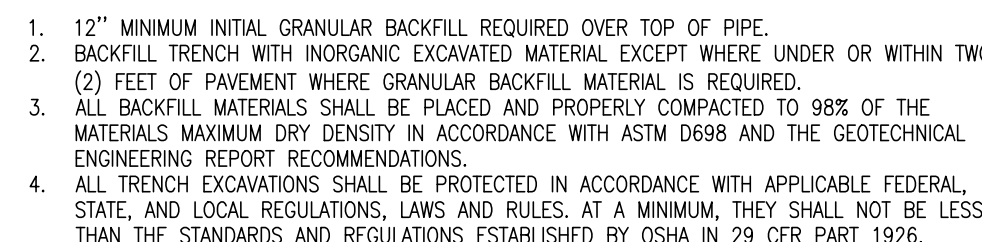


1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO THE ONSET OF CONSTRUCTION OPERATIONS AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE ENTIRE PROJECT DURATION TO PREVENT SOIL FROM ENTERING INTO OR ONTO THE ROADWAY. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED AT ALL TIMES. ROADWAY SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORKING DAY.

2. EXISTING PAVED ROADWAY SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION. EXISTING COARSE AGGREGATE, STONE SHALL BE COARSE AGGREGATE AND SHALL BE DUMPED, SPREAD AND COMPACTED INTO POSITION. LAYERS SHALL NOT EXCEED THREE (3) FEET IN THICKNESS.

3. THE ACTUAL CONSTRUCTION ENTRANCE LOCATION AND OVERALL DIMENSIONS, MINIMUM WIDTH IS FOURTEEN (14) FEET FOR ONE-WAY TRAFFIC AND TWENTY (20) FEET FOR TWO-WAY TRAFFIC. TWO-WAY TRAFFIC WIDTH SHALL BE INCREASED A MINIMUM OF FOUR (4) FEET FOR TRAILER TRAFFIC.

4. ALL STABILIZED ENTRANCES ARE TO BE MAINTAINED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.



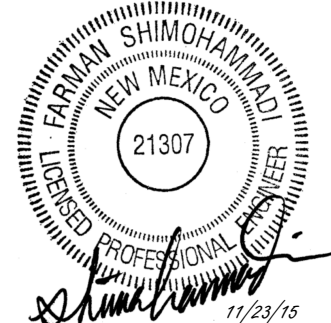
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PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE  
**FARMAN SHIR, P.E.**  
PROFESSIONAL ENGINEER  
LICENSE NO. 21307

PROJECT MANAGER  
MIKE HOLMES

QUALITY CONTROL  
LARRY DIEHL

DRAWN BY  
MIKE HOLMES

PROJECT NAME

**TEXAS  
ROADHOUSE**

**ALBUQUERQUE  
NEW MEXICO**

**10030 COORS BOULEVARD  
BYPASS NW**

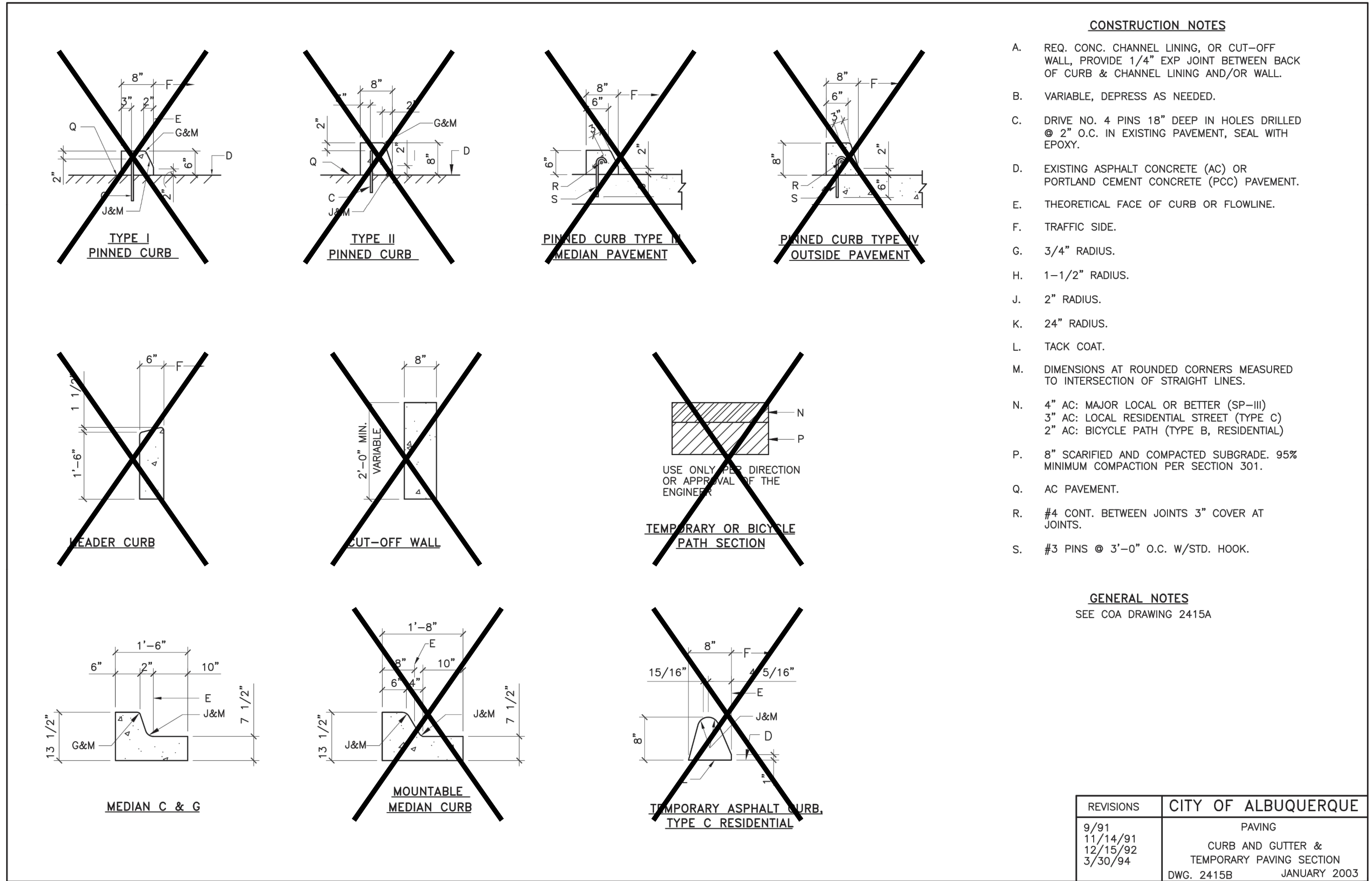
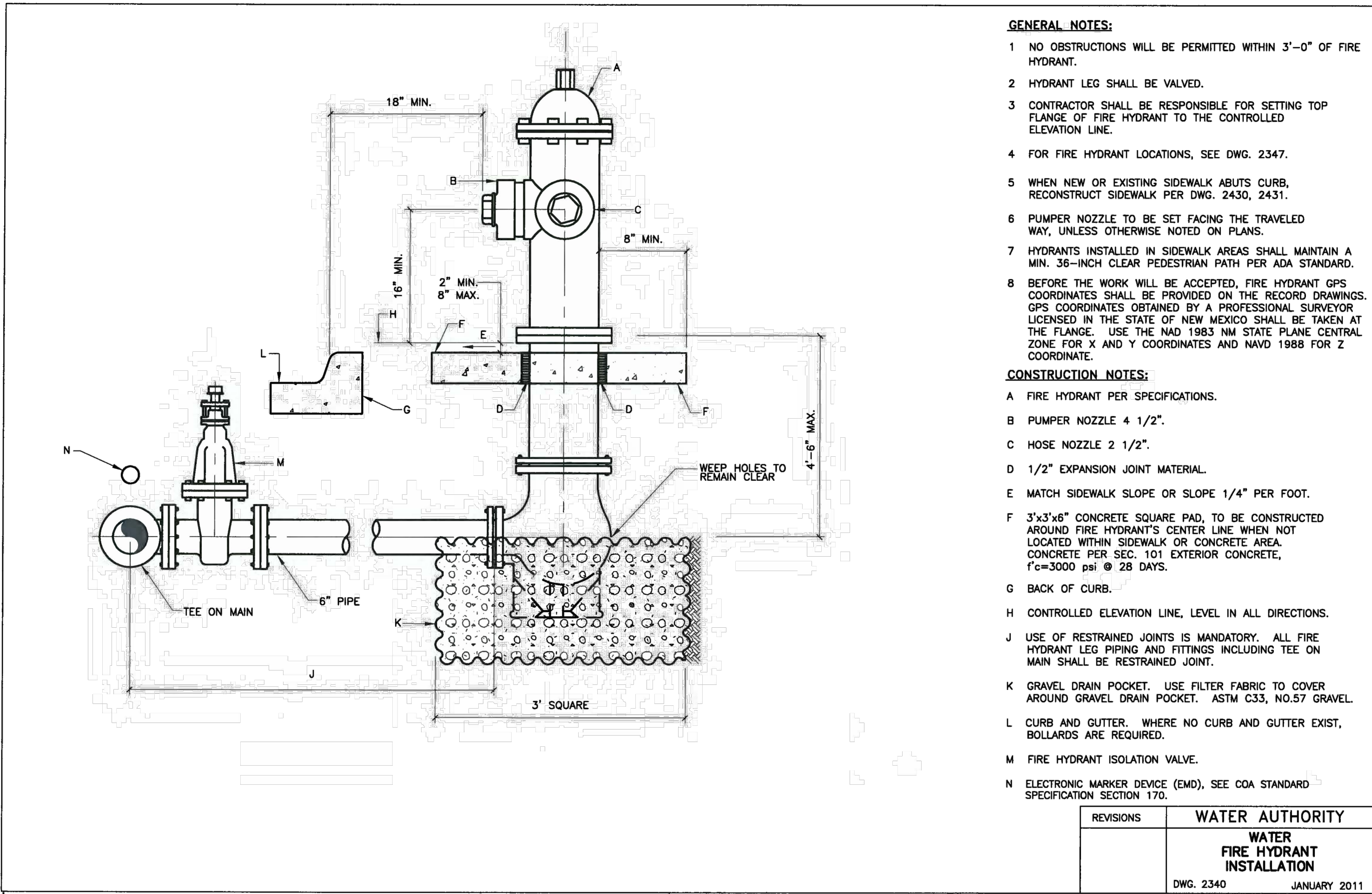


PROJECT NUMBER  
20130487.0

SHEET TITLE  
**CONSTRUCTION  
DETAILS**

SHEET NUMBER

**C7.2**



# SURVEYOR'S CERTIFICATION:

To: TEXAS ROADHOUSE HOLDINGS LLC, A KENTUCKY LIMITED LIABILITY COMPANY, AND FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 9, 11A, AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 31, 2015.

JAMES R. FREELAND, PLS 20412  
DATE 11-9-15

# LAND DESCRIPTION (PER COMMITMENT NO. 5011635-1980303-AL01)

Parcel 1:  
That certain parcel of land situate within the Town of Alameda Grant in projected Section 8, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract C-7A of the Cottonwood Mall, as the same is shown and designated on the plat entitled "Tracts C-6A and C-7A Cottonwood Mall (being a replat of Tracts C-5 and C-7, Cottonwood Mall) City of Albuquerque, Bernalillo County, New Mexico, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 16, 1995 in Volume 96C, Folio 490.

Parcel 2:  
Permanent, non-exclusive rights of easement over, upon and across the Ring Road and Entrance Drives for purposes of access, ingress and egress to and from Tract C-7A as set forth in Covenants, Conditions and Restrictions Agreement: Outlot C-6/C-7 Cottonwood Mall recorded January 17, 1997 in Book 97-2, page 2650-2671, as Document No. 97005377, records of Bernalillo County, New Mexico, to the extent of and only for the duration as provided for therein.

Parcel 3:  
Non-exclusive rights of easement for access, utility and drainage as set forth in Agreement Regarding Restriction of Reserve Tracts recorded December 28, 1995, in Book 95-31, page 5550-5610, as Document No. 95132177, records of Bernalillo County, New Mexico, to the extent of and only for the duration as provided for therein.

Parcel 4:  
Non-exclusive rights of Easement for Automobile Parking, Incidental Uses, Utilities, Construction, and Access in accordance with Construction, Operation and Reciprocal Easement Agreement recorded December 28, 1995 in Book 95-31, page 5334 as Document No. 95132176, records of Bernalillo County, New Mexico, to the extent of and only for the duration as provided for therein.

Parcel 5:  
Non-exclusive rights of easement for access, utilities, parking and drainage as set forth in Declaration of Easements, Covenants, Conditions and Restrictions, recorded December 31, 2014, as Document 2014104149, records of Bernalillo County, New Mexico, to the extent of and only for the duration as provided for therein.

# SCHEDULE BII (EXCEPTIONS):

FIRST AMERICAN TITLE INSURANCE COMPANY  
EFFECTIVE DATE: JUNE 23, 2015, AT 9:00 A.M.  
COMMITMENT NO.: 5011635-1980303-AL01

ITEMS 1-5, 7, 10 AND 21 ARE STANDARD EXCEPTIONS AND ARE SUBJECT TO THIS ITEM.  
ITEMS 6 AND 8 ARE RESERVED.  
ITEM 9 IS A STANDARD EXCEPTION AND IS NOT SURVEYING RELATED.

11. Restrictions contained in Patent from United States of America recorded in Book 64, page 412, records of Bernalillo County, New Mexico,  
• Affects: No Plottable Items

12. Easement(s) and covenants reserved across the Insured land, as shown and noted on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 6, 1995, in Plat Book 95C, Folio 5, and 10' Public Utility Easement, 35' Landscape Setback, 10'x5' PNM Easement, and 20' Waterline Easement as shown and noted on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on December 16, 1995, in Book 95C, Folio 490.  
• As to Plat Book 95C, Folio 5 - Affects: Blanket in Nature  
• As to Plat Book 95C, Folio 490 - Affects: As shown hereon

13. Construction, Operation and Reciprocal Easement Agreement recorded December 28, 1995 in Book 95-31, page 5334 as Document No. 95132176, records of Bernalillo County, New Mexico.  
• May Affect; Document not provided to surveyor

14. Agreement Regarding Restriction of Reserve Tracts recorded December 28, 1995 in Book 95-31, page 5550, as Document No. 95132177, records of Bernalillo County, New Mexico.  
• May Affect; Document not provided to surveyor

15. Covenants, Conditions and Restrictions Agreement Outlot C-6/C-7, Cottonwood Mall, recorded January 17, 1997, as Document No. 97005377, records of Bernalillo County, New Mexico.  
• Affects: Blanket in Nature

16. Supplement to Public Utility Easements recorded January 9, 1995 in Book 95-1, page 4913 as Document No. 95002255, records of Bernalillo County, New Mexico.  
• Affects: Blanket in Nature

17. Monument Sign Easement Agreement recorded May 9, 1997 in Book 97-12, Page 7884 as Document No. 97047287, records of Bernalillo County, New Mexico.  
• Affects: As shown hereon

18. Terms and conditions as contained in that certain unrecorded Lease Agreement dated June 8, 2004, between National Retail Properties, Inc., a Maryland corporation, formerly known as Commercial Net Lease Realty, Inc., as landlord, and 5045 Stores Albuquerque Inc., a Delaware corporation, d/b/a Shoes on a Shoestring, as tenant, as evidenced by that certain Assignment and Assumption of Lease Agreement dated March 20, 2013, by and between National Retail Properties, Inc., a Maryland corporation, formerly known as Commercial Net Lease Realty, Inc., and 6230 Paseo Del Norte, LLC, a New Mexico limited liability company, filed April 4, 2013, as Document No. 2013037482, records of Bernalillo County, New Mexico.  
• Affects: Blanket in Nature

19. Intentionally omitted.

20. Encroachment of the Improvements of the sidewalk onto the Land as shown on a ALTA Survey prepared by David N. Young, PLS #20951, dated \_\_\_\_.  
• Property is Subject to this Item

22. Rights of easement, if any, relating to the sanitary sewer line, gas meter, cable box and sewer clean out(s), as shown on the ALTA Survey prepared by David N. Young, PLS #20851, dated \_\_\_\_.  
• Property is Subject to this Item

23. Declaration of Easements, Covenants, Conditions and Restrictions, recorded December 31, 2014, as Document No. 2014104149, records of Bernalillo County, New Mexico.  
• Affects: As shown hereon.

24. Construction Deed of Trust by and between Assignment 10030 Coors Bypass, LLC, a New Mexico limited liability company and Nusenda Federal Credit Union, filed April 24, 2015, as Document No. 2015034029, records of Bernalillo County, New Mexico.  
• Not Surveying related

25. Assignment of Rents by and between 10030 Coors Bypass, LLC, a New Mexico limited liability company and Nusenda Federal Credit Union, filed April 24, 2015, as Document No. 2015034029, records of Bernalillo County, New Mexico.  
• Not Surveying related

26. UCC Financing Statement by and between 10030 Coors Bypass, LLC, a New Mexico limited liability company and Nusenda Federal Credit Union, filed April 24, 2015, as Document No. 2015034030, records of Bernalillo County, New Mexico  
• Not Surveying related

# SURVEY NOTES:

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON IS BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES AND AVAILABLE DESIGN PLANS AND MAPS PROVIDED TO THE SURVEYOR BY THE ALBUQUERQUE-BERNALILLO COUNTY WATER UTILITY AUTHORITY. NO CERTIFICATION IS MADE AS TO THE ACCURACY OF THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. (NEW MEXICO §11-1-800-321-2537)

ONLY THOSE UNDERGROUND IMPROVEMENTS MARKED AT THE TIME OF THIS SURVEY ARE SHOWN.

NO PRIVATE UTILITY LOCATE HAD BEEN PERFORMED ON THIS SITE AT THE TIME OF THIS SURVEY

THIS PROPERTY IS DETERMINED TO BE IN ZONE "X". AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE PANEL NUMBER 3500C01086, DATED 9/26/2008.

UNLESS STATED OTHERWISE, ANY MONUMENT REFERRED TO HEREIN AS AN "IPS" IS A SET 5/8" DIAMETER, REBAR, 30" IN LENGTH, WITH A YELLOW PLASTIC CAP STAMPED "FREELAND & ASSOCIATES".

CONTACT PROPER AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES, FOR EASEMENT WIDTH AND RESTRICTIONS. UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

PROPERTY IS ZONED SU-1, WHICH IS A SPECIAL ZONING DISTRICT; PER A CONVERSATION WITH THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT BUILDING SETBACKS FOR THIS ZONING ARE DETERMINED BY THE CITY OF ALBUQUERQUE PLANNING COMMISSION ON A SITE SPECIFIC BASIS, THE BUILDING SETBACKS FOR THIS SITE WERE ESTABLISHED ON THE DEVELOPMENT PLAN FOR THE OVERALL MALL DEVELOPMENT. THIS INFORMATION HAS NOT SUPPLIED TO THE SURVEYOR AT THIS TIME AND IS THEREFORE NOT SHOWN HEREON.

THE HORIZONTAL AND VERTICAL DATA SHOWN HEREON WERE OBTAINED UTILIZING A TRIMBLE S6 SERIES TOTAL STATION AND TDS DATA COLLECTION SOFTWARE.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED HEREON. NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSONS OR ENTITIES OTHER THAN THOSE SHOWN.

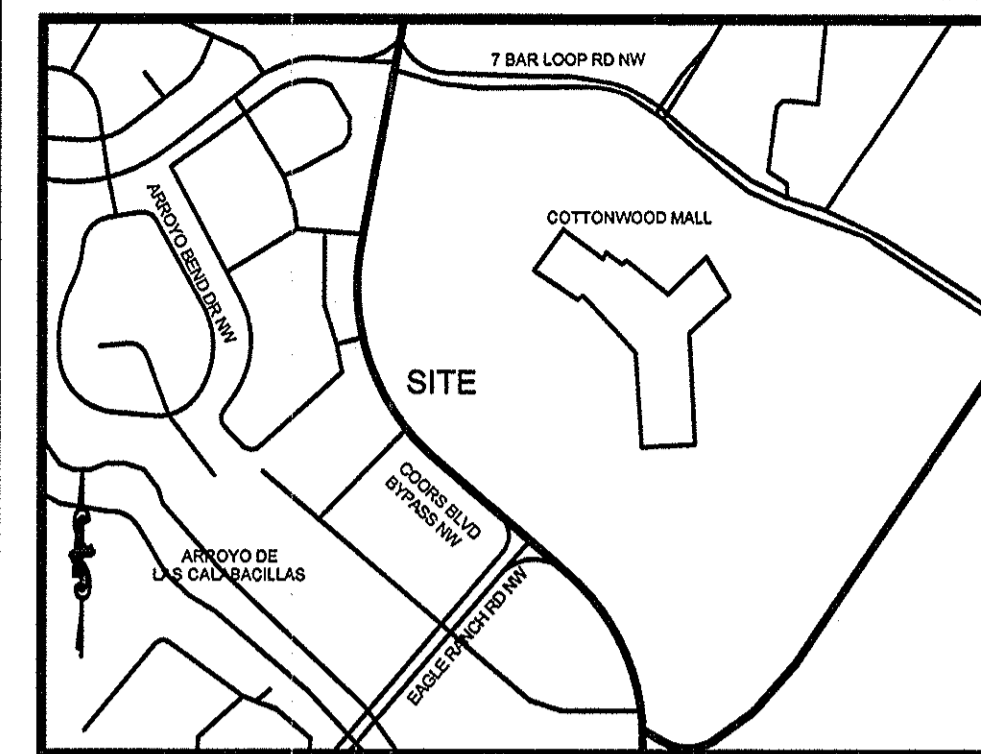
ELEVATIONS SHOWN HEREON ARE BASED ON A CITY OF ALBUQUERQUE BENCHMARK, ID "9\_B13", ELEVATION=5072.491, (NAVOD88)

LIST OF ENCROACHMENTS: NONE. THE OWNERSHIP OF CURB, UTILITIES, FENCES, SIGNS, SIDEWALKS, AND/OR PERIMETER WALLS SHOWN HEREON ARE NOT KNOWN AND THIS ARE NOT LISTED AS ENCROACHMENTS. CURB, UTILITIES, FENCES, SIDEWALKS, AND/OR PERIMETER WALLS ARE SHOWN IN THEIR RELATIVE POSITION TO THE BOUNDARY.

JAMES R. FREELAND, NEW MEXICO PROFESSIONAL SURVEYOR NO. 20412, DO HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

JAMES R. FREELAND, PLS 20412  
DATE 11-9-15

# LOCATION MAP NTS



# LEGEND

R	RECORDED (PLAT BOOK 96C, FOLIO 490)
R'	RECORDED (Doc# 2014104149)
M	MEASURED
POC	POINT OF COMMENCEMENT
POB	POINT OF BEGINNING
ST	STORM SEWER PIPE, AS NOTED
IE	INVERT ELEVATION
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
FDC	FIRE DEPT CONNECTION
○	IRON PIN SET (IPS)
●	IRON PIN FOUND, AS NOTED
+	P. K. NAIL SET (PKS)
⊕	BENCHMARK, AS NOTED
⌵	WATER VALVE
⌵	STORM INLET
⌵	MANHOLE
⌵	SEWER MANHOLE
⌵	CURB INLET
⌵	SEWER CLEAN OUT
⌵	MONITORING WELL
⌵	SIGN, AS NOTED
⌵	IRRIGATION VALVE
⌵	TELEPHONE BOX
⌵	CABLE BOX
⌵	WATER METER
⌵	TRAFFIC BOLLARD
⌵	ELECTRIC MANHOLE
⌵	GAS METER
⌵	TRAFFIC BOX
⌵	FIRE HYDRANT
⌵	TREE
⌵	LIGHT POLE
⌵	LIGHT POLE (2-WAY)
⌵	LIGHT POLE (4 OR MORE)
⌵	PROPERTY LINES
⌵	ADJOINER LINES
⌵	EASEMENT LINE
⌵	SETBACK LINES
⌵	CONTOUR LINE EVEN
⌵	CONTOUR LINE ODD
⌵	OVERHEAD WIRE
⌵	SANITARY SEWER, AS NOTED
⌵	WATER LINE, AS NOTED
⌵	STORM SEWER PIPE, AS NOTED
⌵	HANDRAIL

# UTILITY PROVIDERS

WATER, SEWER & STORMWATER:  
Albuquerque-Bernalillo County Water Utility Authority  
One Civic Plaza NW  
Albuquerque, NM 87103  
PH: 505-857-8250

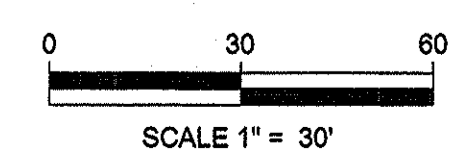
TELEPHONE & CATV:  
Century Link  
201 3rd Street, NW,  
Albuquerque, NM 87102  
PH: 505-245-7500

ELECTRIC:  
Public Service Company of New Mexico (PNM)  
414 Silver Avenue Southwest #4  
Albuquerque, NM  
PH: 505-241-2700

GAS:  
New Mexico Gas Company  
P.O. Box 97600  
Albuquerque, NM  
PH: 505-697-3335

# BASIS OF BEARINGS

GEODETIC NORTH  
"A"-B"  
N 07°33'02" E 386.69' (M)  
N 07°46'53" E 386.66' (R)  
PER VOL. 96C, FOLIO 490



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 (M)	25.00'	14.13'	13.95'	S 37°03'33" E	32°23'39"
C1 (R)	25.00'	14.21'	14.02'	S 36°30'39" E	32°34'35"
C1 (R')	25.00'	14.21'	14.02'	S 36°31'19" E	32°34'05"
C2 (M)	169.00'	66.12'	65.69'	S 31°43'34" E	22°32'57"
C2 (R)	169.00'	66.16'	65.72'	S 31°30'46" E	22°33'28"
C2 (R')	169.00'	66.14'	65.72'	S 31°30'46" E	22°33'28"
C3 (M)	1088.00'	349.10'	347.55'	N 28°19'28" W	18°43'42"
C3 (R)	1088.00'	349.18'	347.63'	N 28°19'28" W	18°43'42"
C4 (M)	25.00'	40.98'	36.54'	N 27°00'12" E	83°54'38"
C4 (R)	25.00'	40.90'	36.49'	N 27°07'55" E	83°44'50"
C4 (R')	25.00'	40.90'	36.49'	N 27°07'15" E	83°44'21"
C5 (M)	1088.00'	83.47'	83.45'	N 22°11'57" W	4°28'41"
C5 (R)	1088.00'	83.48'	83.46'	N 21°58'24" W	4°28'43"
C6 (M)	1088.00'	285.63'	284.95'	N 31°33'48" W	14°15'02"
C6 (R)	1088.00'	285.63'	284.94'	N 31°20'16" W	14°15'01"



**FREELAND**  
SURVEYORS • ENGINEERS  
FREELAND & ASSOCIATES, INC.  
323 WEST STONE AVE.  
GREENVILLE, SC 29609  
TEL: (864) 271-4924 FAX: (864) 233-0315  
EMAIL: info@freeland-associates.com  
JAMES R. FREELAND, PLS 20412

**YOUNG - HOBBS AND ASSOCIATES**

1202 CROSSLAND AVE.  
CLARKSVILLE, TN 37040  
PHONE 931-645-2524  
FAX 931-645-2768

DAVID N. YOUNG, PLS 20951  
NEW MEXICO

JAMES R. FREELAND, PLS 20412

No.	Date	Client Comments	Updated Survey
2	11/3/15		
1	1/6/14		

**ALTA/ACSM LAND BOUNDARY**  
OF THE PASO DEL NORTE, LLC PROPERTY, ALSO KNOWN AS TRACT C-7A, VOL. 96C, FOLIO 490  
TOWN OF ALAMEDA GRANT, PROJECTED SECTION 8, T 11 N, R 3 E, NEW MEXICO P.M., CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO

FOR:  
**Greenberg Farrow**  
19000 MacArthur Blvd  
Suite 250  
Irvine, CA 92612

DRAWN BY: CTH  
APPROVED BY: JRF  
DATE: (FIELD) 10/30/2014  
DATE: (OFFICE) 11/7/2014  
YHA PRO. # 132-14

SHEET 1 OF 1

DATE	DESCRIPTION
04/03/15	COORDINATION SET
04/06/15	PERMIT SET
07/28/15	BID SET
09/14/15	PERMIT RESPONSE
10/19/15	CONSTRUCTION SET
11/02/15	PERMIT RESPONSE
11/23/15	PERMIT RESPONSE

TEXAS ROADHOUSE  
10030 COORS BLVD. BYPASS NW  
ALBUQUERQUE, NM  
PREPARED BY: JOHN BUJAKE  
ACCUSERV LIGHTING & EQUIPMENT  
877-707-7378  
502-961-0357 FAX  
jbujake@accu-serv.com  
NOVEMBER 9, 2015

Calculation Summary					
Label	Qty	Avg	Max	Min	Avg/Min Max/Min
EXTENDED	3	0.87	7.4	0.0	N.A. N.A.
RETAIL PARKING LOT SURFACE	1.73	6.1	0.4	4.33	15.25
TRH PARKING LOT SURFACE	1.82	6.5	0.4	4.55	16.25

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumen	LLF	Lum. Watts
3	3	EX	SINGLE	32000	0.750	456
3	3	EX	SINGLE	32000	0.700	456
3	3	EX-RELOC 1	SINGLE	32000	0.700	456
3	1	EX-RELOC 2	BACK-BACK	32000	0.700	456

FIXTURES ARE 400W METAL HALIDE w/ FLAT LENSES  
POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.F.G.

COORS BOULEVARD BYPASS  
(156' RW PER PB 95C, FOLIO 5)

TEXAS  
ROADHOUSE

SEE ARCHITECTURAL PLANS  
FOR BUILDING FOOTPRINT  
FFE: 63.89'

GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.